



**City of Apopka
Planning Commission
Meeting Agenda
February 12, 2019
5:30 PM @ City Council Chambers**

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a “Notice of Intent to Speak” card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

- 1 Approve minutes of the Planning Commission meeting held January 8, 2019.

IV. PUBLIC HEARING:

1. Legislative – Comprehensive Plan – Small Scale – Future Land Use Amendment
From “County” Rural (FLU-IP) to “City” Mixed Use
Project: CHS Management Corp.
Location: East of Plymouth Sorrento Road, north of Ponkan Pines Drive
Phil Martinez
2. Legislative – Comprehensive Plan – Large Scale – Future Land Use Amendment
From Commercial (Max. FAR 0.25) & Residential Medium (0-10 DU/AC) to Mixed Use
Project: Emerson Point Phase II, LLC, c/o Mike Wright
Location: North of S.R. 414 & East of Marden Road
Phil Martinez
3. Quasi-Judicial - Change of Zoning – Springs Ridge Gardens Subdivision
From “County” A-1 (ZIP) to “City” KPI-MU
Project: Landco Development Group, LLC
Location: 2309 and 2405 West Kelly Park Road.
Bobby Howell
4. Quasi-Judicial – Variance – Reduction of Rear Yard Setback
Project: Jose Guadalupe Perez-Reyes and Lisa Rose Mozzillo
Location: 2437 Dodge Court (Piedmont Lakes Estates Subdivision)
Jean Sanchez
5. Quasi-Judicial – Special Exception – Re•New•Al Church - To allow a church in AG-E zoning district
Project: Donald J. Sabiston
Location: 2335 Appy Lane
Phil Martinez

- 6. Quasi-Judicial – Special Exception – Wash City - To allow a car wash in C-1 zoning district
Project: Felice Ladesernia Revocable Trust, c/o S. Brent Spain, Esquire
Location: 1860 & 1880 East Semoran Boulevard Phil Martinez

V. SITE PLANS:

- 1. Quasi-Judicial – Plat - Bridle Path Residential Subdivision
Project: BB Bridle Path, LLC
Location: West of Plymouth-Sorrento Road and east of SR 429, approximately one-half mile north of the intersection of Kelly Park Road and Plymouth-Sorrento Road Bobby Howell
- 2. Quasi-Judicial – Plat - Mid-Florida Logistics Park
Project: Mid-Florida Freezer Warehouses LTD, Florida Express Trucking, Inc., and Eagles Landing at Ocoee, LLC
Location: West side of SR 429, south of General Electric Road, east of Hermit Smith Road Bobby Howell
- 3. Quasi-Judicial – Master Plan/Preliminary Development Plan – Gateway Plaza
Project: VBRO Enterprises LLC c/o Ashish Kapadia
Location: 2006, 2014, 2022, 2030 and 2038 Rock Springs Road; 41 East Lester Road Jean Sanchez
- 4. Quasi-Judicial – Preliminary Development Plan – Legacy Hills Subdivision
Project: JEL Land Development, LLC c/o Dustin Lucas
Location: South of Schopke Road and West of Schopke Lester Road Phil Martinez
- 5. Quasi-Judicial – Preliminary Development Plan – Ponkan Reserve Residential Subdivision
Project: Ponkan Reserve South, LLC, c/o Chuck Hiott, P.E.
Location: 318 and 326 West Ponkan Road Jean Sanchez
- 6. Quasi-Judicial – Final Development Plan/Plat – Oak Pointe South
Project: Thompson Hills Estates, LLC
Location: East of SR 429, north of McCormick Road Bobby Howell
- 7. Quasi-Judicial – Final Development Plan – Ramirez Car Sales
Project: Francisco Ramirez & Juana Nuesi, c/o Ken Ehlers
Location: 124 West Main Street Jean Sanchez
- 8. Quasi-Judicial – Final Development Plan – Zaxby’s Restaurant
Project: Fletcher MCO, LLC, c/o Kevin Pomet
Location: 920, 928, and 936 East Semoran Boulevard Jean Sanchez

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JANUARY 8, 2019, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley

ABSENT: Mary Norwood, Orange County Public Schools (Non-voting)

STAFF PRESENT: James Hitt, FRA-RA – Community Development Director, David Moon, AICP - Planning Manager, Joseph Byrd – City Attorney, Patrick Brackins – City Attorney, Bobby Howell, AICP – Senior Planner, Pamela Richmond, AICP – Senior Planner, Jean Sanchez – Planner II, Phil Martinez – Planner I, and Jeanne Green – Recording Secretary.

OTHERS PRESENT:

OPENING AND INVOCATION: Mr. Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

ELECTION OF OFFICERS:

Chairperson:

MOTION: Robert Ryan nominated James Greene as Chairperson of the Planning Commission and seconded by Butch Stanley. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

Vice - Chairperson:

MOTION: James Greene nominated Linda Laurendeau as Vice-Chairperson of the Planning Commission and seconded by Robert Ryan. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of December 11, 2018, at 5:30 p.m.

Motion: Butch Stanley made a motion to approve the Planning Commission minutes from the regular meeting held on December 11, 2018, at 5:30 p.m. and seconded by Robert Ryan. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

QUASI-JUDICIAL – VARIANCE – ADVENT HEALTH – Chairperson Greene stated this is a request to approve a variance from Section 8.04.03(A)(1), Land Development Code, to allow two wall signs with 336 square feet of copy area for each sign for the property owned by Adventist Health System/Sunbelt, Inc., and located at 2100 Ocoee Apopka Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

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Staff Presentation: Jean Sanchez, Planner II, stated this is a request to approve a variance from Section 8.04.03(A)(1), Land Development Code, to allow two wall signs with 336 square feet of copy area for each sign for the property owned by Adventist Health System/Sunbelt, Inc., and located at 2100 Ocoee Apopka Road. The applicant is Advent Health/Florida Hospital Apopka. The future land use is Commercial and the zoning is PUD (Planned Unit Development). The existing use is a hospital. The tract size is 33.71 +/- acres.

The applicant is requesting a variance from Section 8.04.03(A)(1) –A wall sign shall not exceed two square feet in area for each foot of frontage of building displaying sign, provided no single building shall display more than four wall signs. But in no case shall there be more than two signs affixed on each building wall. Further, the total square footage of wall signs allowed shall not exceed 200 square feet, and any individual wall sign shall not exceed 100 square feet.

- *Applicant Request* - Allow two wall signs to each have 336 square feet of copy area.

On November 13, 2018, Planning Commission reviewed and approved an amendment to the Advent Health Sign Master Plan. The Master Plan allows a maximum wall sign of 100 square feet. Approval of the variance will increase the maximum wall sign area of 336 square feet for each wall sign. If the additional 472 square feet wall signage area is approved by the Planning Commission, this additional area cannot be transferred at a later time to other signage types within the Advent Health site (i.e., monument signs, wall signs).

VARIANCE PROCESS: Per Land Development Code Section 10.02.00, the Planning Commission must follow two steps to approve a variance:

Step 1: Section 10.02.02.A, Limitations on Granting Variances. The Planning Commission “shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” This is known as a physical hardship. If the Planning Commission makes this determination, then it must take action on the seven variance criteria set forth in Section 10.02.02.B.

Step 2: Section 10.02.02.B, Required Findings. Once a “physical hardship” has been determined, the Planning Commission shall not vary from the requirements of any provision of the LDC unless it makes a positive finding, based on substantial competent evidence, on the seven variance criteria.

APPLICABLE CITY CODE:

1. Section 8.04.03(A)(1) – For all single-occupancy development except for that addressed in subsection 2 below, the aggregate area for a wall sign shall not exceed two square feet in area for each foot of frontage of building displaying sign, provided no single building shall display more than four wall signs. But in no case shall there be more than two signs affixed on each building wall. Further, the total square footage of wall signs allowed shall not exceed 200 square feet, and any individual wall sign shall not exceed 100 square feet.

Variance Hardship Determination (Step 1): The first step of the variance determination process is to determine if a hardship occurs pursuant to Section 10.02.02.A, “whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.”

Staff's Response: In December 2018, Florida Hospital Apopka moved from Downtown Apopka to the city limits at Ocoee Apopka Road. Residential and neighbors are still getting use to the new location, further increasing the need for visit, directional signage. Furthermore, the hospital, along with its parent company Adventist Health System, is rebranding to AdventHealth effective January 2, 2019. A variance is being requested to increase the size of the two existing wall signs are the top of the building to make them more

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visible. The current signs that are within code are illegible during the day and are difficult to see at night at their current size and color.

Seven Variance Criteria Findings (Step 2): If the Planning Commission accepts the hardship in Paragraph A. above, the second step is to make a finding on the seven criteria below. The Planning Commission must make a positive finding, based on substantial competent evidence, on each of the following seven criteria:

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant's Response: The new wall signs are in harmony with various aspects of Apopka's city sign code and intent:

- Since the hospital was first built, employees and locals alike noted that the building wall signage was difficult to see during both day and night.
- Over the last several years, emergency room visits at Florida Hospital Apopka have increased significantly - with nearly 30,000 visits expected this year. Good visibility signage will aid all visitors to the hospital including patients and EMS employees.
- The hospital fronts Interstate 439, a major artery in Apopka with traffic moving at very high speeds. New, larger signs will increase visibility at a key decision point for emergency situations and hospital access, and for those unfamiliar with the area.

Staff's Response: No objection.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: The request for this variance is based on better, larger, more directional signage with the intent of bettering the hospital service for the entire community. This request is not based upon any desire to reduce costs or spare any expense on the hospital

Staff's Response: No objection.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: The variance includes two wall signs that will not increase congestion on any surrounding public streets. The goal of the variance is to give patients more visibility in order to make quicker decisions while driving.

Staff's Response: No objection.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: There are no privately owned properties within 300 feet of the hospital. Furthermore, these wall signs will not diminish any surrounding property values. These two wall signs will be uniform in design, font and color, in order to achieve a holistic, coordinated set of signage on campus.

Staff's Response: City staff does not hold professional expertise to address property

values.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: The new wall signs are in harmony with various aspects of Apopka's city sign code and intent:

- They will enhance the economy and industry of the City of Apopka by promoting the reasonable, orderly and effective display of signs and encouraging better community with the public. Better visibility of signage will allow for traffic to move more smoothly when people know exactly where to go in an emergency situation.
 - Purpose B, Code of Ordinances - Part III - Land Development Code
- They will reduce the number of signs and advertising distractions; by increasing the size of these two wall signs, less overall signs are needed for the hospital.
 - Purpose E, Code of Ordinances - Part III - Land Development Code
- They will help to achieve a uniform aesthetic across the hospital campus and the Adventist Health System as a whole, providing recognizable signage and a better visual environment, while also preserving the value of surrounding properties.

Staff Response: No objection.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: No special conditions or circumstances would result from the approval of this variance. The goal is to provide the community with better visibility and identification of the hospital.

Staff Response: No objection.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: This variances will not create any safety hazards or other detriments to the public. All signs will be installed according to International Sign Association standards. Additionally, with the lack of surrounding private property, these two illuminated signs will not affect any private citizens while illuminated at night.

Conclusion: The new signage on the hospital will be uniform in appearance at this campus and across the nation. This variance is being sought to help individuals best navigate while driving by making the signage more visibility and legible. The emphasis on providing high visibility to each hospital is of utmost importance as it is felt that clear and legible signage is essential for the health and safety of the community. Additionally, this will make the signs more visible given the distance from the surrounding streets. These new building signs will serve as a beacon not only to EMS and other emergency services personnel, but for the community as a whole.

Staff Response: No objection.

The role of the Planning Commission is to first determine that sufficient information indicates “whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” If so, then the Planning Commission must find that sufficient information occurs to accept each of the seven variance criteria.

Planning Commission has the authority to approve, deny, or approve with conditions the requested variance.

If Planning Commission approves the Variance, staff recommended the following language:

Approve a variance from Section 8.04.03(A)(1), Land Development Code, to allow two wall signs with 336 square feet of copy area for each sign.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to a question by Chairperson Greene, James Hitt, Community Development Director, stated that this is a very unique situation due to the building being the only seven story structure in this particular area and the lack of visibility of smaller signs from the adjacent roadways.

In response to a question by Mr. Ryan, Mr. Hitt stated that while the requested signs do not have the word “hospital” on them, it will be obvious this is a hospital from the directional signs and the ground signs being updated and the intense national ad campaign taking place announcing the new name.

The petitioner did not have a presentation but was available to answer questions.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Butch Stanley made a motion that the Planning Commission has determined that sufficient information indicates a need for the proposed variance arising out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the property owned by Adventist Health System/Sunbelt, Inc., and located at 2100 Ocoee Apopka Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0). (Vote taken by poll.)

Motion: Butch Stanley made a motion to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and to approve a variance from Section 8.04.03(A)(1), Land Development Code, to allow two wall signs with 336 square feet of copy area for each sign for the property owned by Adventist Health System/Sunbelt, Inc., and located at 2100 Ocoee Apopka Road. Motion seconded by William Gusler. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0). (Vote taken by poll.)

QUASI-JUDICIAL – SPECIAL EXCEPTION – WEST APOPKA SELF STORAGE FACILITY
– Chairperson Greene stated this is a request to approve a Special Exception and Special Exception Site Plan to allow a self-storage facility, West Apopka Self Storage Facility, subject to the Special Exception Conditions of Use, for the property owned by Dafflyn Property 2 LLC and located at 2106 Plymouth Sorrento Road.

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Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item.

Mr. Ryan stated that he had e-mailed staff and the City Attorney regarding the proposed project complying with the Americans with Disabilities Act (ADA) regulations. No other Planning Commission members had ex parte communications.

Staff Presentation: Phil Martinez, Planner I, stated this is a request to approve a Special Exception and Special Exception Site Plan to allow a self-storage facility, West Apopka Self Storage Facility, subject to the Special Exception Conditions of Use, for the property owned by Dafflyn Property 2 LLC and located at 2106 Plymouth Sorrento Road. The future land use is Commercial and the zoning is C-1 (Retail Commercial). The existing use is two single family homes and the proposed use is a self-storage facility. The total tract size is 8.95 +/- acres of which 6.53 +/- acres will be used for a self-storage area.

The property is presently assigned a Future Land Use Designation of “Commercial”. Within the C-1 (Retail Commercial District) zoning category, a self-storage facility is a use that requires an approved Special Exception. The proposed self-storage facility is comprised of 70,935 sq. ft. of building space, amounting to a floor area ratio (FAR) of .2499. Portable storage pods and a covered RV area are located in the middle of the complex and are not counted for in the FAR. 1,200 sq. ft. is dedicated for an office area, 55,475 sq. ft. is proposed for hybrid, climate control storage, and 14,260 sq. ft. is used for self-storage. The development is planned to be gated, and is part of a planned commercial subdivision. The self-storage area (Special Exception Area) is depicted on Lot 1 in the attached Site Plan. Lots 2-4 are for C-1 Commercial use.

The Special Exception only applies to a western portion of the parcel. To screen areas east of Plymouth Sorrento Road from the min-storage use, the eastern portion of the parcel is not incorporated into the Special Exception.

A. **Relationship to Adjacent Properties:** Zoning and existing land use assigned to adjacent and nearby properties appears in the attached exhibits. The character of the area surrounding the subject property is described as follows:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low Suburban	R-1AA & RT-2 (ZIP)	Single Family Houses
East (City)	Residential Low Suburban & Commercial	PUD & R-1AAA	Nurseries & Single Family Homes
South (City)	Agriculture	AG	Woodlands
West (City & County)	Residential Low Suburban & Rural	A-1 (ZIP) & A-1	Single Family Houses & Woodlands

B. **Special Exception Distance Separation Standard.** “All special exception uses shall be located a minimum of 1,000 feet from any other existing like use in non-residential districts, and 1,500 feet in residential districts.” (Article II, Section 2.00.00, 5. Special Exceptions. B1). The proposed self-storage area is more than 1,500 feet from any other self-storage area.

C. **Special Exception Development Standards.** Article II of the Land Development Code establishes development standards specific to special exceptions. These standards are intended to reduce any impacts from the proposed special exception use on adjacent properties. After review of the Development Plan for the Special Exception, staff finds that the applicant has met the intent of the regulations stated in Article II, Section 2.02.01 General, (5), Special Exceptions.

The parking requirement for this use is one space for each 2 employees on largest shift plus 1 space for each company vehicle operating from the premises.

A 15 feet wide buffer yard areas have been provided on the southern, western, and northern boundary lines, with a 6 feet tall masonry wall in the northern buffer yard. The north adjacent lands are currently used, or zoned for, residential development. While a buffer yard and wall were not provided on the eastern boundary, the proposed conditions of this development, as well as the existing conditions of the east-adjacent lots 2-4, counter the need for a buffer yard and wall.

A lighting plan, landscape plan, and sign plan, will be provided during the Site Plan Approval Process (i.e. Preliminary Development Plan and/or Final Development Plan).

C. Special Exception Conditions of Use.

1. Portable storage containers can only be grouped together in increments of 6 with a ten foot separation between every 6 pods.
2. Four additional hydrants must be located inside the complex at all four corners surrounding the containers.
3. The entrance gate shall have an opticom visual type activation for emergency vehicles, one mounted high, and one mounted low, with a yelp siren activation, and a key code mandated by city staff for emergency access.
4. An acceptable location of the dumpster shall be shown on the preliminary development plan.
5. The project's landscape and irrigation plans shall be designed in accordance with City Ord. No. 2069.
6. A lighting plan shall be required with the Preliminary Development Plan.
7. A landscape plan shall be required with the Preliminary Development Plan.
8. No outside storage of parts, supplies, materials, equipment, shall be allowed, unless approved by a special exception in accordance with this code.
9. Portable storage pods shall be permitted under the following conditions: (10-13)
10. Must be in accordance with the City of Apopka's Fire Department Guidelines, and all other departments
11. Must be screened from public view (by buildings or an 8' wall)
12. Maximum height of storage pods is 8'
13. Must demonstrate that pods are used on a temporary basis and capable of being transported offsite.
14. Only operable vehicles may be permitted in the covered RV area. Vehicle may not be inhabited.
15. Storage is only permitted for inanimate objects.

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16. The Special Exception for s mini-storage facility applies only to the western portion of the existing parcel as delineated within the Special Exception Site Plan. The Special Exception Area is limited to a maximum of 5.8 acres.
17. A Preliminary and Final Development Plan for the parcel shall be consistent with the Special Exception Site Plan if a self-storage use is proposed within the approved Special Exception area.

The Development Review Committee recommends approval for a Special Exception and Special Exception Site Plan to allow a self-storage facility within the C-1 zoning district, subject to the Special Exception conditions within the staff report and the site plan.

Staff recommended the Planning Commission approve a Special Exception and Special Exception Site Plan to allow a self-storage facility, subject to the Special Exception Conditions of Use, at 2106 Plymouth Sorrento Road.

The role of the Planning, pursuant to the City of Apopka Code of Ordinances, Part III, Land Development, Article XI, Section 11.05.D.1, is to take final action on a special exception application. Therefore, the Planning Commission may approve, deny or approve with conditions this application. An applicant may appeal the Planning Commission action to the City Council.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

John Herbert, American Civil Engineering Company, 207 North Moss Road # 211, Winter Springs, stated he is the engineer for the project. He said they appreciated staff's assistance and agreed with the staff report. He said the owners, applicant, and himself were available to answer any questions.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to approve a Special Exception and Special Exception Site Plan to allow a self-storage facility, West Apopka Self Storage Facility, subject to the Special Exception Conditions of Use, for the property owned by Dafflyn Property 2 LLC and located at 2106 Plymouth Sorrento Road. Motion seconded by Butch Stanley. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0). (Vote taken by poll.)

LEGISLATIVE – COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE

AMENDMENT – CONSTRUESSE USA, INC. - Chairperson Greene stated this is a request to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change of Future Land Use Designation from "County" Low Density Residential to "City" Residential Low Suburban, subject to the findings of the staff report for the property owned by Construesse USA, Inc. and located at 2600 Rock Springs Road.

Staff Presentation: Mr. Martinez stated this is a request to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change of Future Land Use Designation from "County" Low Density Residential to "City" Residential Low Suburban, subject to the findings of the staff report for the property owned by Construesse USA, Inc. and located at 2600 Rock Springs Road. The current zoning is "County" A-1 and A-R. A change of zoning to "City" PUD (Planned Unit Development) will be processed at a later date when the applicant submits a master plan. The existing

use is two single family homes. The existing maximum allowable development is 38 single family homes and the proposed maximum allowable development is 33 single family homes. The tract size is 9.59 +/- acres.

The subject parcel was annexed in the city on October 17, 2018 by Ordinance No. 2681. The applicant has applied for Residential Low Suburban Future Land Use and Planned Unit Development Zoning. The intent, at this time, is to develop a single-family, infill subdivision. Future Land Use designations to the north, south, and west are also Residential Low Suburban.

The proposed use of the property is consistent with the Residential Low Suburban Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support a Residential Low Suburban FLUM designation at the subject site:

Future Land Use Element

1. Policy 3.1.d

Low Density Suburban Residential

The primary use shall be residential dwelling units up to 3.5 dwelling units per acre, elementary schools; middle schools; supporting infrastructure of less than two acres, neighborhood parks.

The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement. School concurrency will apply at the time of the final development plan\plat application.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on October 9, 2018.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Residential Low Suburban for the property owned by Construesse USA, Inc. and located at 2600 Rock Springs Road.

Staff recommended the Planning Commission find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from "County" Low Density Residential to "City" Residential Low Suburban, subject to the findings of the Staff Report.

This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to a question by Mr. Gusler, David Moon, Planning Manager, stated that once the zoning application is received staff will look at the zoning compatibility with the surrounding properties. Under PUD (Planned Unit Development) zoning the proposed lot size and width much be compatible with the adjacent properties. The density and lot yield will be determined at the time the change of zoning application is received.

Momtaz Barq, Terra-Max Engineering Inc., 1507 South Hiawasse Road, Orlando, stated that he agreed with the staff report and was available to answer any questions.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak,

Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change of Future Land Use Designation from “County” Low Density Residential to “City” Residential Low Suburban, subject to the findings of the staff report for the property owned by Construesse USA, Inc. and located at 2600 Rock Springs Road. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

LEGISLATIVE – COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – WILLIAM & CECILIA UEBEL AND JOSE & IRIS ACEVEDO - Chairperson Greene stated this is a request to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change of Future Land Use Designation from Commercial to Residential Very Low Suburban, subject to the findings of the staff report for the properties owned by William & Cecelia Uebel; and Jose & Iris Acevedo and located at 355, 363, and 371 West Kelly Park Road.

Staff Presentation: Phil Martinez, Planner, stated this is a request to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change of Future Land Use Designation from Commercial to Residential Very Low Suburban, subject to the findings of the staff report for the properties owned by William & Cecelia Uebel; and Jose & Iris Acevedo and located at 355, 363, and 371 West Kelly Park Road. The existing use is three single family homes. The current zoning is C-1 (Retail Commercial). The proposed zoning of “City” R-1 is being processed along with the future land use amendment. The maximum allowable development is 14,810 sq. ft. commercial space and the proposed is three single family dwelling units. The tract size is 1.36 +/- acres.

The subject parcels were annexed in the city on May 19, 2010 by Ordinance Nos. 2160 and 2161. Commercial Future Land Use was designated to the properties on September 1, 2010 via Ordinance Nos. 2187 and 2189, Commercial Zoning was assigned on the same day, via Ordinance Nos. 2188 and 2190. The three existing single-family homes have been legal, non-conforming structures since the Commercial Future Land Use and Commercial Zoning were assigned.

The applicants propose R-1 zoning and Residential Very Low Suburban Future Land Use to attain a legal, conforming status to the three existing single family homes.

The proposed use of the property is consistent with the Residential Very Low Suburban Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support a Residential Very Low Suburban FLUM designation at the subject site:

Future Land Use Element

1. Policy 3.1.c

Very Low Density Suburban Residential

The primary use shall be residential dwelling units up to 2 dwelling units per acre, elementary schools; middle schools; supporting infrastructure of less than two acres, neighborhood parks.

The proposed future land use change will result in an insignificant increase (less than 9) in the number

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of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on November 14, 2018.

The Development Review Committee found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Residential Very Low Suburban for the properties owned by William & Cecilia Uebel & Jose & Iris Acevedo, and located at 355, 363, and 371 West Kelly Park Road.

Staff recommended the Planning Commission find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from Commercial to Residential Very Low Suburban, subject to the findings of the Staff Report.

This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Ms. Laurendeau stated it was refreshing to see property go from Commercial to Residential.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Butch Stanley made a motion to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change of Future Land Use Designation from Commercial to Residential Very Low Suburban, subject to the findings of the staff report for the properties owned by William & Cecelia Uebel; and Jose & Iris Acevedo and located at 355, 363, and 371 West Kelly Park Road. Motion seconded by Robert Ryan. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

QUASI-JUDICIAL – CHANGE OF ZONING - WILLIAM & CECILIA UEBEL AND JOSE & IRIS ACEVEDO – Chairperson Greene stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the proposed Change of Zoning from C-1 to R-1 subject to the findings of the staff report for the properties owned by William & Cecelia Uebel; and Jose & Iris Acevedo and located at 355, 363, and 371 West Kelly Park Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Mr. Martinez stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the proposed Change of Zoning from C-1 to R-1 subject to the findings of the staff report for the properties owned by William & Cecelia Uebel; and Jose & Iris Acevedo and located at 355, 363, and 371 West Kelly Park Road. The existing use is three single family homes. The current future land use is Commercial and the proposed future land use is Residential Very Low

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Suburban that is being processed along with the change of zoning. The maximum allowable development is 14,810 sq. ft. commercial space and the proposed is three single family dwelling units. The tract size is 1.36 +/- acres.

The subject parcels were annexed in the city on May 19, 2010 by Ordinance Nos. 2160 and 2161. Commercial Future Land Use was designated to the properties on September 1, 2010 via Ordinance Nos. 2187 and 2189, Commercial Zoning was assigned on the same day, via Ordinance Nos. 2188 and 2190. The three existing single-family homes have been legal, non-conforming structures since the Commercial Future Land Use and Commercial Zoning were assigned.

The applicants propose R-1 zoning and Residential Very Low Suburban Future Land Use to attain a legal, conforming status to the three existing single family homes.

The existing and proposed use of the property is consistent with the proposed Residential Very Low Suburban (0-2 DU/Acre) Future Land Use designation and the City's R-1 Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on November 14, 2018.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from C-1 to R-1 for the properties owned by William & Cecilia Uebel & Jose & Iris Acevedo.

Staff recommended the Planning Commission find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the proposed Change of Zoning from C-1 to R-1 for the properties owned by William & Cecilia Uebel & Jose & Iris Acevedo.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Butch Stanley made a motion to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the proposed Change of Zoning from C-1 to R-1, subject to the findings of the staff report, for the properties owned by William & Cecelia Uebel; and Jose & Iris Acevedo and located at 355, 363, and 371 West Kelly Park Road. Motion seconded by Robert Ryan. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

QUASI-JUDICIAL – FINAL DEVELOPMENT PLAN – CJS HOLDING (LAKE GEM LOT 1)
- Chairperson Greene stated this is a request to find the CJS Holding (Lake Gem Lot 1) Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Final Development Plan, subject to the findings of the staff report for the property owned by Property Industrial Enterprises, LLC c/o Michael R. Cooper, and located at 701

Marshall Lake Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item.

Mr. Ryan stated that he had e-mailed staff and the City Attorney regarding the proposed project complying with the Americans with Disabilities Act (ADA) regulations.

No other Planning Commission members had ex parte communications.

Staff Presentation: Jean Sanchez, Planner II, stated this is a request to find the CJS Holding (Lake Gem Lot 1) Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Final Development Plan, subject to the findings of the staff report for the property owned by Property Industrial Enterprises, LLC c/o Michael R. Cooper, and located at 701 Marshall Lake Road. The engineer is Ken Ehlers, P.E. The future land use is Industrial and the zoning is PUD/I-1 (Planned Unit Development/Industrial). The existing use is vacant land and the proposed use is Industrial on Lot 1 of the Lake Gem Commerce Center. The proposed building size is 13,600 square feet and the proposed Flood Area Ratio is 0.19 with a maximum of 0.60. The tract size is 1.57 +/- acres or 68,432 square feet.

The CJS Holding (Lake Gem Commerce Center Lot 1) Final Development Plan is a site plan proposing a 13,600 square feet, one-story building for warehousing use for door and frame installation. Located within the PUD/I-1 zoning district, Lot 1 contains 1.57 acres. Lake Gem Commerce complies with the development standards for I-1 zoning district but allowed for a building height of up 50 feet and subject to the all other standards within PUD Ordinance No. 2447.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	10'*
Corner	25'

*30 feet setback from residential uses or zoning districts.

Ingress/egress access points for the development will be via the spine road, Gem Commerce Court with full access onto Marshall Lake Road. Thirty-five parking spaces, including two ADA-compliant parking spaces, are provided as required by Code.

A transportation impact analysis (TIA) was conducted for the Lake Gem Industrial Park to assess the impacts of the total project on the surrounding roadway segments and intersections within a one-mile radius of the project per the City's adopted TIA methodology. Marshall Lake Building Lot 10 is one of 12 lots located in the 90,000 square feet Lake Gem Industrial Park project, representing about 8% of the total project. Included in the analysis were segments of Bradshaw Road, Marshall Lake Road, and W 1st Street. The intersection of Bradshaw Road and Lake Marshall Road along with the site entrance were also analyzed.

The Lake Gem Industrial Park project will generate 627 daily trips and 87 P.M. Peak Hour trips. Marshall Lake Building Lot 10 will generate 52 daily trips and 7 P.M. Peak Hour Trips. The addition

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of the project trips for the entire Lake Gem Industrial Park to the study roadways will not cause the Level of Service (LOS) to fall below the City's adopted LOS. The intersection of Bradshaw Road and Marshall Lake Road and the site entrance will operate at acceptable Levels of Service with the addition of project generated traffic.

The stormwater management system includes an on-site retention area on the western portion of the Lake Gem Commerce Park. The stormwater pond design has been previously reviewed under the Lake Gem Commerce Park and meets the City's Land Development Code requirements.

A mixture of loblolly pines and magnolias are planted within the 25-foot wide landscaped buffer provided along Marshall Lake Road. A Japanese Blueberry tree is provided for each parking landscape island, which is a minimum of 8-feet in width and matches the length of the adjacent parking spaces.

The County was notified at the time of the subdivision plan and plat for this property through the DRC agenda distribution.

The Development Review Committee recommends approval of the CJS Holding Final Development Plan subject to the findings of this staff report.

Staff recommended the Planning Commission find the CJS Holding Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the CJS Holding Final Development, subject to the findings of this staff report.

The role of the Planning Commission is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to a question by Mr. Ryan, Mr. Hitt stated that the City complies with the Florida Building Code which is ADA compliant and based on that code van accessible signs are not required.

Mr. Ryan disagreed with Mr. Hitt stating that ADA was a Federal law and van accessible signs are required.

Joseph Byrd, City Attorney, said that the City is compliant with the Florida Building Code and that code is ADA compliant. He added that there are ongoing discussions to include more restrictive codes.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Butch Stanley made a motion to find the CJS Holding (Lake Gem Lot 1) Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Final Development Plan, subject to the findings of the staff report for the property owned by Property Industrial Enterprises, LLC c/o Michael R. Cooper, and located at 701 Marshall Lake Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

In response to a question by Mr. Cooper, Mr. Ryan stated that he would like there to be a "Van Accessible" sign placed at the handicap parking spaces.

QUASI-JUDICIAL – FINAL DEVELOPMENT PLAN – FAIRFIELD INN & SELF-STORAGE

- Chairperson Greene stated this is a request to find the Fairfield Inn & Self-Storage Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Final Development Plan, subject to the findings of this staff report for the property owned by Farish Enterprises, LLC and located at 1616 East Semoran Boulevard.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item.

Mr. Ryan stated that he had e-mailed staff and the City Attorney regarding the proposed project complying with the Americans with Disabilities Act (ADA) regulations.

No other Planning Commission members had ex parte communications.

Staff Presentation: Ms. Sanchez stated this is a request to find the Fairfield Inn & Self-Storage Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Final Development Plan, subject to the findings of this staff report for the property owned by Farish Enterprises, LLC and located at 1616 East Semoran Boulevard. The engineer is Interplan, LLC, c/o Stuart Anderson, P.E. The future land use is Commercial and the zoning is C-2 (General Commercial). The existing use is vacant land and the proposed uses are a hotel, self-storage facility and RV parking. The proposed building sizes for the hotel with 91 rooms is 51,588 square feet and the storage facility is 60,732 square feet for a total of 112,320 square feet. The building height for the hotel is 53 feet and 35 feet for the self-storage facility. The proposed Floor Area Ratio is 0.2499 with a 0.25 maximum allowed. The tract size is 12.12 +/- Acres or 527,937 square feet.

City Council approved a preliminary development plan for the Fairfield Inn and Self-Storage project on August 1, 2018, and Planning Commission recommended approval of these preliminary development plans at its meeting held on July 10, 2018.

Further, Planning Commission approved a Special Exception Permit and an associated Special Exception Site Plan on December 13, 2016. The Special Exception allowed for an increase in the maximum building height from 35 feet to 55 for the hotel building.

Farish Enterprises proposes to replat the McVilla Commerce Park Plat from three lots to four lots. Lot 3 of the McVilla Commerce Center Plat will be subdivided into Lots 3A and 3B. Lot 3B, is the proposed location of a hotel and a storage facility. Lot 3A will function as an outparcel and is situated to Semoran Blvd. A site plan for Lot 3B is included in this Final Development Plan. At a future date, a site plan will be submitted for the vacant outparcel, Lot 3A.

The site plan for Lot 3B includes the hotel and self-storage facility. A service driveway\road connects McVilla Avenue to the western end of Lot 3B and to the eastern property line of outparcel in Lot 3A. A multi-tenant monument sign will be placed in a sign easement at the northeast corner of Lot 3A, and dedicated to the property owner association.

At four stories, the hotel includes 91-lodging units and an outdoor pool. At three stories, the 60,732 square feet self-storage facility will include outdoor storage for recreational vehicles, trucks and other equipment. Located behind the Aldi Grocery Store and the RaceTrac on East Semoran Boulevard, the hotel and self-storage facility have a proposed connection to Semoran from the private driveway, McVilla Avenue.

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Section 2.02.01(A) of the City's Land Development Code, mandates a maximum building height of 35' for all districts. On December 13, 2016, the Planning Commission approved a special exception to allow a maximum building height of fifty-five (55) feet for the hotel. The self-storage facility is in accordance with the previously mentioned building height rule of 35'. The hotel is proposed to have a height of 53 feet.

The hotel site contains 106 parking spaces of which five are handicapped spaces. And the self-storage facility contains 67 parking spaces of which two are handicapped spaces. In total, the applicant proposes 69 more parking spaces than what is required by the Land Development Code. The ancillary spaces on Fairfield shall be moved closer to the doors on the sides at time of construction since it is simply a re-striping issue. The side accessible parking spaces shall be shifted nearer to the exit doorways. The applicant has not declared whether joint parking will be allowed between the hotel and self-storage sites, but that capability exists as Lot 3B will occur under one ownership.

Access to the site is via a single full access points on US 441/Semorán Boulevard at McVilla Avenue, a signalized intersection. McVilla Avenue dead ends into this project and provides access to US 441/Semorán Boulevard for Aldi on the west and RaceTrac on the right.

A. Road Jurisdiction.

1. US 441/Semorán Boulevard – State Road.
2. McVilla Avenue – Private.
3. A cross-access easement provides connection between Lot 3A and the Aldi lot, connecting to Semorán Blvd.

B. The project is anticipated to generate 71 PM Peak Hour trips. All project generated traffic is anticipated to exit the site to US 441/Semorán Boulevard, half heading east and half heading west. Sufficient capacity exists to accommodate the addition of trips generated by this project.

C. Road/Intersection Improvements. No roadway or intersection improvements are required.

D. The Plat shall be revised to indicate the access easement is granted to the owner of Parcel 3A, and shall state who has the maintenance responsibility of the cross access easement.

Stormwater run-off and drainage will be accommodated by an on-site retention pond located on the south portion of the project site abutting residential uses/districts and surrounded by a 6-foot tall aluminum fence. The on-site stormwater management system is designed according to standards set forth in the Land Development Code.

The site plan shows that parking lots and buildings are proposed to be lined with predominantly Live Oaks and Slash Pines. Live oaks are shown, in addition to a 6-foot tall masonry, concrete or brick wall on the southern boundary and in the 35-foot wide landscaped buffer in the southeastern portion boundary abutting residential zoning districts. The planting materials are consistent with the standards set forth in Ordinance No. 2069.

Four hundred (400) square feet of area within the proposed outparcel on the northeastern portion that abuts Semorán Boulevard is designated as an area for multitenant monument signage. The Lot 3A outparcel will be created by plat at the time of Final Development Plan. Signage for this development will be permitted separately and must comply with Article VIII of the City's Land Development Code.

The Plat shall be revised to show the commercial plaza sign tract to be dedicated to the owner of lot 3a

and 3b.

The Development Review Committee recommends approval of the Fairfield Inn and Self-Storage Final Development Plan and Plat, subject to the findings of this staff report.

Staff recommended the Planning Commission find the Fairfield Inn and Self-Storage Final Development Plan and Plat consistent with the Land Development Code and Comprehensive Plan; and recommend approval of Final Development Plan and Plat, subject to the findings of this staff report for the property owned by Farish Enterprises, LLC, and located at 1616 East Semoran Boulevard.

The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Chris Blurton, Interplan LLC, 604 Courtland St., Suite 100, Orlando, agreed with the staff report and was available to answer any questions. He told Mr. Ryan that they would install “Van Accessible” signs at the handicap parking spaces.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to find the Fairfield Inn & Self-Storage Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Final Development Plan, subject to the findings of this staff report for the property owned by Farish Enterprises, LLC and located at 1616 East Semoran Boulevard. Motion seconded by William Gusler. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

QUASI-JUDICIAL – FINAL DEVELOPMENT PLAN AND PLAT – VISTA RESERVE -

Chairperson Greene stated this is a request to find the Vista Reserve Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Vista Reserve Final Development Plan and Plat amendment, subject to final review by the City surveyor and City Engineer prior to recording the plat for the property owned by Pulte Home Company, LLC, and located on the east side of Rogers Road, approximately ½ mile north of the intersection of Rogers Road and Lester Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Ms. Sanchez stated this is a request to find the Vista Reserve Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Vista Reserve Final Development Plan and Plat amendment, subject to final review by the City surveyor and City Engineer prior to recording the plat for the property owned by Pulte Home Company, LLC, and located on the east side of Rogers Road, approximately ½ mile north of the intersection of Rogers Road and Lester Road. The applicant is Pulte Home Corporation. The existing use is vacant land and the proposed use is a 153 single family home subdivision. The amendment changes the phasing one phase to two phases (Phase 1 – 52 units; Phase 2 –101 units). The future land use is Low Density Suburban Residential and the zoning is PUD (Planned Unit Development). The

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tract size is 61.1 +/- acres.

On October 3, 2018, the City Council approved a Final Development Plan and Plat for the Vista Reserve subdivision, which is located on the east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road. The approved Vista Reserve Final Development Plan and Plat detailed the development of 153 single family residential lots in one phase. Following City Council approval, the applicant submitted a revised Final Development Plan and Plat proposing construction of the subdivision in two phase instead on one phase. The amended Final Development Plan and Plat are consistent with the Final Development Plan and Plat that were approved by the City Council on October 3, 2018 with the exception that the subdivision will be divided into two phases. Phase 1 will consist of 52 units, and Phase 2 will consist of 101 units. Each phase has been designed to function on its own. Consistent with the approved PUD Master Plan/Preliminary Development Plan, lot widths of 65-feet and 90-feet are provided. The minimum living area is proposed at 2,190 square feet.

Ingress/egress access points for the development are located via Rogers Road. Rogers Road will terminate at the main entrance of the development. The developer will be dedicating a 0.68 acre portion of right-of-way along Rogers Road to the City. The subdivision will consist of public roads and infrastructure that is owned and maintained by the City. Vehicular and pedestrian connections are provided to the property to the north and to the Carriage Hills subdivision located to the south.

Two tracts located on the northwestern and northeastern corners of the site are reserved for stormwater retention. The stormwater retention areas will be owned and maintained by the homeowners association.

Consistent with the approved PUD Master Plan/Preliminary Development Plan, a 1.67 acre tract is reserved for the community recreation facility that will be owned and maintained by the homeowners association. Included within the recreation facility is a picnic area, pool, pool cabana building, play structure, open play area, bicycle parking, and a parking area for 8 cars.

Consistent with the approved PUD Master Plan/Preliminary Development Plan, a continuous open space tract with is provided around the perimeter of the subdivision to buffer the homes from the surrounding existing subdivisions. Thirty percent of the site, or 18.13 acres of open space is provided, and will be owned and maintained by the homeowners association. Landscaping and a 6-foot high brick wall is provided along Rogers Road. Trees are located within the open space tract provided around the perimeter of the subdivision.

The developer has obtained a school concurrency mitigation agreement with Orange County Public Schools to address school impacts generated by this residential development. The schools zoned to receive students from this community are the following: Wolf Lake Elementary School, Wolf Lake Middle School and Apopka High School.

The County was notified at the time of the subdivision plan and plat for this property through the DRC agenda distribution.

The Development Review Committee recommends approval of the Vista Reserve Final Development Plan and Plat amendment, subject to final review by the City surveyor and City Engineer prior to recording the plat.

Staff recommended the Planning Commission recommend approval of the amendment to the Vista Reserve Final Development Plan and Plat, subject to final review by the City surveyor and City Engineer prior to recording the plat.

The role of the Planning Commission for this development application is to advise the City Council to

approve or deny based on consistency with the Comprehensive Plan and Land Development Code and Final Development Plan and Master Plan.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Butch Stanley made a motion to find the Vista Reserve Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Vista Reserve Final Development Plan and Plat amendment, subject to final review by the City surveyor and City Engineer prior to recording the plat for the property owned by Pulte Home Company, LLC, and located on the east side of Rogers Road, approximately ½ mile north of the intersection of Rogers Road and Lester Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

QUASI-JUDICIAL – FINAL DEVELOPMENT PLAN – PUD MASTER PLAN AMENDMENT AND PRELIMINARY DEVELOPMENT PLAN - Chairperson Greene stated this is a request to find the Mid-Florida Logistics PUD Master Plan and Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the amendment to the Mid-Florida Logistics Park Planned Unit Development (PUD) Master Plan based on the findings and facts presented in the staff report and exhibits, and subject to City Council approving a revised development agreement for the property owned by Mid-Florida Freezer Warehouses, Ltd; Florida Express Trucking, Inc.; and Eagles Landing At Ocoee, LLC and located on the west side of SR 429, south of General Electric Road, and east of Hermit Smith Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Ms. Sanchez stated this is a request to find the Mid-Florida Logistics PUD Master Plan and Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the amendment to the Mid-Florida Logistics Park Planned Unit Development (PUD) Master Plan based on the findings and facts presented in the staff report and exhibits, and subject to City Council approving a revised development agreement for the property owned by Mid-Florida Freezer Warehouses, Ltd; Florida Express Trucking, Inc.; and Eagles Landing At Ocoee, LLC and located on the west side of SR 429, south of General Electric Road, and east of Hermit Smith Road. The applicant is Dave Schmitt Engineering, Inc. c/o Bryan Gaines, AICP. The future land use is Industrial and the zoning is PUD (Planned Unit Development). The existing use is vacant land and the proposed uses are 2,342,566 square feet industrial buildings; developed in multiple phases. The tract size is 189.00 +/- acres.

On October 18, 2018, the City Commission approved a PUD Master Plan for Mid-Florida Logistics Park, which detailed the construct a subdivision consisting of five industrial warehouse buildings totaling 2,406,095 on property located west of SR 429, south of General Electric Road and east of Hermit Smith Road. The applicant has submitted an amendment to the PUD Master Plan for approval, and is requesting to amend the PUD Master Plan to accomplish the following: 1) reduce the overall permitted square footage from 2,406,095 square feet to 2,342,566 square feet, 2) relocate Building 2 into an east-west configuration from a north-south configuration, and extend Building 5 further to the

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east and rename Building 5 to Building 5A and 5B, 3) reconfigure two public rights-of-ways proposed for construction on the property; and 4) allow extension of the rail spur to connect to the southern-most lot.

The amended PUD Master Plan proposes an industrial subdivision consisting of five industrial warehouse buildings totaling 2,342,566 square feet. Consistent with the PUD Master Plan that was approved on October 18, 2018, access to the site is proposed via an ingress/egress point on Hermit Smith Road, two ingress/egress points on General Electric Road, and a yet to be constructed road that is dedicated to the public that is referred to as Shelby Industrial Drive, which is proposed to be constructed in a north-south configuration. Shelby Industrial Drive will terminate at Building 5A and 5B, and will intersect with Peterson Road, which is proposed to run in an east-west direction. Peterson Road will extend to the east and will cross under SR 429, which will facilitate roadway connections to properties located on the east side of SR 429. The PUD Master Plan details the dedication of 25-feet of public right-of-way to the east of Building 5A to allow future access to the properties to the south. In addition, three railroad spurs are proposed to lead into buildings 1A and 1B, 2, and 3. The railroad spurs will be located along the right-of-way of Shelby Industrial Drive. An unimproved platted right-of-way known as Peterson Road bisects the property from east to west. This right-of-way is proposed to be vacated when the property is platted, and the right-of-way of Peterson Road will be relocated to the south to allow access to the property owners located to the south of the PUD. The proposed relocation of the Peterson Road right-of-way is shown on the amended PUD Master Plan. The new right-of-way of Peterson Road is proposed at 80-feet in width. Consistent with the approved PUD Master Plan, parking will be provided on each lot, and will be owned and maintained by each property owner.

Four Storm water retention areas are proposed on site. Pond A (dry retention) is proposed south of Building 3, Pond B is proposed east of Buildings 1A and 1B and adjacent to the west of SR 429, and Ponds C1 (dry retention) and C2 (wet detention) are proposed south and west of Buildings 5A and 5B.

No new deviations are proposed. The applicant is carrying over five (5) deviations to the City's required development standards that were approved with the Master Plan on October 18 2018. For a PUD Master Plan, a deviation from the City's Land Development Code (LDC) does not represent a variance but a development standard or zoning condition unique to and approved as part of the Planned Unit Development zoning. PUD's are required to satisfy the requirements of the Land Development Code unless the City Council finds that, based on substantial evidence, a proposed alternative development guideline is adequate to protect to the public health safety, and welfare. Any deviations must be consistent with the policies of the Comprehensive Plan.

1. LDC, Section 6.03.02.A. Number of parking spaces required (Wholesale, industrial, manufacture, processing or assembly uses) - 2 spaces per 1,000 square feet of gross floor area up to 150,000 square feet, plus 1 space per vehicle operating from premises or 1 space per 2 employees. 1 space per 1,000 square feet over 150,000 square feet of gross floor area.

The applicant is proposing 0.89 parking spaces per 1,000 square feet of gross floor area.

The following justification has been provided: "The ITE Parking Generation Manual, 4th Edition, 85th percentile parking requirement for warehouse use is 0.81 spaces per 1,000 square feet of gross floor area."

2. LDC, Section 2.02.01.A. - Maximum building height for all zoning districts is 35-feet.

The applicant is proposing a maximum building height of 55-feet within the PUD.

The following justification has been provided: "The modern warehouses require 36-feet to 45-feet of clear space under roof to accommodate automated materials handling equipment

and maximize storage.”

3. LDC, Section 2.02.15.F. Yard requirements - Front yard – 25-feet, side yard – 10-feet, Yards adjacent to road right-of-ways shall be a minimum of 25-feet, Rear Yard – 10-feet (30-feet adjacent to residential)

The applicant is proposing 15-foot setback on General Electric Road, Hermit Smith Road to main entrance, 0-feet to 10-feet adjacent to SR 429, 10-feet to 25-feet adjacent to Peterson Road, 10-feet adjacent to Fern Industrial Drive.

The following justification has been provided: “The northwestern portion of the site is constrained by the encroachment of General Electric Road. SR 429 has 300-feet of right-of-way, 6 lanes, and provides a 20-foot high barrier to adjacent property to the east.”

4. LDC, Section 2.02.01.b(8a) – Roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.

The applicant is proposing roof top equipment shall be screened from view from adjacent property lines and public right-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135-feet, approximately 20-feet above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the subdivision president and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the center line of the public right-of-way. The eye line shall be from the typical height of a person driving an automobile.

The following justification has been provided: “All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and right-of-way.”

5. LDC, Section 6.02.08.B.2 – All subdivisions are required to have four-foot wide concrete sidewalks on both sides of all local and minor collector streets.

The applicant is proposing to construct an 8-foot wide sidewalk along only one side of Fern Industrial Drive.

The following justification has been provided: “We are requesting that we do not place a sidewalk on the east side of the right-of-way proximate to the rail spurs. The pedestrian access plan provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving the entire site. The sidewalk on the west side of Fern Industrial is the spine connecting the southern end of the site with General Electric Road. All buildings are connected to this north/south spine and the appropriate crosswalks are provided when needed. We [BlueScope] remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the rail spurs to the east of Fern Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and rail vehicles.”

Access to the site is provided from General Electric Road and Hermit Smit Road. Peterson Road is also a future access point for this project as well as for properties to the south of the Mid-Florida Logistics Park site. Peterson Road and Fromm Road are both proposed to be vacated at the request of the applicant and property owner. The vacated road right-of-way will become part of the development site, making it more compact and contiguous. Peterson Road access will serve as a future secondary access for emergency response. The proposed Peterson Road alignment will also create connection to

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JANUARY 8, 2019, AT 5:30 P.M.

Peterson Road east of SR 429, allowing any residents of Avian Pointe to reach the Logistics Park. The Peterson Road connection between the east and west side of SR 429 also allows another road connection besides using West Orange Avenue and Binion Road, thus allowing traffic to distribute over more routes.

A transportation impact analysis (TIA) was conducted for this project to assess its impacts on the surrounding roadway segments and intersections within a one-mile radius of the project per the City's adopted TIA methodology. Included in the analysis were segments of US 441, General Electric Road, Binion Road, Hermit Smith Road and Hogshead Road. Intersections analyzed were General Electric Road & Orange Avenue, Hermit Smith Road & General Electric Road, Hermit Smith Road & US 441, SR 429 Connector Road & US 441, Orange Avenue & US 441, Plymouth Sorrento Road & US 441, Boy Scout Boulevard & U&S 441, General Electric Road & Site Access, and Hermit Smith Road & Site Access. Peterson Road connection requires additional right-of-way east of SR 429. In exchange for the City vacating Fromm Road and Peterson Road, Mid-Florida Freezer will be obligated to donate an additional 30-foot width of land along Peterson Road, east of SR 429, to create a 50-foot wide right-of-way.

The project will generate 3,444 daily trips and 246 P.M. Peak Hour trips. It is estimated that 20% of the total traffic generated by this project will be truck traffic. The nature of the land use supports the assumption that most of the truck traffic will leave the site and access SR 429 from US 441 and SR 429 Connector Road.

The addition of project trips to the study roadways will not cause the Level of Service (LOS) to fall below the City's adopted LOS standard. The addition of project traffic to the intersection of Hermit Smith Road and US 441 will cause the intersection to fail. The applicant is required to design and construct a dedicated right turn lane on Hermit Smith Road to allow for safe access to US 441. The addition of project traffic to the other study intersections is not project to cause failures in the future.

The tenants of the Mid-Florida Logistics Park are unknown at this time, so trip generation is based on the best information currently available; however, it is possible that tenants occupying space at Mid-Florida Logistics Park will exceed the trip generation used to conduct the analysis. As the site develops and becomes occupied, the applicant must reassess the trip generation. If it exceeds the projected trip generation used in the analysis, an updated study is required and additional mitigation for roadway and intersection failures caused by the project traffic.

No new PUD recommendations are proposed. The below conditions carry-over from the original City Council approval. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be single-family residential uses.
- B. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or

3. Rezone the property to a more appropriate zoning classification.

C. Zoning Standards - The following uses are permitted within the PUD district:

1. All permitted uses allowed under I-1 zoning district;
2. The uses allowed by the “Developer’s Agreement for Development of Copart, Inc. Apopka Property,” as recorded as document number 20160275220 within the official records of Orange County, Florida, shall be available uses within this PUD if the Copart Developer’s Agreement is terminated with the mutual consent of City Council and the property owner subject to the Copart Developer’s Agreement;
3. Long-term outdoor vehicle (bus, car, cab, and truck) storage and terminal use is permitted within the PUD as an accessory use if said vehicle parking is associated with an enclosed building having a minimum floor area of 10,000 square feet and located within the same Lot or abutting lots. All vehicles stored outdoors must be operable.

A. The following uses are Prohibited within the PUD district:

1. Flea markets
2. Day-care centers except when provided solely for on-site employees
3. Churches
4. Public or private schools (K-12th grade) except when located within a stand-alone building
5. Community residential homes
6. All prohibited uses for the I-1 zoning district

B. Special Exceptions: As set forth by the I-1 zoning district except if listed as a permitted or prohibited uses above.

The proposed amendment and use of the property is consistent with the proposed Industrial Future Land Use designation and is consistent with the Land Development Code, except for those which deviations are proposed to.

Pursuant to Section 7 of the Joint Planning Area agreement, notification to Orange County was provided on December 5, 2018.

The Development Review Committee finds the proposed amendment to the Planned Unit Development (PUD) Master Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the amendment to the Mid-Florida Logistics Park PUD Master Plan.

Staff recommended the Planning Commission recommend approval the amendment to the Mid-Florida Logistics Park Planned Unit Development (PUD) Master Plan based on the findings and facts presented in the staff report and exhibits, and subject to City Council approving a revised development agreement.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak,

Chairperson Greene closed the public hearing.

Motion: William Gusler made a motion to find the Mid-Florida Logistics PUD Master Plan and Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the amendment to the Mid-Florida Logistics Park Planned Unit Development (PUD) Master Plan based on the findings and facts presented in the staff report and exhibits, and subject to City Council approving a revised development agreement for the property owned by Mid-Florida Freezer Warehouses, Ltd; Florida Express Trucking, Inc.; and Eagles Landing At Ocoee, LLC and located on the west side of SR 429, south of General Electric Road, and east of Hermit Smith Road. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, Robert Ryan, John Sprinkle, and Butch Stanley (6-0).

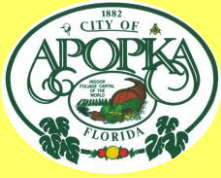
OLD BUSINESS: None.

NEW BUSINESS: James Hitt announced that the Land Development Code update would go for first reading to City Council on Wednesday, January 16, 2019 and February 6, 2019 for the second reading and adoption. He thanked the Planning Commission for their assistance with the update.

ADJOURNMENT: The meeting was adjourned at 6:27 p.m.

James Greene, Chairperson

James K. Hitt, FRA-RA
Community Development Director



CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER: Future Land Use Amendment

MEETING OF: February 12, 2019
 FROM: Community Development
 EXHIBITS: Land Use Report
 Vicinity Map
 Future Land Use Map
 Zoning Map
 Aerial Map

SUBJECT: COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – CHS MANAGEMENT CORP

**REQUEST: RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT:
 FROM: “COUNTY” RURAL (FLU-IP)
 TO: “CITY” MIXED USE**

SUMMARY:

OWNER/APPLICANT: CHS Management Corp.

LOCATION: East of Plymouth Sorrento Rd. & North of Ponkan Pines Drive

PARCEL ID NUMBER: 19-20-28-0000-00-005 & 19-20-28-0000-00-031

EXISTING USE: Single Family Home

CURRENT ZONING: “County” A-1 (ZIP) & A-R (ZIP)

PROPOSED DEVELOPMENT: 13 Dwelling Units or 182,167 sq. ft. commercial space, or combination.

PROPOSED ZONING: “City” Mixed-CC (Note: this Future Land Use amendment request is being processed along with a request to change the zoning classification from “County” A-1 & A-R to “City” Mixed-CC)

TRACT SIZE: 6.97 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 2 Dwelling Units
 PROPOSED: 13 Dwelling Units and/or 182,167 sq. ft. commercial space

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The subject parcels were annexed in the city on December 19, 2018 by Ordinance No. 2696. Presently, the subject parcels do not have a “City” future land use designation or a “City” zoning classification assigned. The applicant requests “Mixed Use” Future Land Use, with the compatible “Mixed-CC” zoning. An abutting 32.3-acre parcel (parcel no. 19-20-28-0000-00-013) is also owned by the applicant, whose desire is to combine the three parcels into a single developable parcel.

COMPREHENSIVE PLAN COMPLIANCE: Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support a Mixed Use FLUM designation at the subject site:

Future Land Use Element

**1. Policy 3.1.r
Mixed-Use**

The primary intent of the Mixed Use land use category is to allow a mixture of residential, office, commercial, industrial, recreation, institutional uses and public facilities uses to serve the residential and non-residential needs of special areas of the City. This mix of land uses may occur on a single parcel or multiple parcels in the form of: a permitted single use; a vertical combination of different permitted uses; or a horizontal mix of different permitted uses. The intensity of development within the mixed-use land use categories will vary depending on location and surrounding uses. Transit-oriented design elements shall be encouraged to promote multiple modes of transportation in the mixed use categories. The Land Development Code will establish zoning districts and/or zoning overlay areas with standards that define the appropriate location for various intensities/densities. The following maximum gross intensity/density standards shall not be exceeded.

2. Policy 3.5

Residential development north of Ponkan Road and west of Rock Springs Road (Park Avenue) will be restricted to no more than two dwelling units per acre, unless otherwise authorized through the adopted Wekiva Parkway Interchange Plan.

SCHOOL CAPACITY REPORT: School capacity determination must be completed with Orange County Public Schools prior to the adoption hearing for this Future Land Use Amendment application.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on November 7, 2018.

PUBLIC HEARING SCHEDULE:

February 12, 2019 - Planning Commission (5:30 pm)
March 6, 2019 - City Council (1:30 pm) - 1st Reading
March 20, 2019 – City Council (7:00 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

February 1, 2019 – Public Notice and Notification (Apopka Chief, letter to property owner)

RECOMMENDATION ACTION:

The **Development Review Committee** found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Mixed-Use for the properties owned by CHS Management Corp., and located east of Plymouth Sorrento Road and north of Ponkan Pines Drive.

Planning Commission Recommended Motion: Find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from “County” Rural to “City” Mixed-Use for both parcels, subject to the findings of the Staff Report.

Note: This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	“City” Mixed-Use	“City” Mixed-CC	Single Family Home
East (City)	“City” Mixed-Use	“City” Mixed-CC	Woodlands
South (City)	“City” Mixed-Use and “County” Rural	“City” Mixed-CC & “County” A-R	Single Family Homes
West (County)	“County” Rural and “City” Mixed-Use	“County” A-1 & “City” Mixed-CC	Single Family Homes

II. LAND USE ANALYSIS

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “North Central Area” of the JPA. The proposed FLUM Amendment request for a change from “County” Rural to “City” Mixed-Use is consistent with the terms of the JPA (Second Amendment).

Transportation: The subject properties are accessed from Plymouth Sorrento Rd.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and storm water run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features in the vicinity of this property.

Analysis of the character of the Property: The current use of the properties is a single family home.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the property is Mixed Use. With 2.659 persons per household, the population for the 2 subject parcels are estimated to increase by 34 persons.

CALCULATIONS:

ADOPTED: “County” Rural (1 du/10 ac) = 2 dwelling units
 PROPOSED: 13 Unit(s) x 2.659 p/h = 34 persons
 303,395 sq. ft. x 0.25 (FAR) = 182,167 sq. ft. commercial space

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is not

required for developments less than ten (10) acres in size.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 90 GPD/1,000sf ; 81 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 486 GPD
3. Projected total demand under proposed designation: 19,134 GPD
4. Capacity available: Yes ___
5. Projected LOS under existing designation: 90 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: ; 200 GPD/1,000 sf ; 174 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 600 GPD
3. Projected total demand under proposed designation: 42,716 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 200 GPD / 1,000 sf
6. Projected LOS under proposed designation: 174 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 24 lbs/ day
4. Projected LOS under proposed designation: 864 lbs / day

5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number:

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 24,141 MGD

Total design capacity of the water treatment plant(s): 33,696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year – 24 hour design storm -
3. Projected LOS under proposed designation: 100 year – 24 hour design storm -
4. Improvement/expansion: On site retention / detention ponds

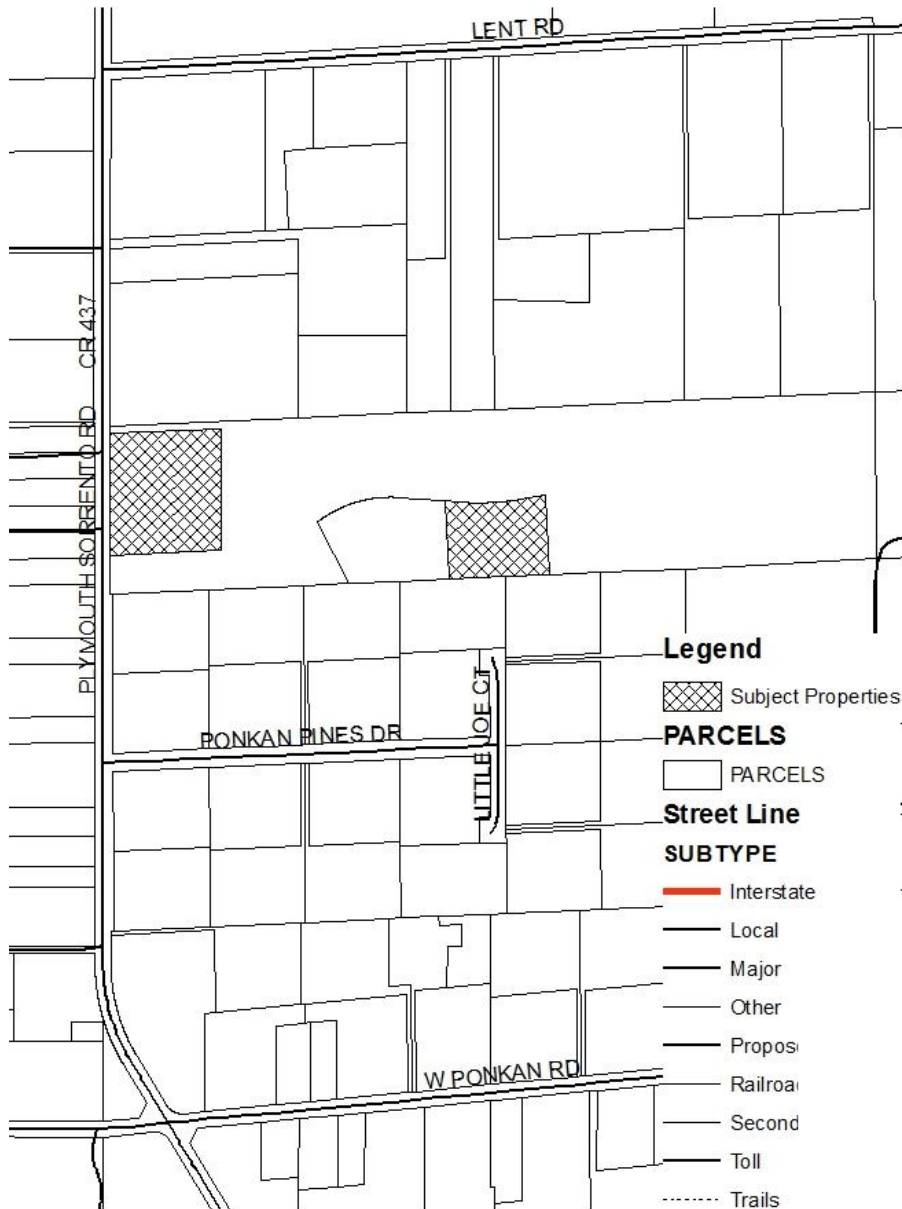
Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: N/A acres
3. Projected facility under proposed designation: N/A acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None



CHS Management Corp
6.97 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Rural
To: "City" Mixed-Use
Parcel ID #: 19-20-28-0000-00-005 & 19-20-28-0000-00-031

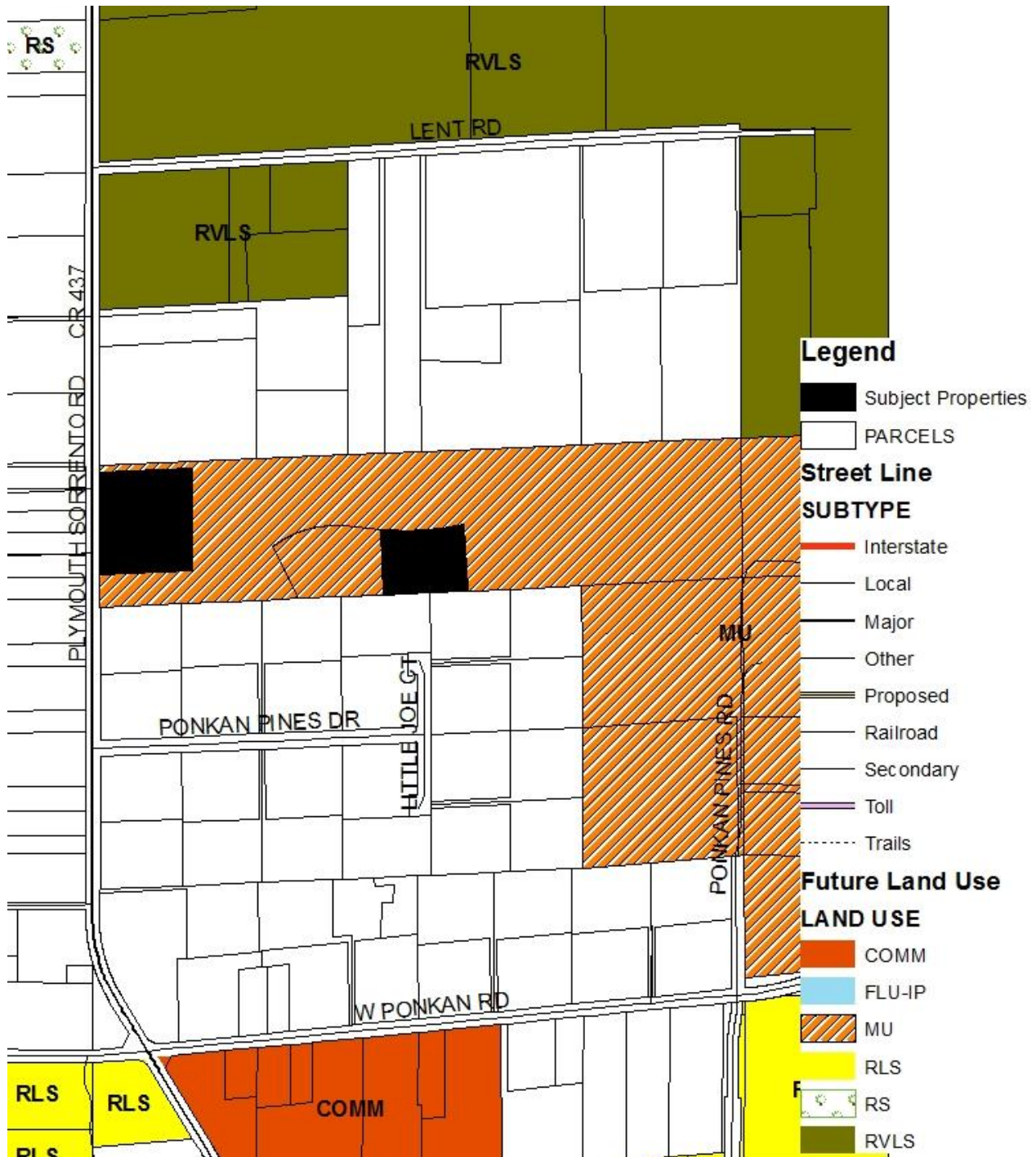
VICINITY MAP



Prepared by: Apopka Community Dev. Dept., November 2018

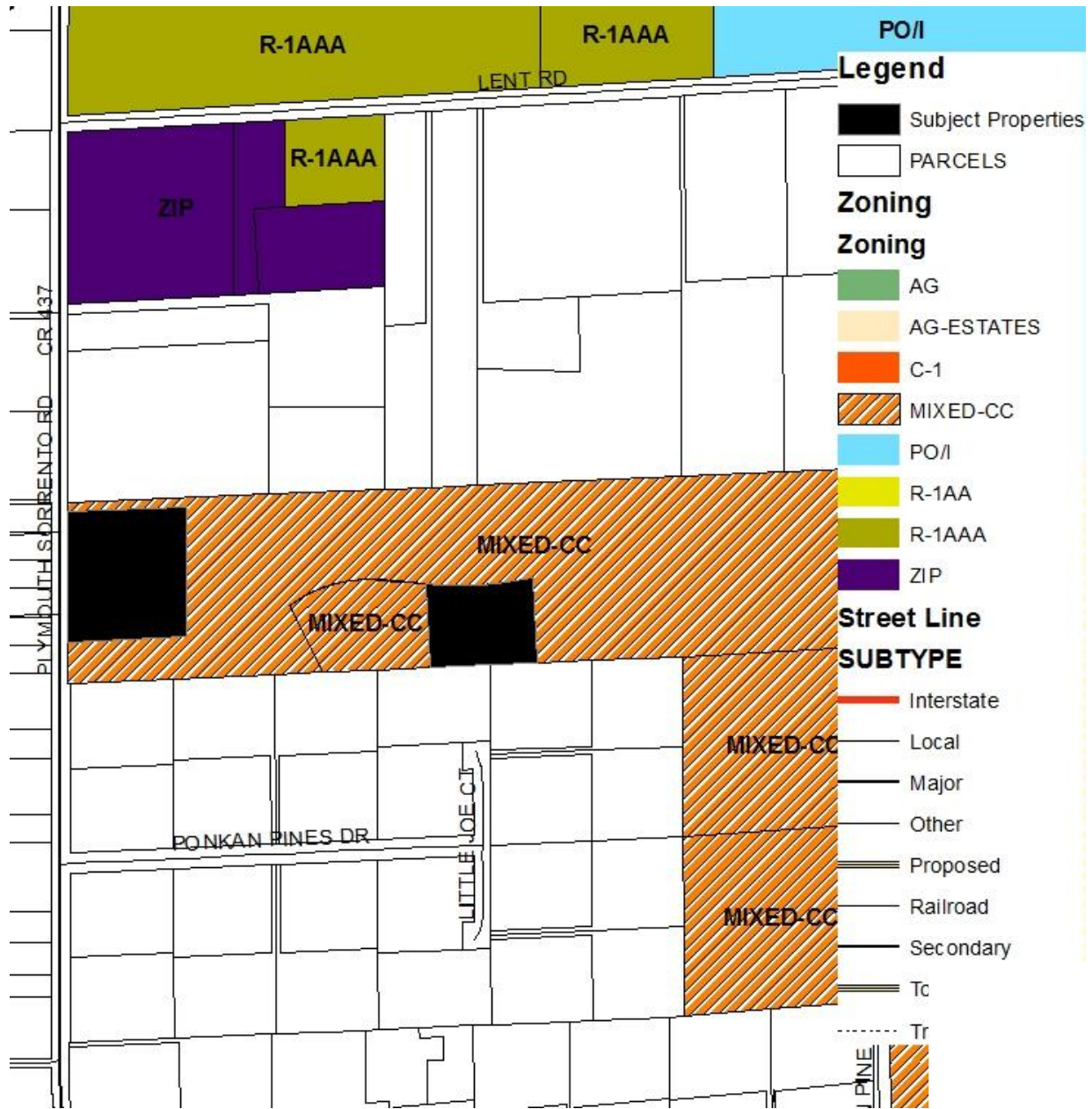


FUTURE LAND USE MAP





ADJACENT ZONING



Prepared by: Apopka Community Dev. Dept., December 2018

Prepared by: Apopka Community Dev. Dept., October 2018

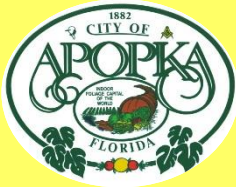


ADJACENT USES



Source: Orange County Property Appraiser Aerial, December 2018

Prepared by: Apopka Community Dev. Dept., December 2018



CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER: Future Land Use Amendment

MEETING OF: February 12, 2019
 FROM: Community Development
 EXHIBITS: Land Use Report
 Vicinity Map
 Future Land Use Map
 Zoning Map
 Adjacent Uses Map
 Concept Plan
 OAR SAS¹ Summary

SUBJECT: COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – EMERSON POINT PHASE II, LLC

**REQUEST: RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT:
 FROM: COMMERCIAL (MAX. FAR 0.25) & RESIDENTIAL MEDIUM (0-10 DU/AC)
 TO: MIXED USE**

SUMMARY:

OWNER/APPLICANT: Emerson Point Phase II, LLC, c/o Mike Wright

LOCATION: North of S.R. 414 & East of Marden Rd.

PARCEL ID #(S): 21-21-28-0000-00-002, 21-21-28-0000-00-001, 21-21-28-0000-00-008

EXISTING USE: Vacant

DEVELOPMENT POTENTIAL: Maximum of 1,044 Dwelling Units or 3,033,082 sq. ft. commercial space or combination of the two.

CURRENT ZONING: C-1 (Commercial Retail), R-3 (Residential Multi-Family), and A-1 (ZIP)

PROPOSED ZONING: TBD (PUD\PD or Mixed EC\Mixed East Shore)

MAXIMUM ALLOWABLE DEVELOPMENT UNDER FLUM: EXISTING FLU: 190 Dwelling Units & 532,538 Sq. Ft. Commercial Space
 PROPOSED FLU: Maximum of 1,044 Dwelling Units or 3,033,082 sq. ft. commercial space or combination of the two.

TRACT SIZE: 69.63 +/- acres

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

¹ Ocoee Apopka Road Small Area Study

ADDITIONAL COMMENTS: The western parcel was annexed in 1991 via Ordinance No. 694, the center parcel in 1993 via Ordinance No. 768, and the eastern parcel in 2019 via Ordinance No. 2701. The three parcels total to an estimated 69.63 acres. Pursuant to Florida law, properties ten acres or more are required to undergo review by State planning agencies. A request to assign a Future Land Use Designation of Mixed Use is compatible with the designations assigned to abutting properties.

A road right-of-way at the southern tip of the property is proposed to be vacated, and City Council has a hearing schedule for the ROW vacate at its February 20, 2019 hearing. If vacated, the ROW will be absorbed into the parcels to the north and south, which are part of this FLUM amendment application.

Applicant has submitted a Concept Plan for the subject property to illustrate the developer’s proposed development interest. The Concept Plan is for information purposes and does not represent approval or endorsement by the Development Review Committee. As depicted in the Concept Plan, the applicant’s intent for the Large Scale Future Land Use Amendment is to develop a horizontal, mixed-use development with commercial uses along

The subject property was included within the Ocoee-Apopka Road Small Area Study. Based on that study, the Mixed-EC (or Mixed East Shore –Gateway) or PUD zoning categories will be the most compatible with this site and compatible with Policy 3.1.r., Mixed Use, within the Future Land Use Element of the Comprehensive Plan.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Mixed Use designation. Comprehensive Plan. Chapter 1. Future Land Use. Policy 3.1.r. Mixed Use:

The primary intent of the Mixed Use land use category is to allow a mixture of residential, office, commercial, industrial, recreation, institutional uses and public facilities uses to serve the residential and non-residential needs of special areas of the City. This mix of land uses may occur on a single parcel or multiple parcels in the form of: a permitted single use; a vertical combination of different permitted uses; or a horizontal mix of different permitted uses. The intensity of development within the mixed-use land use categories will vary depending on location and surrounding uses. Transit-oriented design elements shall be encouraged to promote multiple modes of transportation in the mixed use categories.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report), subject to zoning. Based on the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

SCHOOL CAPACITY REPORT: School Capacity determination must be addressed with Orange County Public Schools prior to adoption of the future land use amendment. The applicant must provide a capacity enhancement agreement or a letter of capacity determination from OCPS prior to the City Council adoption hearing.

PUBLIC HEARING SCHEDULE:

February 12, 2019 - Planning Commission (5:30 pm)

February 20, 2019 - City Council (7:00 pm) - 1st Reading & Transmittal

DULY ADVERTISED:

February 1, 2019 – Public Notice (Apopka Chief) and Notification (letters and posting)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends transmittal of the change in Future Land Use from Commercial and Residential Medium to Mixed Use for the properties owned by Emerson Point Phase II, LLC.

Recommended Motion: Find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend transmittal of the Future Land Use Map designation from Commercial and Residential Medium to Mixed Use to the Florida Department of Economic Opportunity.

Note: This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Residential Medium Low & Residential Low	R-2, R-3	Vacant & Lake Opal Estates Subdivision
East (City)	Residential Estates (0-1 DU/AC)	R-3, R-1, R-1A	Wheatley Manor & Owens Subdivision, and Single Family Houses
South (City)	Mixed Use	R-3, C-1, Mixed-EC	S.R. 414 & Hilltop Reserve Subdivision
West (City & County)	HDR and Commercial	PUD, R-2	Vacant & Marden Meadows Apartments

II. LAND USE ANALYSIS

The applicant requested a Mixed Use Future Land Use Designation. Policy 3.1.r of the Comprehensive Plan states that Mixed EC and PUD zoning categories of the Land Development Code are compatible with the Mixed Use Future Land Use Designation. If adopted, the proposed Land Development Code converts the Mixed EC zoning category to the Mixed East Shore-Gateway District. In 2013 the City prepared the Ocoee Apopka Small Area Study which promotes planned development with a mixed uses. Currently, the property has a Commercial Future Land Use Designation assigned to the property. A Mixed Use FLUM designation will promote better transition between the residential neighborhoods to the north and east, while accommodating commercial to the western end of the property. Land to the west, west of Marden Road, is zoned for commercial uses, apartments to the northwest are constructed at 15 units per acres, the Marden Garden apartments abut to the north, and single family neighborhoods occur to the east. An interchange for S.R. 414 occurs within a few hundred feet of the subject property with S.R. 414 abutting to the south.

Other Information:

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that karst features are within the vicinity of this property.

Analysis of the character of the Property: The subject parcels are heavily wooded, with Lake Opal located at the north-central end of the concept plan. The properties abut Marden Road to the west and S. Hawthorne Avenue to the east. The entrance to the proposed subdivision is located off Marden Road, while two emergency access points are located off of S. Hawthorne Avenue. County parcels to the north and south, with the “Low Medium Density Residential” Future Land Use have a maximum allowable residential density of 10 dwelling units per acre. An interchange to State Route 414 (Apopka Expressway) is located south-adjacent of the properties. Staff finds the proposed Residential Very Low Suburban Future Land Use to be compatible with the property, and within the vicinity.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the subject site is Mixed Use. An amendment to the Future Land Use of Mixed Use will generate an estimated population increase of 2,270 persons. Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population, but a housing supply is needed to meet the growing population.

CALCULATIONS:

EXISTING: Residential Medium (0-10 DU/AC, 19.04 +/- AC)
190 D/U X 2.659 p/h = 505 persons

PROPOSED: Mixed Use (0-15 DU/AC)
1,044 D/U x 2.659 p/h = 2,775 persons
Net Increase= 2,270 Persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments ten (10) acres or more in size. This site is greater than ten acres. A habitat study will be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the City of Apopka service area for potable water, reclaimed water and sanitary service.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 90 GPD/1,000sf ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 40,905 GPD
3. Projected total demand under proposed designation: 183,870 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 90 GPD/Capita

6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 200 GPD/1,000sf ; 174 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 101,000 GPD
3. Projected total demand under proposed designation: 482,850 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 200 GPD / 1,000 sf
6. Projected LOS under proposed designation: 174 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 59 lbs/ day
4. Projected LOS under proposed designation: 28 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3480200

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 24.141 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm
4. Improvement/expansion: On site retention / detention ponds

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: 1.52 acres
3. Projected facility under proposed designation: 6.81 acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

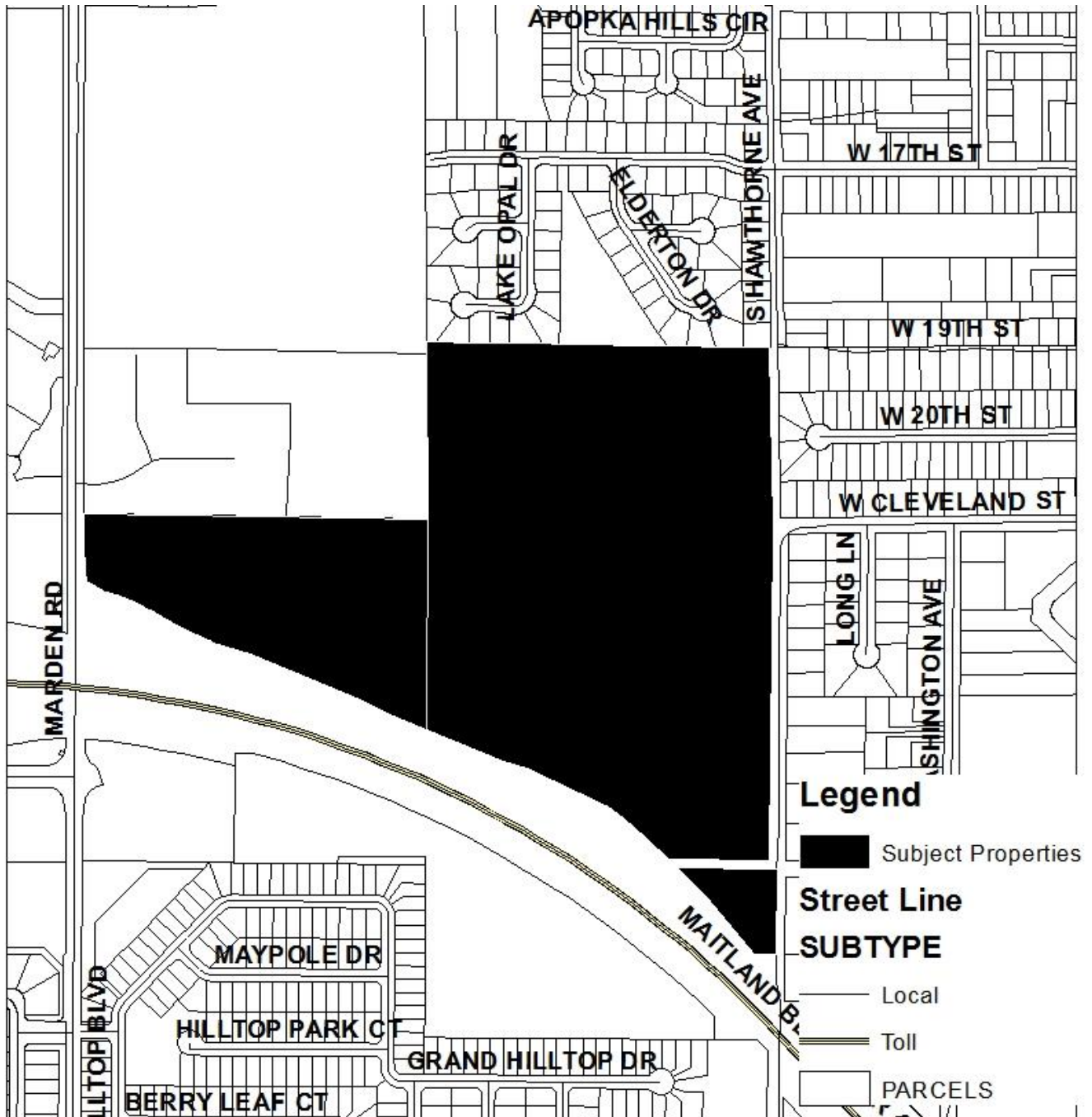
This initial review does not preclude conformance with concurrency requirements at the time of development approval.



Emerson Pointe Ph. 2, LLC
69.63 +/- acres
Proposed Large Scale Future Land Use Amendment:
From: Commercial and Residential Medium
To: Mixed Use

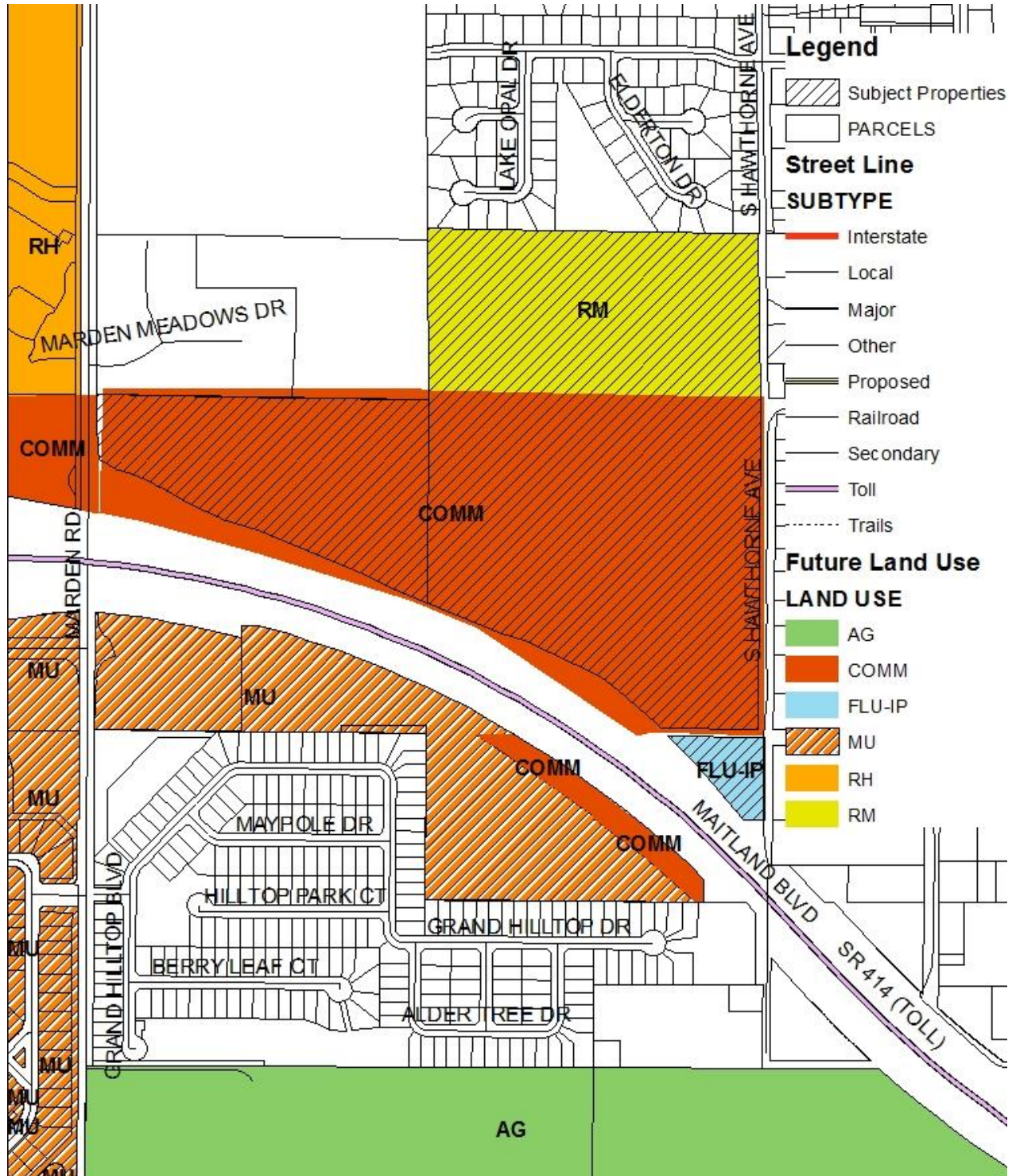
Parcel ID #s: 21-21-28-0000-00-002, 21-21-28-0000-00-001, 21-21-28-0000-00-008

VICINITY MAP



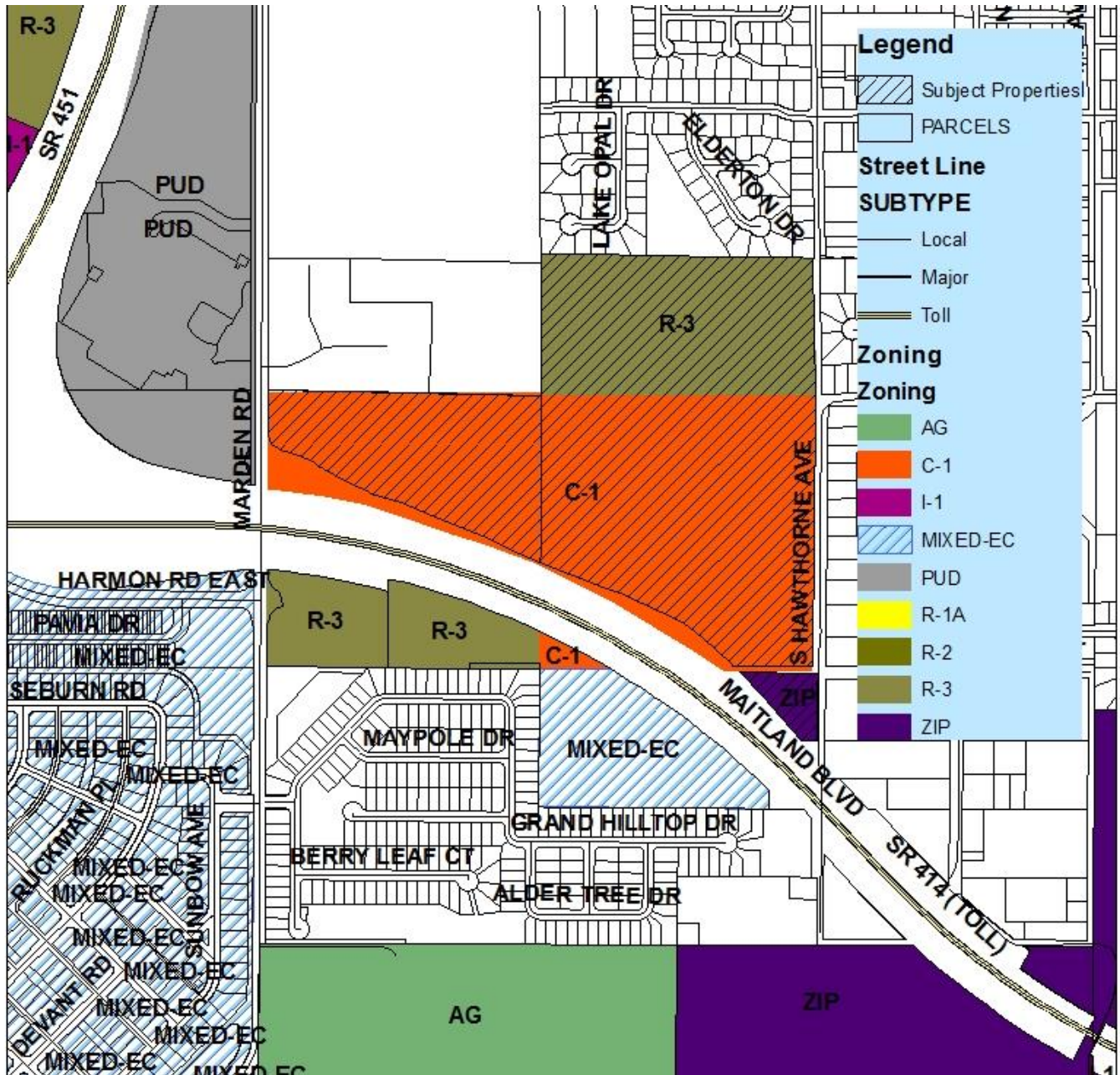


FUTURE LAND USE MAP





ADJACENT ZONING

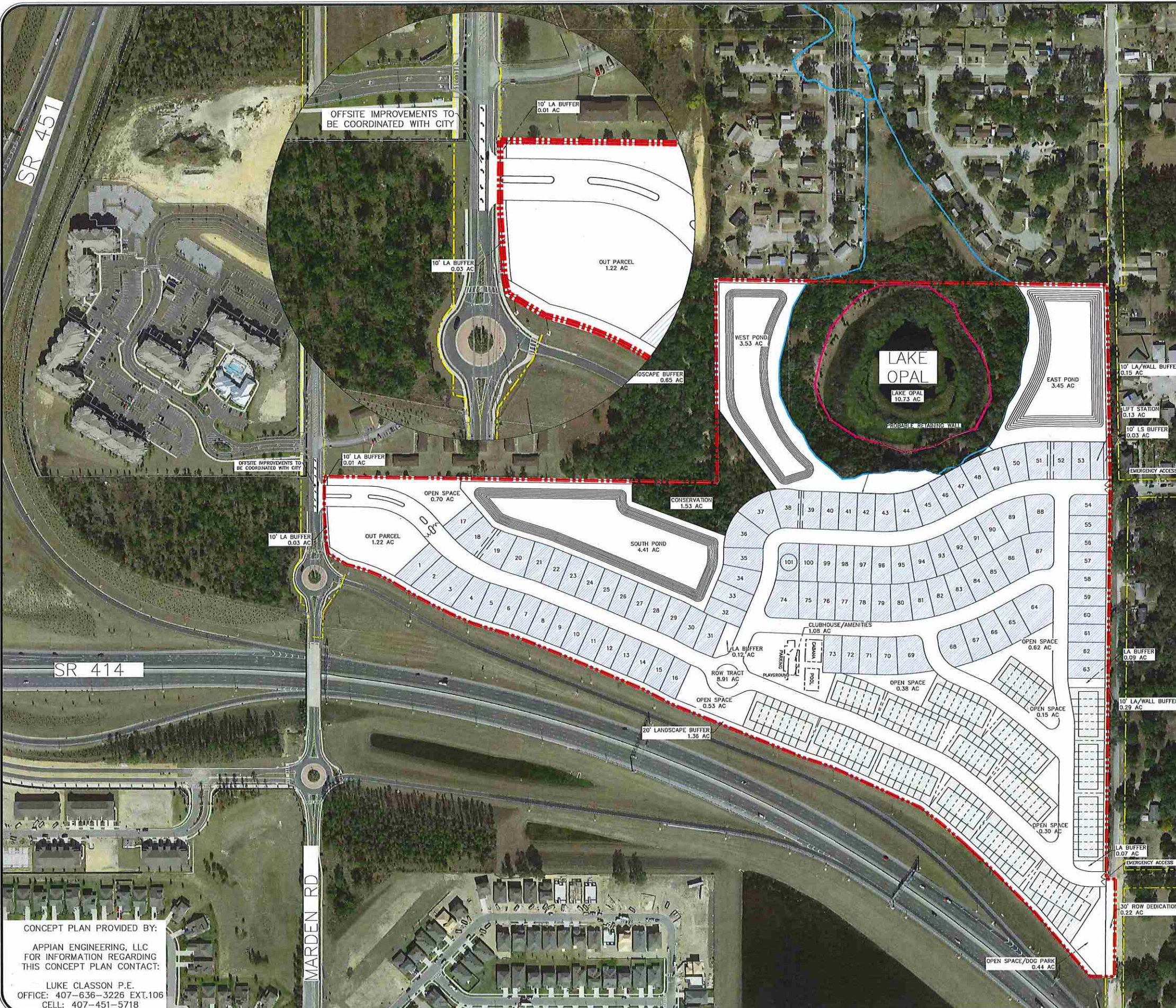




ADJACENT USES



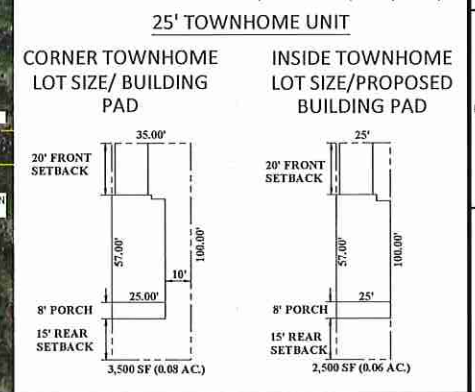
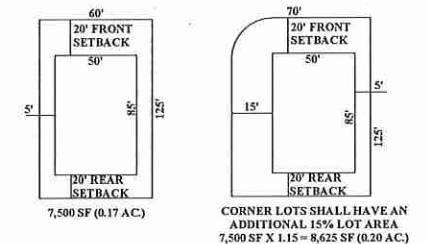
P:\PROJECT DRAWINGS\MI-04 Emerson Pointe - Phase 2 Mixed Use Development\Drawings\CAD\CIVIL3D\Layouts\02 Conceptual Plans\Conceptual Plan 15.dwg Modified: 12/12/2018 By: pdm Plotted By: jimmy.pain



- LEGEND**
- PROPERTY BOUNDARY
 - RIGHT OF WAY BOUNDARY
 - FEMA FLOOD PLAIN
 - WETLAND LINE
 - 50' FRONT LOADED LOTS
 - TOWNHOME FRONT LOADED LOTS

SITE DATA:

OCPA - PARCEL ID #:	21-21-28-0000-00-001 21-21-28-0000-00-002 21-21-28-0000-00-008
PROPERTY ADDRESS:	1890 S HAWTHORNE AVE APOPKA, FL 32703
TOTAL PROPERTY AREA:
DEVELOPABLE AREA:
EXISTING FUTURE LAND USE:	COMMERCIAL/LMD
PROPOSED FUTURE LAND USE:	LMD
EXISTING ZONING:	C-1/A-1
PROPOSED ZONING:	PUD
SETBACKS:	
60'S:	
FRONT YARD	20 ft.
BACK YARD	20 ft.
SIDE YARD	5 ft.
CORNER YARD	15 ft.
25' TOWNHOMES:	
FRONT YARD	15/10 ft.*
BACK YARD	15 ft.
SIDE YARD	25 ft.**
CORNER YARD	15 ft.
*SETBACK TO PRIMARY STRUCTURE/SETBACK TO PORCH	
**BETWEEN BUILDINGS	
LOT YIELD:	
60' LOTS	101 LOTS
TOWNHOMES:	
6 UNIT BLDG (6 BLDG)	36 LOTS
8 UNIT BLDG (7 BLDG)	80 LOTS
TOTAL	217 LOTS
STORMWATER POND:
**THE STORMWATER AREA HAS NOT BEEN EVALUATED, PRELIMINARY STORMWATER CALCULATIONS MUST BE DONE FOR MORE ACCURATE POND SIZING.	



<p>CIVIL ENGINEERING LAND PLANNING</p> <p>APPIAN ENGINEERING LLC.</p> <p>APPIANFL.COM • 407.960.5808</p> <p>2221 Lee Road, Suite 17, Winter Park, Florida, 32789</p>	<p>CONCEPTUAL PLAN PUD DEVELOPMENT</p> <p>EMERSON POINTE - PHASE 2 CITY OF APOPKA</p>
<p>SCALE: 1" = 150'</p> <p>PROJECT: MI-004</p> <p>SHEET: CP-15</p>	<p>DATE: 12/12/2018</p>
<p>DRAWN: D. SANCHEZ</p> <p>DESIGNED: L. CLASSON</p> <p>CHECKED: L. CLASSON</p>	<p>DATE: 12/12/2018</p>
<p>NOT FOR CONSTRUCTION</p> <p>12/12/18</p>	

CONCEPT PLAN PROVIDED BY:
APPIAN ENGINEERING, LLC
 FOR INFORMATION REGARDING
 THIS CONCEPT PLAN CONTACT:
 LUKE CLASSON P.E.
 OFFICE: 407-636-3226 EXT.106
 CELL: 407-451-5718

Ocoee-Apopka Road Small Area Plan Executive Summary

The Ocoee-Apopka Road study area encompasses 4.4 square miles and is currently characterized by its proximity to Lake Apopka, the convergence of three highways, two residential communities and vacant undeveloped agricultural lands. The area is expecting a significant amount of growth and development with plans for the relocation of Florida Hospital to the study area in the near future.

Most of the study area was previously zoned for mixed-use in anticipation of new development with employment opportunities. The purpose of the Ocoee-Apopka Road Small Area Plan is to establish the tools necessary to guide the development of a mixed-use show-case corridor unified in design and identified by quality development, branding features and focal points.

Stakeholder and community member input was a key component of the development of the plan. In addition to the kick off meeting with City staff and the participating stakeholders, two workshops were held to gather input on desired development patterns, improving the transportation system, and developing an integrated network of trails and greenspace in the study area. Based on information provided at the workshops, as well as technical research and review of existing data and information, the consultant team created 2 vision plan scenarios depicting desired development pattern options.

The framework maps show the study area divided into five character areas based on the anticipated development patterns: **Research/Technology/Education, Gateway, Mixed-Use, Neighborhood, and New Market**. These character areas are intended to depict the desired character, building form, transportation and open space networks within the study area. The location and nature of the character areas is the same in both framework map scenarios. However, two alternative designs have been developed for the New Market Area, one showing a Village Center on the northeast corner of Keene Road and Ocoee-Apopka Road, and the other alternative shifting it to the west side of Ocoee-Apopka Road. The New Market area is anticipated to have the greatest amount of pedestrian connectivity, with the Village Center containing a higher-density/intensity mix of retail, office and residential uses.

A multimodal transportation and greenspace network were important drivers in the development of the framework maps. The proposed transportation system is intended to improve connectivity and make the study area accessible and comfortable for pedestrians, cyclists, automobiles and public transit. The plan recommends adding several new roadway connections to create smaller more walkable blocks and improve traffic conditions on existing thoroughfares. Six typical road sections were developed for the existing and proposed roadways.

The proposed trail system is intended to address pedestrian and bicycle access to the study area from other regional trails and within the study area between points of interest like the Village Center, the new hospital, Emerson Park and proposed school sites. The proposed trail will extend out of the study area east along Keene Road and north and south along Ocoee-Apopka Road towards the West Orange Trail. The trail network also connects the lakes and wetland systems in the study area and helps to establish them as usable neighborhood amenities rather than barriers to development.

The current mixed use zoning development standards applied in the study area will need to be adjusted to facilitate the desired development patterns in the character areas. Included with the plan is a suggested set of standards addressing building form, landscaping and road design, to be implemented as an overlay zoning district.

This plan will provide a foundation for the future growth and development of the Ocoee-Apopka Road study area. It will be a resource of information for the City of Apopka, existing property owners and stakeholders, and potential businesses, developers, and residents who are considering relocation to the study area. The plan will provide a flexible and adaptable starting point from which to build and sets the stage for a sustainable, high quality development that will create a new place in Apopka to live, work, play and learn.

[09/08/2014]

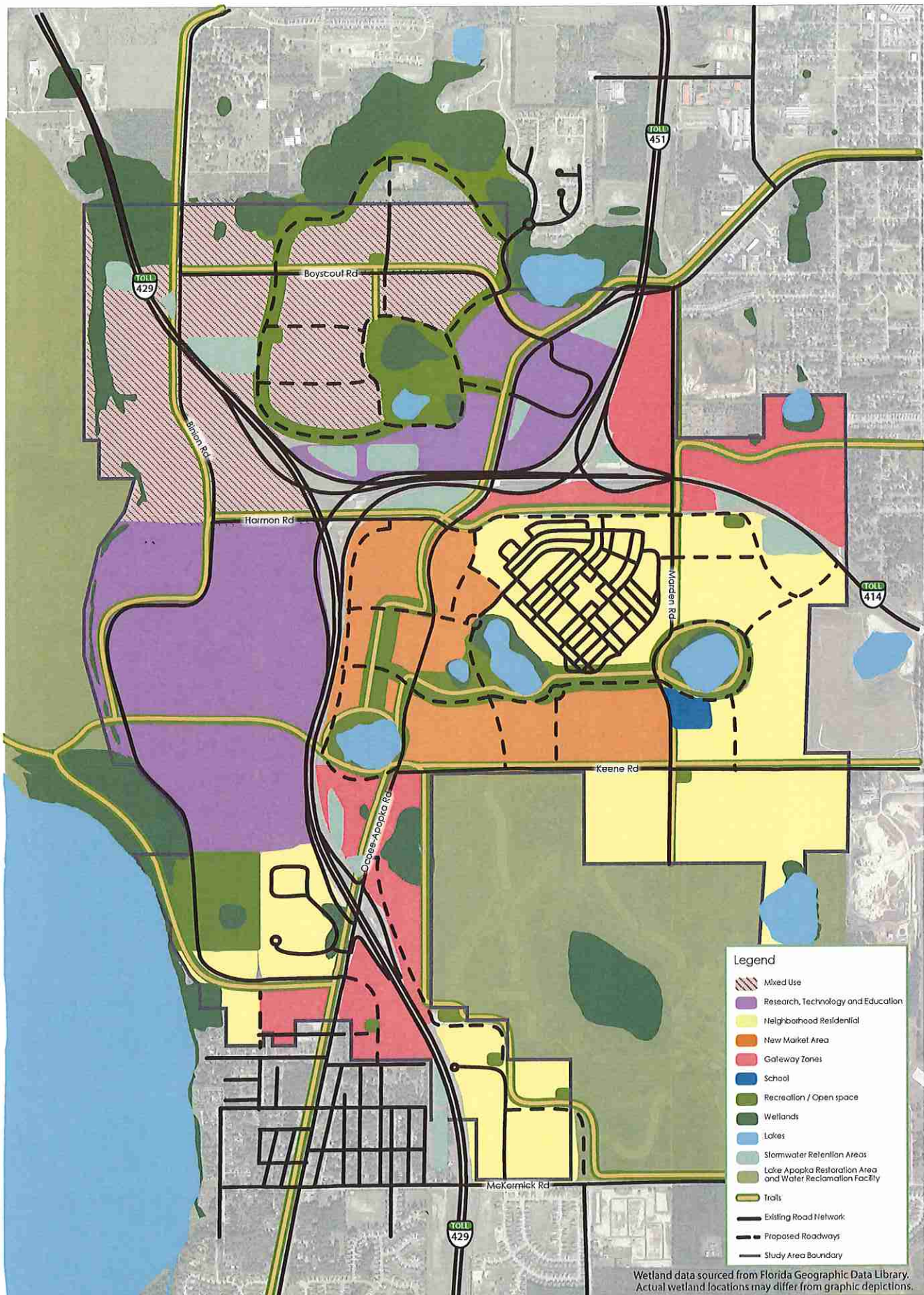


Figure 13b

Scenario 2

Ocoee-Apopka Road Framework Map



Littlejohn



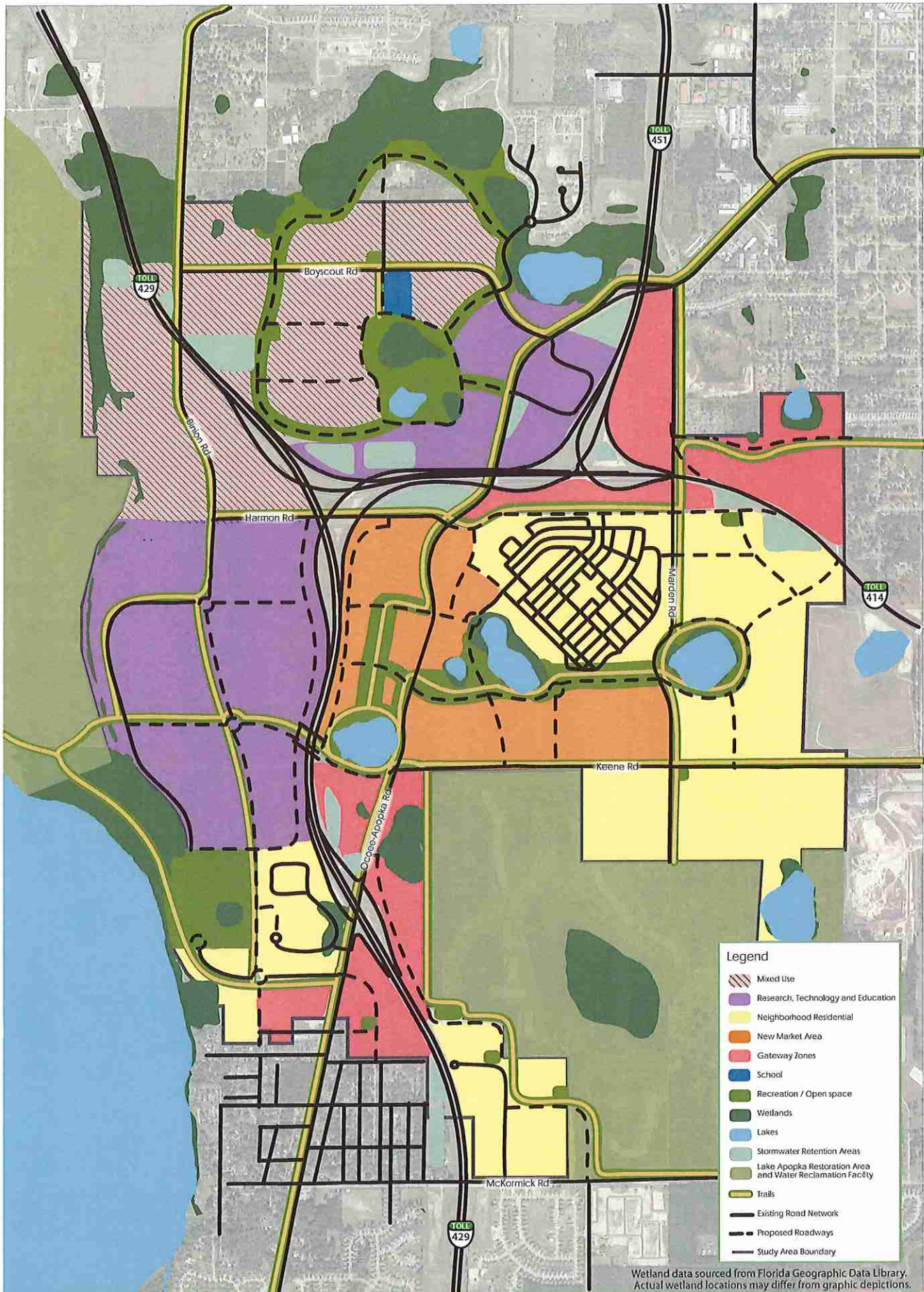


Figure 13a

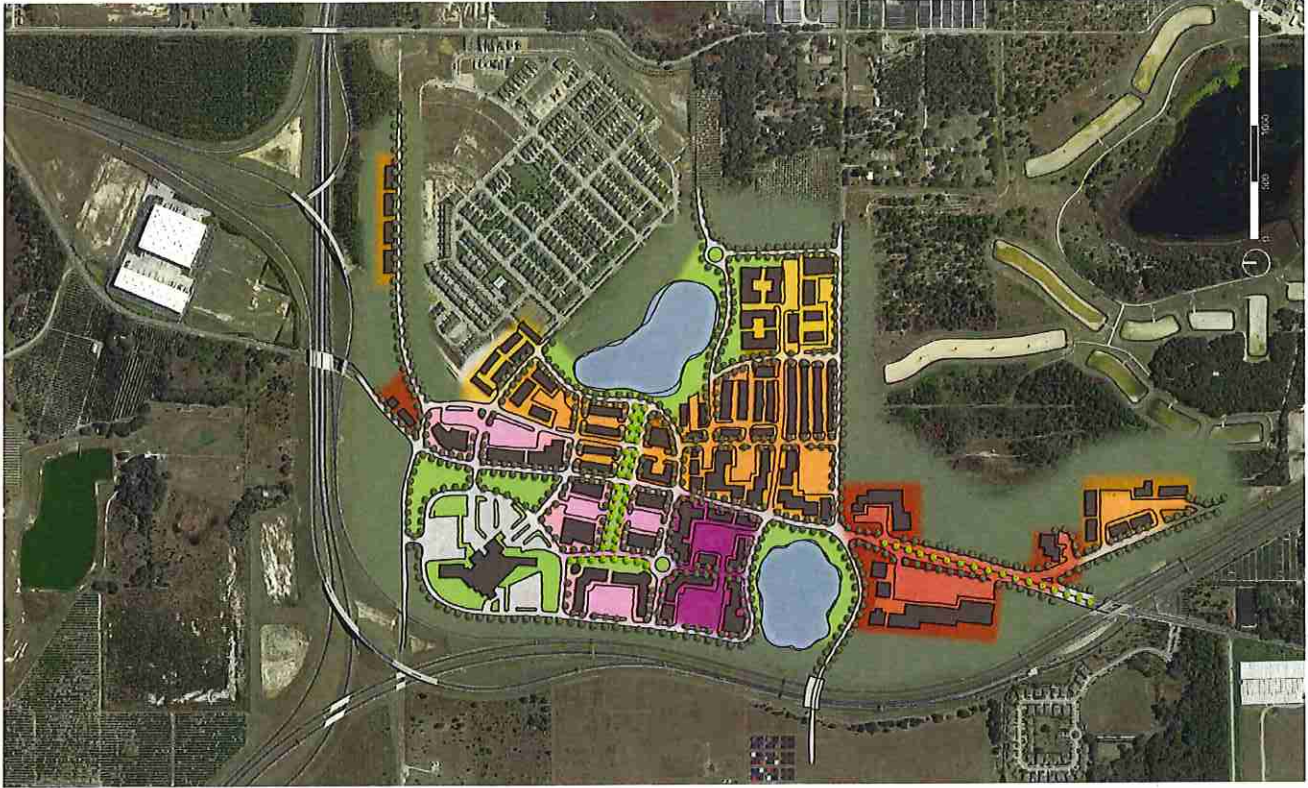
Scenario 1

Ocoee-Apopka Road Framework Map



Littlejohn





COMMERCIAL



MULTI FAMILY



TOWNHOUSE

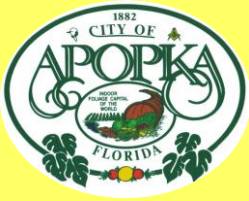


OFFICE



TOWN CENTER





CITY OF APOPKA PLANNING COMMISSION

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Master Plan/PDP

MEETING OF: February 12, 2019
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Kelly Park Form Based Code Area Map
Master Plan/PDP

SUBJECT: CHANGE OF ZONING, ASSIGNMENT OF KPC NEIGHBORHOOD OVERLAY DISTRICT, AND MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN – SPRINGS RIDGE GARDENS SUBDIVISION

PARCEL ID NUMBERS: 07-20-28-0000-00-011; 07-20-28-0000-00-048

REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING, OVERLAY DISTRICT, AND MASTER PLAN/PDP
FROM: “COUNTY” A-1 (ZIP)
TO: “CITY” KPI-MU (KELLY PARK INTERCHANGE MIXED USE) AND KPI NEIGHBORHOOD OVERLAY

SUMMARY:

OWNER/APPLICANT: Landco Development Group, LLC
LOCATION: 2309 and 2405 W. Kelly Park Road
EXISTING USE: Vacant
FLUM DESIGNATION: Mixed Use Interchange
CURRENT ZONING: Orange County A-1 (ZIP)
PROPOSED DEVELOPMENT: 124 single family homes
PROPOSED ZONING: Kelly Park Interchange Mixed-Use (KPI-MU)
TRACT SIZE: 39.47 +/- acres

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

ADDITIONAL INFORMATION: The owner of the subject property is requesting a rezoning of 35 acres of property from Orange County A-1 (ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU), with a Neighborhood character zone to develop a single-family residential subdivision subject to the requirements of the Kelly Park Interchange Form Based Code. The subject property is comprised of two parcels and is located at 2309 and 2405 W. Kelly Park Road, approximately three-quarters of a mile east of the intersection of Kelly Park Road and Plymouth-Sorrento Road. The owner of the properties is Landco Development Group, LLC.

Development Profile:

No. of residential lots:	124 single family homes
Minimum lot width:	55 feet
Minimum lot depth:	120 feet
Minimum lot size:	6,600 square feet (FBC has no minimum lot size)
Minimum house livable area:	1,600 square feet
Setbacks:	
Front:	20-feet
Rear:	20-feet
Side:	5-feet
Garage:	Same as front
Parking:	Two space per house within the lot (enclosed or exterior; FBC does not require enclosed parking), on-street parking provided
Proposed Density:	3.14 du\ac
Max. Density Allowed:	5 du\acre

In accordance with the requirements of the Kelly Park Interchange Form Based Code, the owner has submitted a Master Plan in conjunction with the rezoning application detailing the development of 124 single-family homes on approximately 35 acres. The property is located within the one-mile radius from the SR 429/Kelly Park Road interchange.

PROJECT DESCRIPTION: The Master Plan/Preliminary Development Plan proposes development of the property with a total of 124 single-family homes on 55-foot by 120-foot wide lots and a minimum living area of 1,600 square feet. There are no minimum and maximum lot size and living area requirements in the Form Based Code. Notes provided on the Master Plan indicate the project may be developed in multiple phases, with each phase determined upon submittal of the Final Development Plan. The Master Plan/Preliminary Development Plan details design of the proposed subdivision in accordance with the requirements of the Kelly Park Interchange Form Based Code, and the Neighborhood character zone, which primarily allows single-family homes as permitted uses. The surrounding properties consist of single-family residential and agricultural uses.

Access to the site is proposed via Kelly Park Road. A dedication of a 15-foot wide strip for future right-of-way needs for Kelly Park Road is detailed on the Master Plan. Within this strip, a 12-foot wide bicycle trail will be constructed by the developer. Behind this strip, a tract (Tracts C and E) are be reserved for recreation and open space to be owned and maintained by the homeowners association.. The master

stormwater pond is located in the northeastern corner of the site. In accordance with the requirements of the Form Based Code, 20-percent of the total site area is required to remain as open space. The Master Plan/Preliminary Development Plan reserves 28-percent of the site as open space.

Common recreation elements include a clubhouse with a pool, an internal trail system, and passive open space/recreation areas.

The Master Plan/Preliminary Development Plan details the design of the internal street system with public streets utilizing a walkable street design with pedestrian connections to the west via a proposed street connection and through the proposed multi-use trail along Kelly Park Road. One roadway connection will be provided to allow cross-access to the property to the west at such time it develops. The developer will provide a 12-foot wide multi-purpose trail along the portion of the development abutting Kelly Park Road to help facilitate the construction of the regional trail system that is conceptually proposed within the Kelly Park Form Based Code area.

DEVELOPMENT AND ZONING CONDITIONS OF APPROVAL: That the zoning classification of the following described property be designated as Kelly Park Interchange Mixed-Use (KPI-MU), Neighborhood character zone, as defined in the Kelly Park Interchange Form Based Code, and with the following provisions:

1. Development of the property is subject to the requirements of the Kelly Park Interchange Form Based Code, Neighborhood character zone.
2. The architectural design of the buildings must be consistent with Section K.2.g, and Appendix A of the Kelly Park Interchange Form Based Code.
3. A 12-foot wide multi-purpose trail will be constructed along the portion of the development abutting Kelly Park Road to facilitate the construction of a regional trail system. (Policy 20.19, FLUE; Sec. Q, FBC). The trail shall be placed in a tract that is dedicated to the City of Apopka.
4. Perpetual easements dedicated to the City of Apopka shall be provided over the internal pedestrian pathways and trail networks to allow public access.
5. A minimum living area of 1,600 square feet shall be provided for the proposed single family homes.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Mixed-Use Interchange Future Land Use designation and is consistent with the Kelly Park Interchange Form Based Code.

SCHOOL CAPACITY REPORT: A School Capacity Enhancement Agreement has been approved by OCPS. The location is served by the following schools: Zellwood Elementary, Wolf Lake Middle, and Apopka High School. No development activity shall occur on the subject property until the developer has obtained a school concurrency mitigation agreement or letter from OCPS.

ORANGE COUNTY NOTIFICATION: Pursuant to Section 7 of the Joint Planning Area agreement,

**PLANNING COMMISSION – FEBRUARY 12, 2019
SPRINGS RIDGE GARDENS – CHANGE OF ZONING
PAGE 4**

Orange County was notified on November 5, 2018.

PUBLIC HEARING SCHEDULE:

February 12, 2019 - Planning Commission (5:30 pm)

March 6, 2019 - City Council (1:30 pm) - 1st Reading

March 20, 2019 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

January 25, 2019 – Public Notice; Letter, Poster

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed rezoning to Kelly Park Interchange Mixed-Use (KPI-MU), and assignment of a Neighborhood character zone consistent with the Comprehensive Plan and Kelly Park Interchange Form Based Code, and recommends approval of the Springs Ridge Gardens Master Plan/Preliminary Development Plan.

Recommended Motion: Find the proposed Rezoning, Master Plan/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code and Neighborhood Overlay District, and recommend to approve the rezoning of the subject parcels from Orange County A-1(ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU), and to assign the KPC Neighborhood Overlay District, and to approve the Master Plan/Preliminary Development Plan, based on the findings and facts presented in the staff report and exhibits.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural 1/2	P-D Rainbow Ridge PD/LUP, AG	Vacant, agricultural uses
East (County)(City)	Rural	A-1, A-1(ZIP)	Agricultural uses, single-family uses
South (City)	Residential Very Low Suburban	R-1AAA	Agricultural uses
West (County)	Rural	P-D Rainbow Ridge PD/LUP	Vacant

LAND USE &

TRAFFIC COMPATIBILITY:

The property is accessed via Kelly Park Road. Internal streets are public and will be owned and maintained by the City of Apopka. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly residential, and agricultural.

COMPREHENSIVE

PLAN COMPLIANCE:

The proposed Kelly Park Interchange Mixed-Use (KPI-MU) zoning is compatible with policies set forth in the Comprehensive Plan.

ALLOWABLE

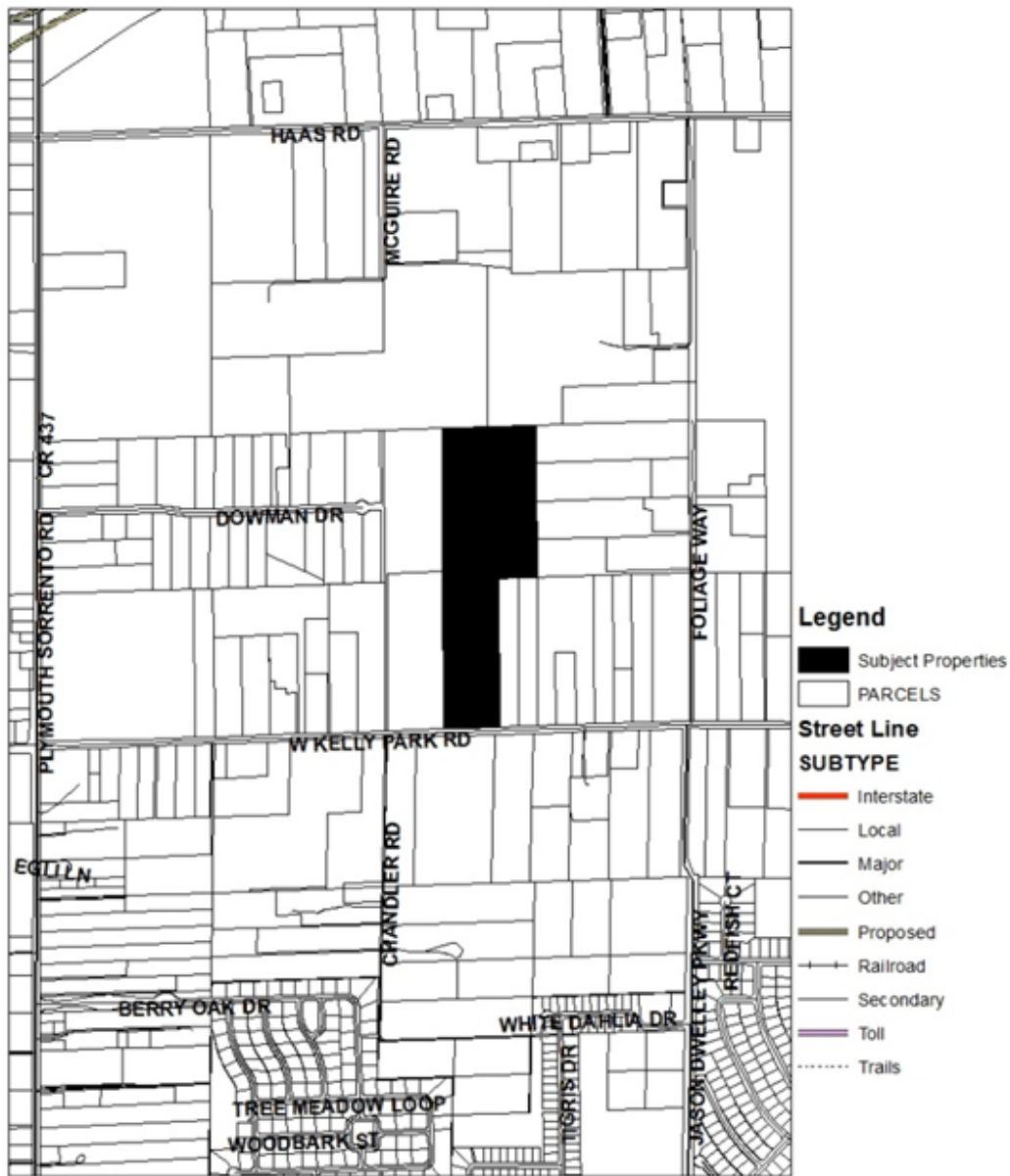
USES:

Single-family residential uses as set forth within the Master Plan.

Project: SPRINGS RIDGE GARDENS
Owned by: LANDCO DEVELOPMENT GROUP, LLC
Location: 2309 and 2405 W. Kelly Park Road
Parcel ID#s: 07-20-28-0000-00-048, 07-20-28-0000-00-011

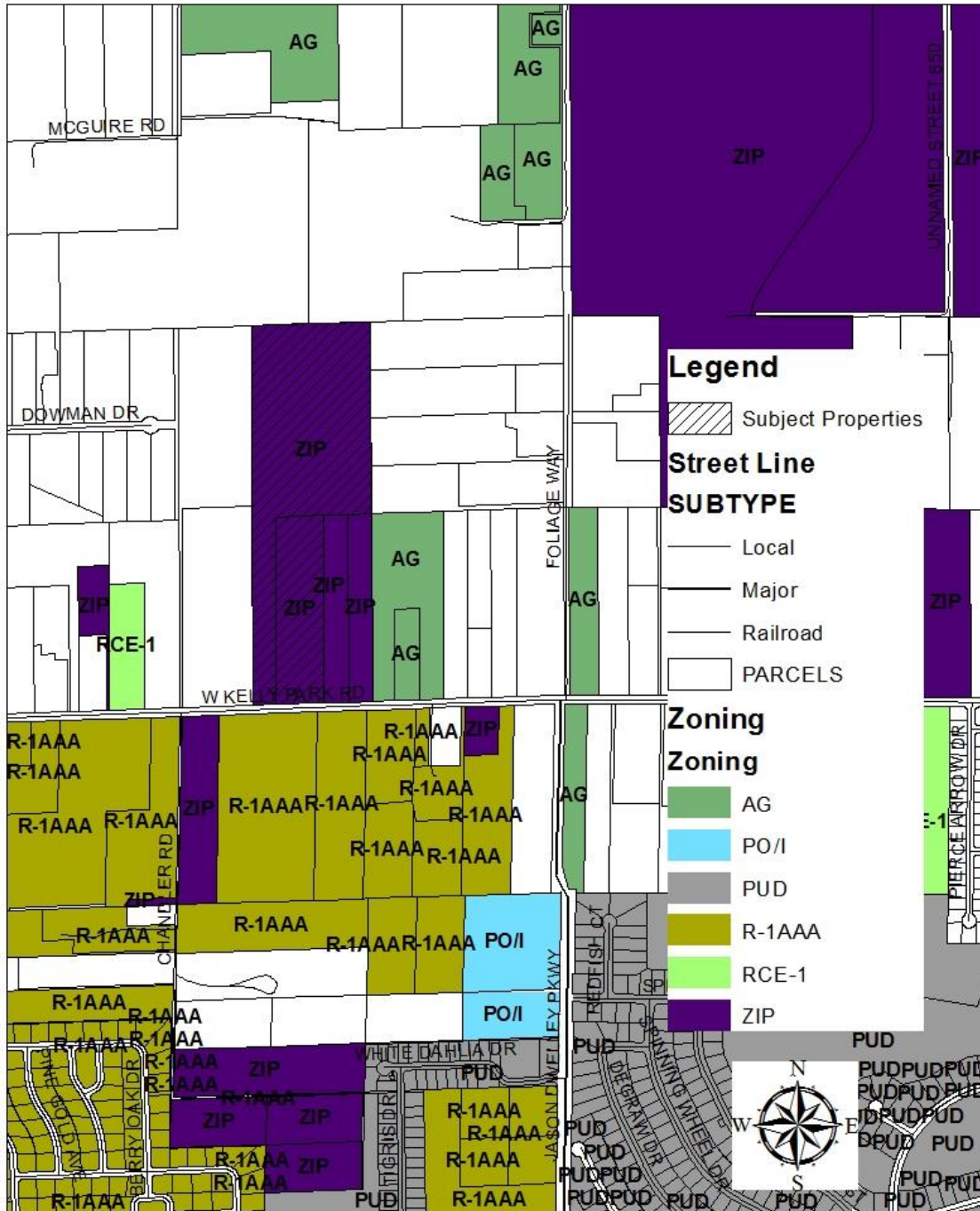


VICINITY MAP



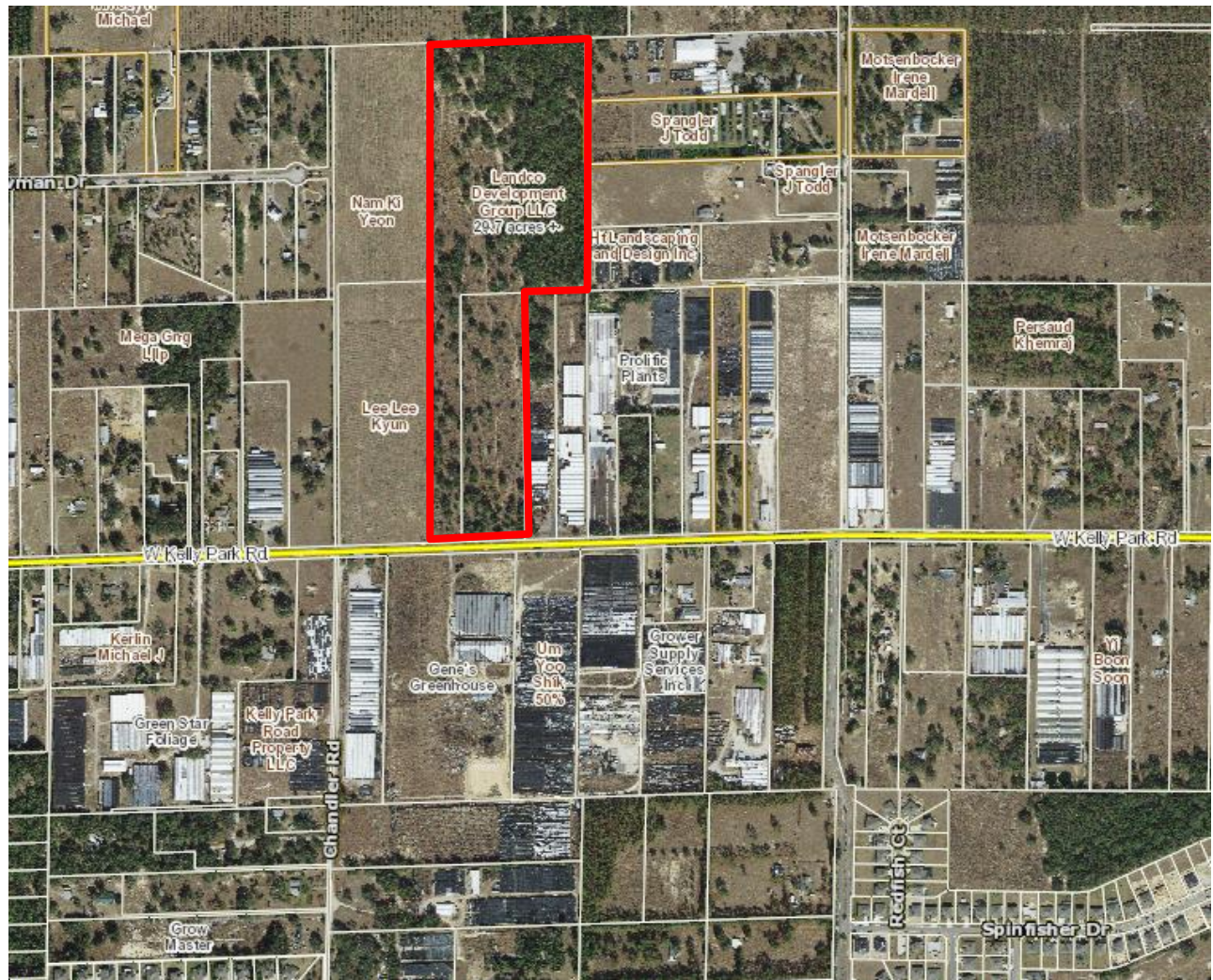


ADJACENT ZONING



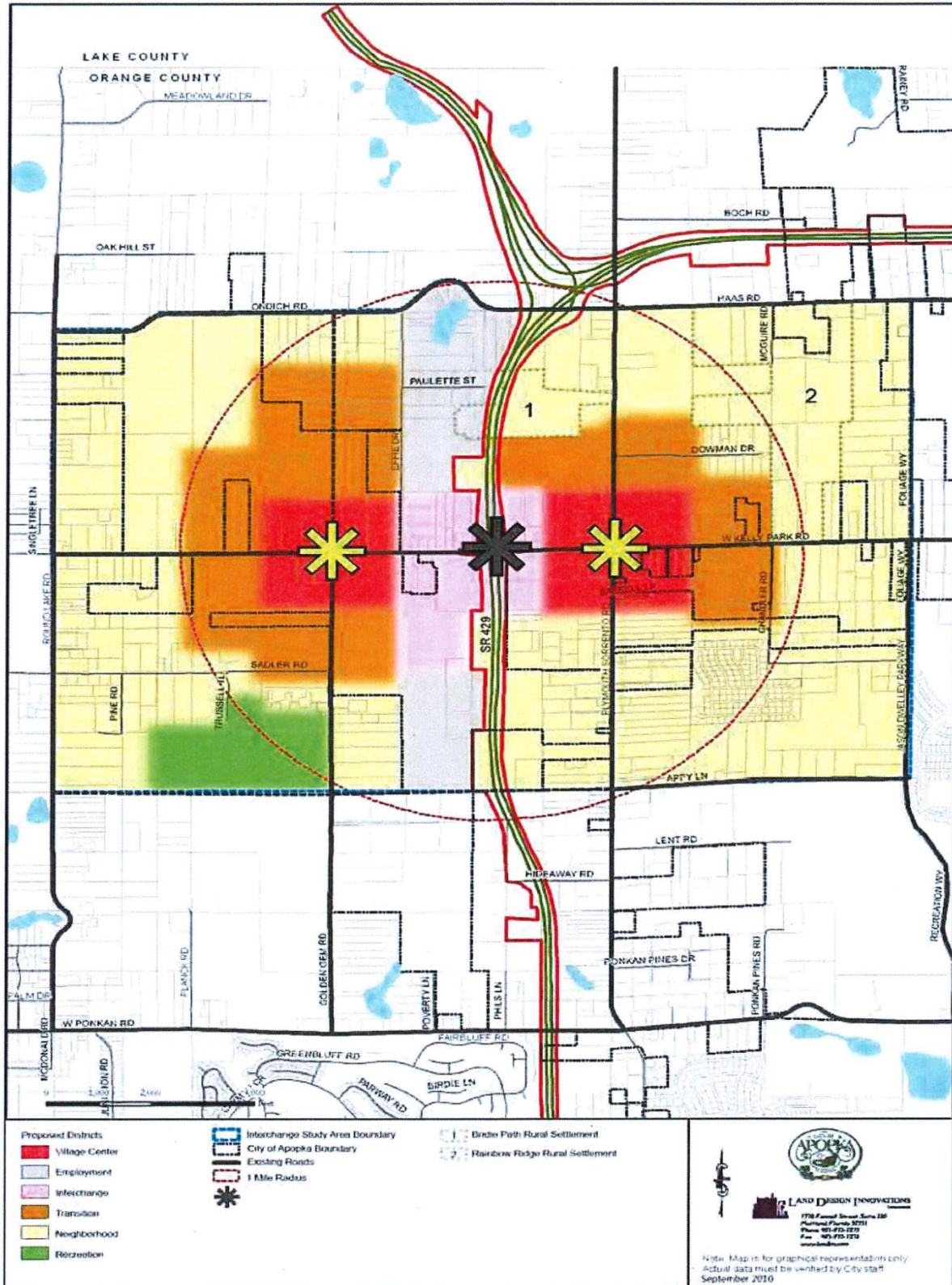


ADJACENT USES





Kelly Park Crossing Form-Based Code Area



Springs Ridge Gardens

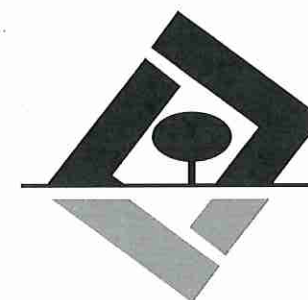
Master Plan/Preliminary Development Plan

City of Apopka Florida Parcel I.D. # 07-20-28-0000-00-011, 048

for



by



G L SUMMITT
ENGINEERING INC

NOTE:

1. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET CITY OF APOPKA AND A.D.A. SPECIFICATIONS.
2. THESE CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, FDOT GREEN BOOK AND CITY OF APOPKA REGULATIONS & SPECIFICATIONS.
3. ORANGE COUNTY RWO PERMIT REQUIRED PRIOR TO STARTING CONSTRUCTION.

Project Team

Owner Lanco Development Group, LLC 36W538 Michael Ct. Saint Charles, IL 60175 Ph: 847-494-0775 Fx:	Surveyor Dewberry Engineers, Inc. 800 N Magnolia Ave. Orlando, FL 32803 Ph: (407) 843-5120 Fx:
Developer Lanco Development Group, LLC 36W538 Michael Ct. Saint Charles, IL 60175 Ph: 847-494-0775 Fx:	Civil Engineer G L Summitt Engineering, Inc. 3667 Simonton Place Lake Mary, FL 32746 Ph: (407) 323-0705 Fx: (407) 992-8650
	Landscape Architect Ravensdale Planning & Design, Inc. 3208-C E. Colonial Dr. #294 Orlando, FL 32803 Ph: (407) 647-1213 Fx:

Utilities

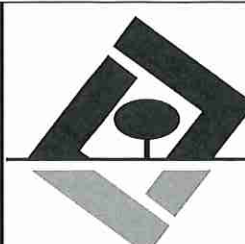
Drinking Water City of Apopka 748 E. Cleveland St. Apopka, FL 32703 Ph: (407) 703-1731 Fx: (407) 703-1748	Electric Service Florida Power & Light 2626 W S.R. 46 Sanford, FL 32771 Ph: (407) 328-1909
Sanitary Sewer City of Apopka 748 E. Cleveland St. Apopka, FL 32703 Ph: (407) 703-1731 Fx: (407) 703-1748	Phone Provider AT&T 1227 S. Division Ave. Orlando, FL 34805 Ph: (407) 351-7100
Garbage Disposal City of Apopka 748 E. Cleveland St. Apopka, FL 32703 Ph: (407) 703-1731 Fx: (407) 703-1748	Cable Provider Spectrum Networks 100 Gordon St. Sanford, FL 32771 Ph: (321) 805-3081
Reclaim Water City of Apopka 748 E. Cleveland St. Apopka, FL 32703 Ph: (407) 703-1731 Fx: (407) 703-1748	

Vicinity Map



Drawing Index

No.	Title	Revised
1	Coversheet	12-06-18
2	Symbols & Abbreviations	12-06-18
3	Boundary & Topo Survey	12-06-18
4	Overall Site Plan	12-06-18
5	Block Length Plan	12-06-18
6-7	Detailed Site Plan(s)	12-06-18
8-9	Utility Plan(s)	12-06-18
10-11	Drainage & Grading Plan(s)	12-06-18
12	Kelly Park Road Offsite Plan	12-06-18
13-14	Open Space/Access Plan	12-06-18
15-19	Landscape Plan(s)	12-06-18
20	Landscape Details	12-06-18
21	Architectural Elevations	12-06-18
22	Pool Cabana Elevations	12-06-18
23	General Details	12-06-18



G L SUMMITT
ENGINEERING INC
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com



Lanco Development Company
P.O. Box 379
West Dundee, IL 60118
847-494-0775

Springs Ridge Gardens Subdivision
City of Apopka, Florida

Final Master Plan/Preliminary Development Plan

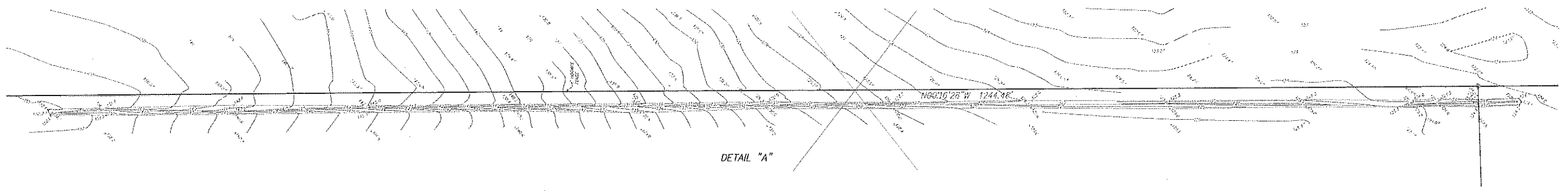
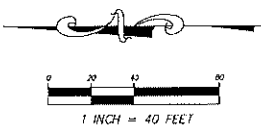
Coversheet

Plans not valid unless Signed, Dated and Sealed below.
GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
FL Registration #58775
Certificate of Authorization #29665

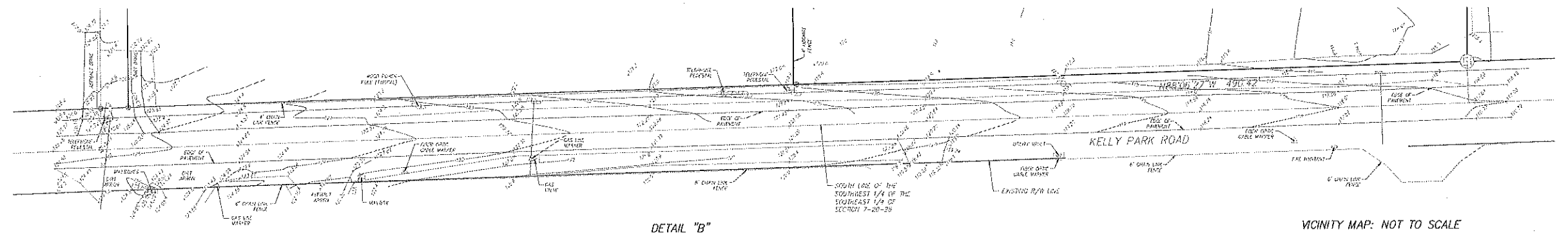
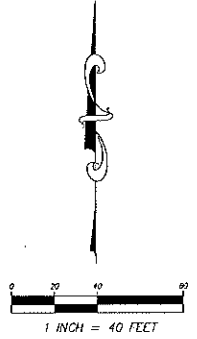
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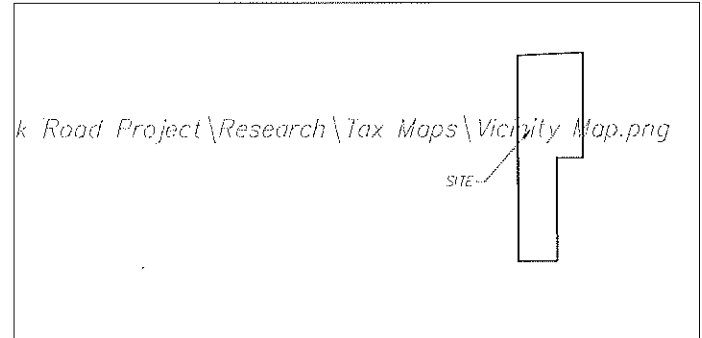


DETAIL "A"



DETAIL "B"

VICINITY MAP: NOT TO SCALE



SURVEY NOTES:

- BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 20 SOUTH, RANGE 28 EAST, AS BEING N00°16'28"W.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 120B50050F, ORANGE COUNTY, FLORIDA, EFFECTIVE DATE OF SEPTEMBER 25, 2009, THE PROPERTY DESCRIBED HEREON LIES WITHIN ZONE(S) "X".
- UNDERGROUND FOUNDATIONS WERE NOT LOCATED AS PART OF THIS SURVEY.
- UNDERGROUND UTILITIES WERE LOCATED BY ABOVE GROUND EVIDENCE AND AS DETAILED AT MANHOLES AND STRUCTURES. OTHER FACILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS SURVEY.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, FILE NUMBERS 5065403 AND 5065388, BOTH DATED DECEMBER 1, 2014. THE LEGAL DESCRIPTION IN FILE NUMBER 5065388 DOES NOT ACCURATELY DESCRIBE THE SUBJECT PROPERTY AND AN ACCURATE DESCRIPTION WRITTEN BY THIS SURVEYOR BASED UPON DEEDS FOUND ON THE ORANGE COUNTY PROPERTY APPRAISER'S SITE HAS BEEN ADDED TO THIS SURVEY.
- NORTH-SOUTH AND EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION.
- WETLAND AREAS, IF EXISTING, WERE NOT ADDRESSED AS A PART OF THIS SURVEY.
- THE ACCURACY OF THE SURVEY MEASUREMENTS USED FOR THIS SURVEY MEETS OR EXCEEDS THE EXPECTED USE OF THE PROPERTY DESCRIBED HEREON. (SUBURBAN) 1 FOOT IN 7,500 FEET.
- ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY DATUM, AS DERIVED BY FROM BENCHMARK L708024, DESCRIBED AS A 12" ROUND CONCRETE MONUMENT WITH ORANGE COUNTY BRASS DISK STAMPED "L708024", HAVING AN ELEVATION OF 108.795 FEET (NORTH AMERICAN VERTICAL DATUM OF 1988) AND BENCHMARK L708023, DESCRIBED AS A 12" ROUND CONCRETE MONUMENT WITH ORANGE COUNTY BRASS DISK STAMPED "L708023", HAVING AN ELEVATION OF 115.209 FEET (NORTH AMERICAN VERTICAL DATUM OF 1988).
- BOUNDARY DIMENSIONS DEPICTED HEREON ARE MEASURED UNLESS OTHERWISE SHOWN.
- THIS SURVEY CONSISTS OF TWO SHEETS AND NO SHEET IS COMPLETE WITHOUT THE OTHER. SEE SHEET 1 FOR SURVEY NOTES, LEGEND, LEGAL DESCRIPTION, CERTIFICATION AND DETAILS OF KELLY PARK ROAD AND AN OPEN TRENCH. SEE SHEET 2 FOR OVERALL BOUNDARY AND TOPOGRAPHIC INFORMATION.

LEGEND AND ABBREVIATIONS:

(M) MEASUREMENT BASED ON FIELD OBSERVATIONS	P.O.C. POINT OF COMMENCEMENT	□ FOUND CONCRETE MONUMENT AS NOTED	⊕ IRRIGATION CONTROL VALVE
(D) MEASUREMENT PER LEGAL DESCRIPTION	P.O.B. POINT OF BEGINNING	⊕ FOUND NAIL AS NOTED	⊕ WATER METER
(FDT) MEASUREMENT PER FLORIDA DEPARTMENT OF TRANSPORTATION R/W MAP	FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY	⊕ FOUND NAIL & DISK (LB 8011) UNLESS OTHERWISE NOTED	⊕ WATER VALVE
(C) CALCULATED BASED ON FIELD OBSERVATIONS.	DIP DUCTILE IRON PIPE	⊕ SET NAIL & DISK (LB 8011)	⊕ FIRE HYDRANT
(P) RIGHT OF WAY MAPS, PLATS AND DESCRIPTIONS MEASUREMENT PER PLAT MORE OR LESS	PVC CORRUGATED METAL PIPE	⊕ FOUND IRON ROD & CAP AS NOTED UNLESS OTHERWISE NOTED	⊕ CONCRETE UTILITY POLE
EL. ELEVATION	RCP REINFORCED CONCRETE PIPE	⊕ FOUND IRON ROD AS NOTED	⊕ METAL UTILITY POLE
LB LICENSED BUSINESS	NAVJ NORTH AMERICAN VERTICAL DATUM	⊕ SET 5/8" IRON ROD & CAP (LB 8011)	⊕ WOOD UTILITY POLE
NO. NUMBER	PB PLAT BOOK	⊕ CONTROL/BENCHMARK AS DESCRIBED	⊕ UTILITY POLE GUY ANCHOR
LS LAND SURVEYOR	OR OFFICIAL RECORDS BOOK	⊕ CURB INLET GRATE	⊕ LIGHT POLE
ID IDENTIFICATION	PCS(P) PARCELS	⊕ CATCH BASIN	⊕ SIGN
ORB OFFICIAL RECORDS BOOK	R/W RIGHT OF WAY	⊕ STORM MANHOLE	⊕ LINE BREAK
CL CENTERLINE	ESMT EASEMENT	⊕ SANITARY MANHOLE	⊕ FENCE LINE AS NOTED
R RADIUS	SEC SECTION	⊕ SANITARY CLEANOUT	⊕ OVERHEAD UTILITY LINE
L ARC LENGTH	CCR CERTIFIED CORNER RECORD	⊕ ELECTRIC MAINHOLE	⊕ APPROXIMATE TOP OF BANK
Δ DELTA (CENTRAL ANGLE)	RLS REGISTERED LAND SURVEYOR	⊕ ELECTRIC METER	⊕ APPROXIMATE TOE OF SLOPE
C.D. CHORD LENGTH	CM CONCRETE MONUMENT	⊕ CABLE TELEVISION RISER BOX	⊕ EXISTING CONTOUR
C.B. CHORD BEARING	IRC IRON ROD AND CAP	⊕ TELEPHONE RISER BOX	⊕ SANITARY SEWER LINE
CLF CHAIN LINK FENCE	IR IRON ROD		⊕ STORM DRAINAGE LINE
	IP IRON PIPE		⊕ WATER LINE

LEGAL DESCRIPTION:

(TITLE COMMITMENT NO. 5065388 AND NO. 5065403)
 THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, LESS THE WEST 503.05 FEET, AND THE WEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 07, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.
 TOGETHER WITH:
 THE EAST 1/3 OF THE WEST 3/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 07, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.
 MORE ACCURATELY DESCRIBED BY THIS SURVEYOR AS:
 THE EAST 1/3 OF THE WEST 3/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 07, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.
 TOGETHER WITH:
 THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AND THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 20, RANGE 28, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE WEST 503.05 FEET.

CERTIFIED TO:
 COMMONWEALTH LAND TITLE INSURANCE COMPANY
 REVCO VENTURES, INC.
 KAPLAN LAW FIRM, P.L.

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THIS SURVEY MEETS THE APPLICABLE "STANDARDS OF PRACTICE" AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 5J17.050-.052, FLORIDA ADMINISTRATIVE CODE.

WILLIAM O. DOWLEY
 FLORIDA LICENSED SURVEYOR & MAPPER NO. LS 5381
 DATE _____

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REVISIONS				
FB/PG	DATE	DRAWN	REVISION	CHKD

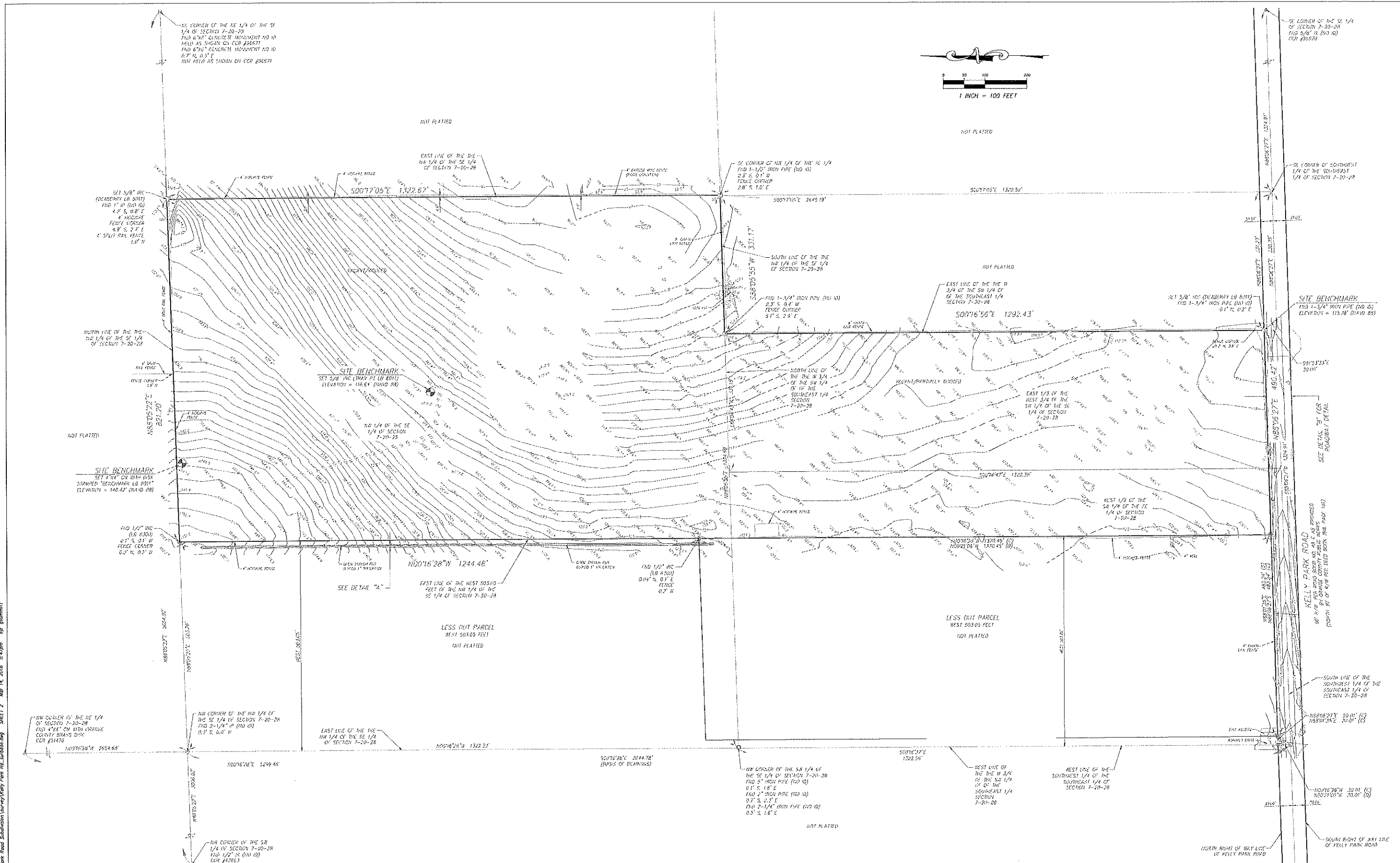
Dewberry
 520 SOUTH MAGNOLIA AVENUE
 ORLANDO, FLORIDA 32801
 PHONE: 321.354.8826 FAX: 407.648.9104
 WWW.DEWBERRY.COM
 CERTIFICATE OF AUTHORIZATION NO. LB 8011

LOCATED IN SECTION 7, TOWNSHIP 20 SOUTH, RANGE 28 EAST
 ORANGE COUNTY, FLORIDA

PLAT OF BOUNDARY AND TOPOGRAPHIC SURVEY
 -FOR-
 REVCO VENTURES

FB/PG	FIELD DATE	PROJECT NO.	1 OF 2
07-20-28 / 1-37	09/28/15	50071036	
DRAWING DATE	BY	APPROVED	SCALE
09/30/15	TRC	WDD	1" = 40'

Drawing name: D:\083\Kelly Park Road Subdivision\Survey\Kelly Park_RL_surbdiv.dwg SHEET 2 Mar 14, 2016 8:47am by: summitt



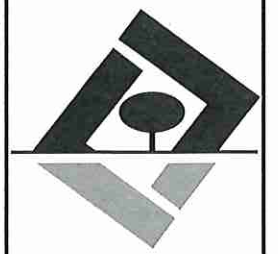
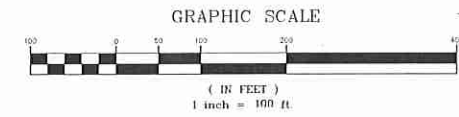
REVISIONS				
FB/PG	DATE	DRAWN	REVISION	CKD

Dewberry
 520 SOUTH MAGNOLIA AVENUE
 ORLANDO, FLORIDA 32801
 PHONE: 321.354.9826 FAX: 407.648.9104
 WWW.DEWBERRY.COM
 CERTIFICATE OF AUTHORIZATION NO. LB 6011

LOCATED IN SECTION 7, TOWNSHIP 20
 SOUTH, RANGE 28 EAST
 ORANGE COUNTY, FLORIDA

PLAT OF BOUNDARY AND
 TOPOGRAPHIC SURVEY
 -FOR-
 REVCO VENTURES

FB/PG	FIELD DATE	PROJECT NO.	2 OF 2
07-20-28 / 1-37	09/28/15	50071036	
DRAWING DATE	BY	APPROVED	SCALE
09/30/15	TRC	WDD	1" = 100'



G L SUMMITT
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Landco Development Company
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West Dundee, IL 60118
847-494-0775

**Springs Ridge
Gardens Subdivision**
City of Apopka, Florida
Final Master Plan/Preliminary
Development Plan

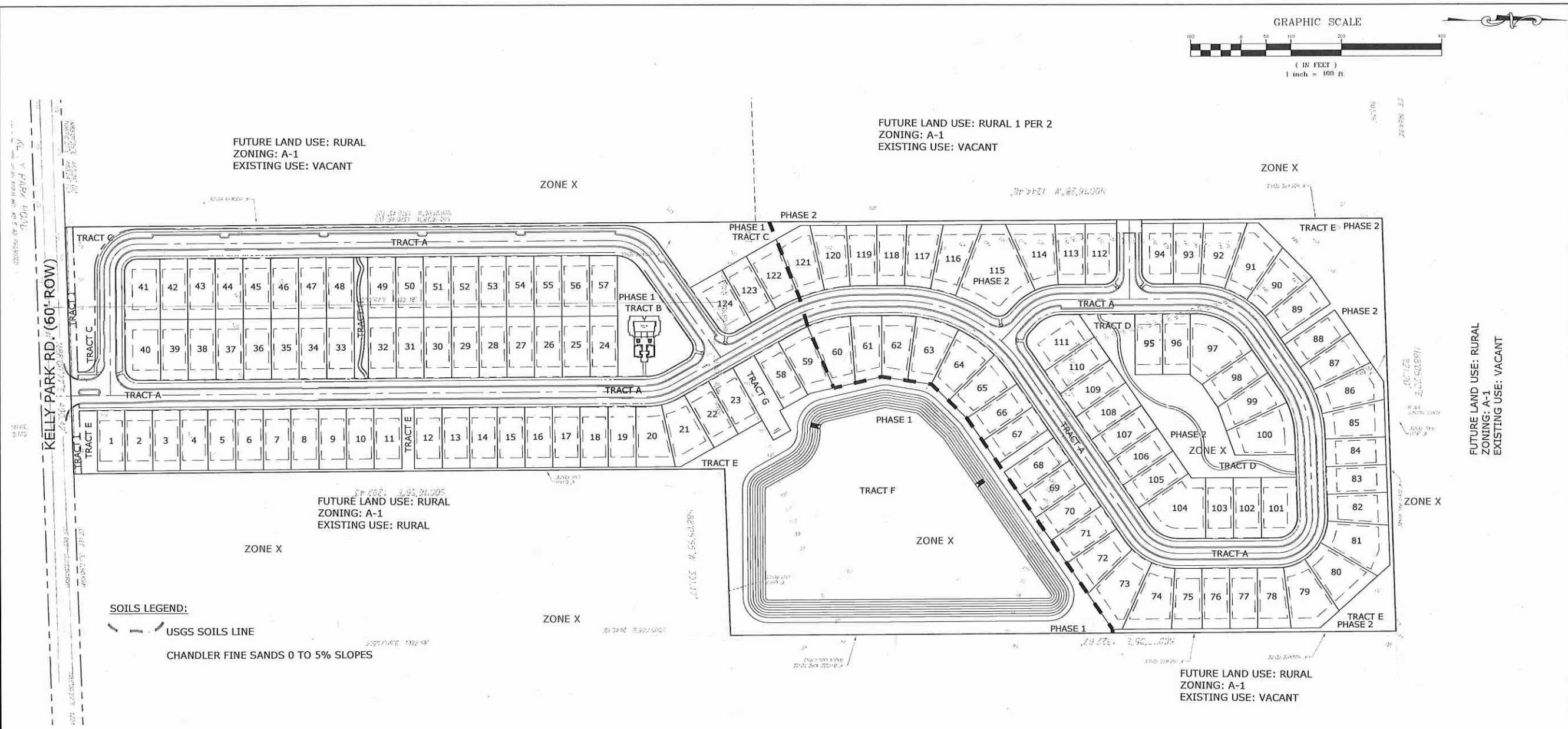
**Overall Site
Plan**

Plans not valid unless Signed,
Dated and Sealed below.

GEORFFREY L. SUMMITT, P.E.
Date: December 6, 2018
FL Registration # 488775
Certificate of Authorization #296665

NO.	DATE	DESCRIPTION
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SITE DATA:

Parcel I.D. #: 07-20-28-0000-00-011;
07-20-28-0000-00-048

Property Zoning: Wekiva Parkway Interchange Mixed-Use (WPIMU)
(Per the Kelly Park Interchange Form Based Code
City of Apopka, Florida)

Gross Land Area: 39.47 acres
Lakes/Wetland Area: 0.00 acres
Gross Developable Area: 39.47 acres
Net Developable Area: 39.47 acres

Stormwater Management Area: 5.31 acres
Right-of-Way Area: 7.40 acres
Right-of-Way Dedication: 0.14 acres
Public Open Space Tracts: 5.92 acres

Proposed Residential Units: 124 Single-Family Detached Lots
Net Residential Density: 3.14 dwelling units/Net Developable Acre

Minimum Living Area: 1,600 sqft. (Heated/cooled space)
Maximum Building Height: Two Stories, 35'
Minimum Lot Width: 55'
Minimum Lot Depth: N/A
Maximum Lot Coverage: 70%
Minimum Open Space %: 20%

Setbacks:
Front: 20' (15' front porch)
Side: 5.0'
Side Street: 15'
Rear: 20'

Open Space Requirements:

Per Form Based Code (Neighborhood 20%)
39.46ac. * .20 = 7.89 acres (required)
Open Space Provided:
Tract B: 0.53 acres
Tract C: 1.02 acres
Tract D: 0.93 acres
Tract E: 3.14 acres
Tract F: 5.31 acres
Total: 11.23 acres (7.89 required)

Major Street Setbacks:
Kelly Park Rd. 25' (setback from right-of-way line)

Additional Notes:
1. Billboards and pole signs shall be prohibited.
2. There is no proposed 100 yr. Flood Plain encroachment.
3. All Conservation Easements associated buffers area will be owned & maintained by the HOA with a development rights Easement dedicated to the City of Apopka via plat.
4. A Homeowner's Association will be created for maintenance and ownership of common area tracts as reflected in the tract table.
5. Fire Protection will be provided by City of Apopka in accordance with the 2013 Florida Fire Prevention Code.
6. ROW dedication along Kelly Park Road is subject to change based on Orange County and City of Apopka approval.
7. The form-based code encourages the use of "Green Building" principles for the construction of all buildings in the form-based code area. Items such as reusable building materials, light colored roof materials and building finishes, stormwater reuse and energy efficient windows, doors and HVAC equipment are all encouraged for use in construction.
8. Developer's asks that the city include permission to pull up to 15 model home permits for this project to help facilitate marketing and provide sales velocity in the new Interchange area.

Off-Street Parking:
Required Parking:
2.0 spaces per Unit (for Single-Family Residences): (124 units x 2.0 spaces/unit) = 248

Total Required Parking: 248
Provided Parking: 248 spaces
2 Garage Spaces per Unit: 248 spaces
2 Driveway Spaces per Unit: 248 spaces
Total Parking Provided: 496 spaces

Phasing:
This project is to be developed in multiple phases.

Traffic:
Single-Family Residential: 124 d.u. * 9.57 trip/d.u. = 1,187 A.D.T.

Stormwater Management:
The project will meet the requirements of City of Apopka Land Development Code and the St. Johns River Water Management District.

School Age Population:
124 d.u. * .478 children/unit = 60 children

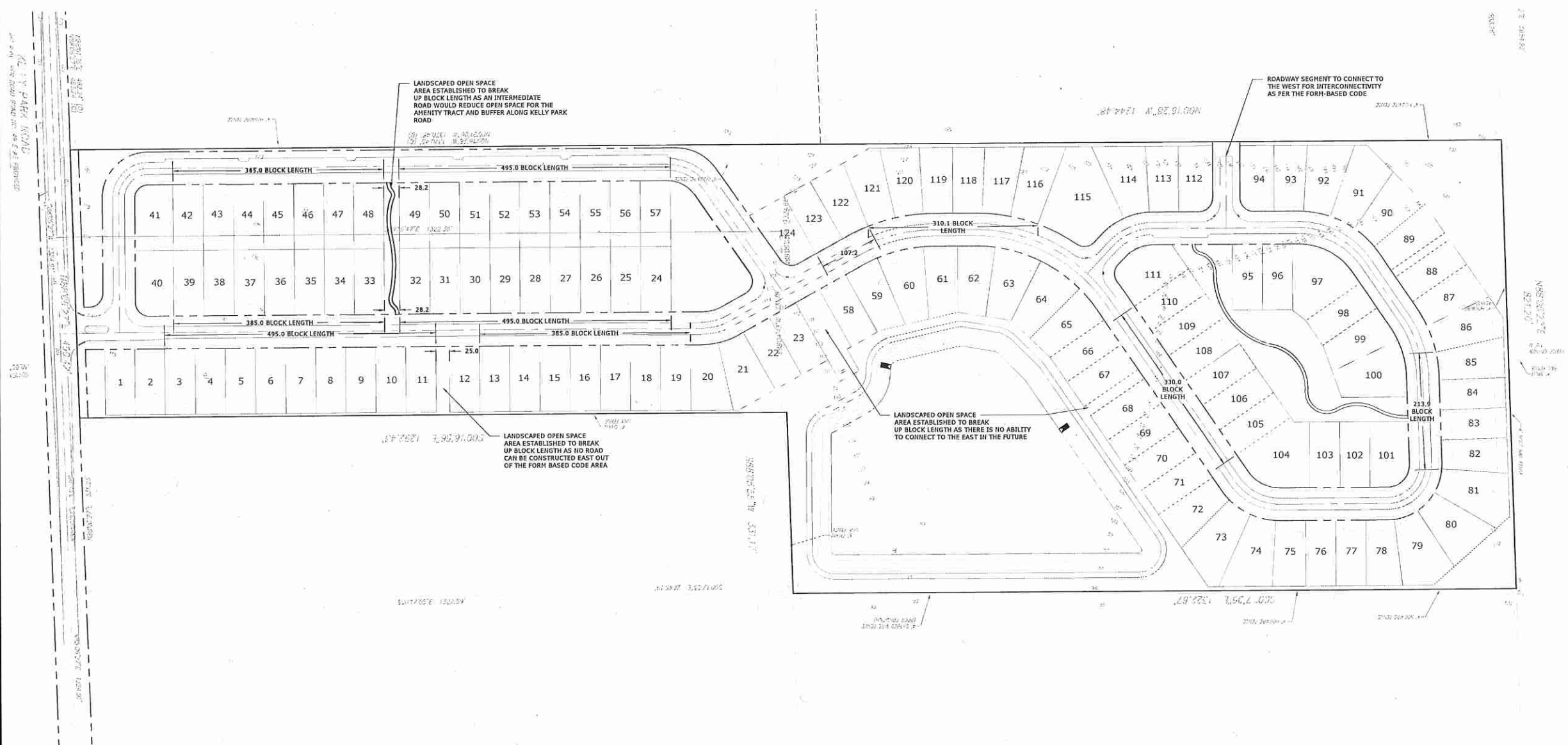
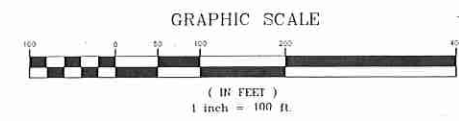
Needed Fire Flow (NFF): (Based on FFPC 2012 Edition Chapter 18 & Annex I)
Single-Family (less than 5,000 sqft.): 1,000 gpm

Water, Sewer and Solid Waste Demand:
Water Demand:
124 Units * 350 gallons/day = 43,400 gallons/day
Sewer Demand:
124 Units * 300 gallons/day = 37,200 gallons/day
Solid Waste Demand:
124 Units * 2.6 persons/unit * 4.3 lb./person/day = 1,386 lb/day
Recreational/Open Space Demand:

124 Units * 2.6 persons/unit / 1,000 * 3.0 ac/1,000 persons = 0.97 ac.

Design Alternatives Request:
1. In lieu of providing a design consistent with Section K, 2.(g),(iv) of the Interchange Form Based Code requiring a four (4)' setback of garage from front primary facade the design will include covered porch entry to all lots and include the use of pavers for the driveway and residential walks as well as architectural shingles. Landscaping in front of the porch and primary facade area will be enhanced to break-up the facade which is the goal of the code standard.
2. In lieu of providing a design consistent with Section K, 2.(g),(v) of the Interchange Form Based Code requiring elevated entry porches/stairs the design will include non-elevated covered porch entry to all lots and include the use of pavers for the driveway and residential walks as well as architectural shingles. Landscaping in front of the porch and primary facade area will be enhanced to break-up the facade which is the goal of the code standard.
3. In lieu of providing a design consistent with Section P, 4.(b) of the Interchange Form Based Code requiring street trees on 40' centers the design will include non-elevated covered porch entry to all lots and include the use of pavers for the driveway and residential walks as well as architectural shingles. In addition 1 of the required 3 lot trees will be planted along the street sidewalk to mimic the street trees so that where is sufficient lot open area for ancillary uses such as pool, patios or other additions owners may wish.

TRACT LABEL	TRACT TYPE	Area (Ac.)	TRACT DEDICATED TO	EASEMENT DEDICATED TO
A	Rights-of-Way	7.40	City of Apopka	
B	Tot Lot/ Open Space Area	0.53	HOA	
C	Recreational Area/Open Space Tract	1.02	HOA	
D	Open Space	0.93	HOA	
E	Open Space Tract	3.03	HOA	
F	Drainage Tract	5.31	HOA	City of Apopka
G	Lift Station Tract	0.18	City of Apopka	
H	Open Space Tract	0.16	HOA	
I	ROW Dedication	0.04	City of Apopka	
J	ROW Dedication	0.10	City of Apopka	

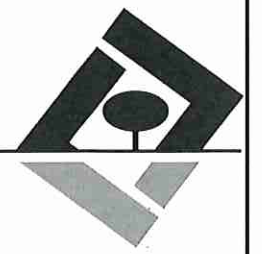


LANDSCAPED OPEN SPACE
AREA ESTABLISHED TO BREAK
UP BLOCK LENGTH AS AN INTERMEDIATE
ROAD WOULD REDUCE OPEN SPACE FOR THE
AMENITY TRACT AND BUFFER ALONG KELLY PARK
ROAD

ROADWAY SEGMENT TO CONNECT TO
THE WEST FOR INTERCONNECTIVITY
AS PER THE FORM-BASED CODE

LANDSCAPED OPEN SPACE
AREA ESTABLISHED TO BREAK
UP BLOCK LENGTH AS NO ROAD
CAN BE CONSTRUCTED EAST OUT
OF THE FORM BASED CODE AREA

LANDSCAPED OPEN SPACE
AREA ESTABLISHED TO BREAK
UP BLOCK LENGTH AS THERE IS NO ABILITY
TO CONNECT TO THE EAST IN THE FUTURE



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REVCO

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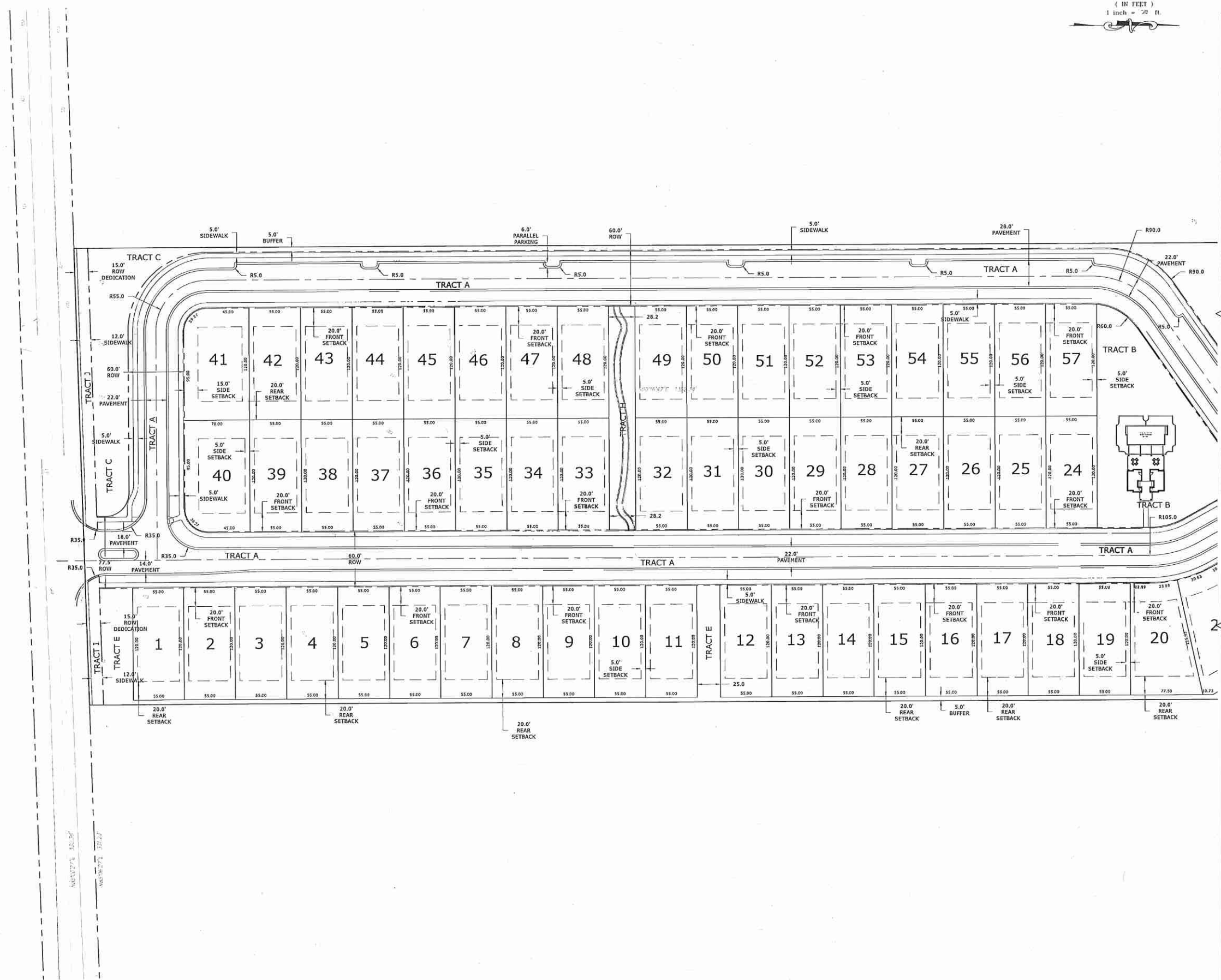
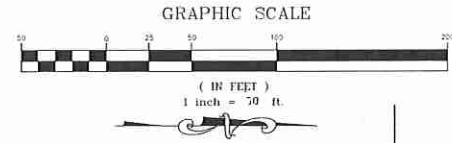
**Block Length
Plan**

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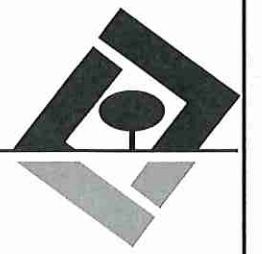
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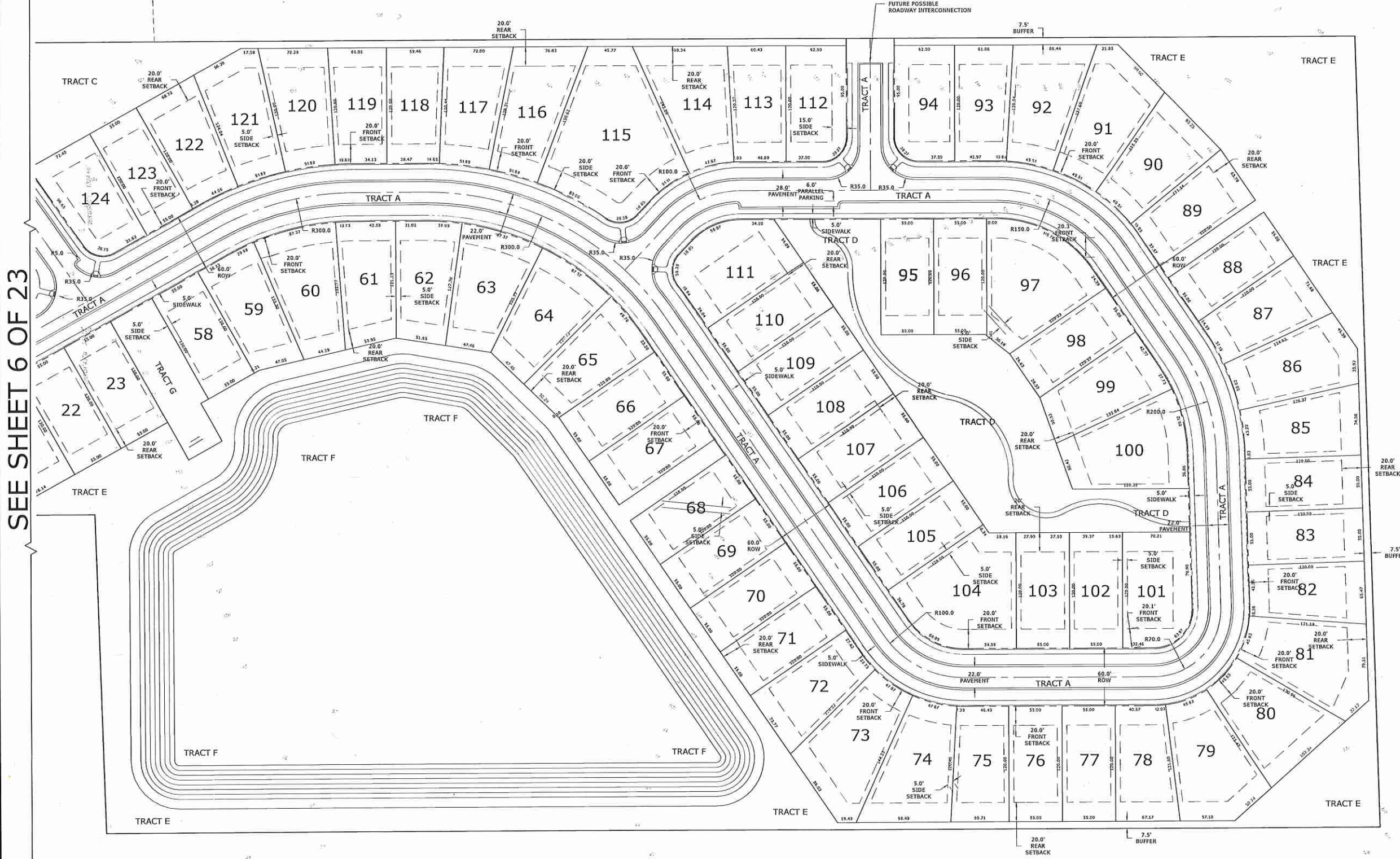
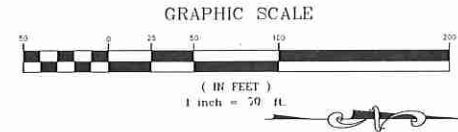
Detailed Site
Plan 1

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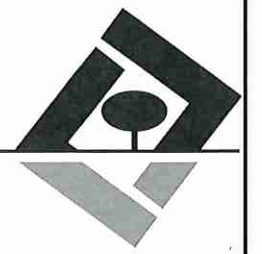
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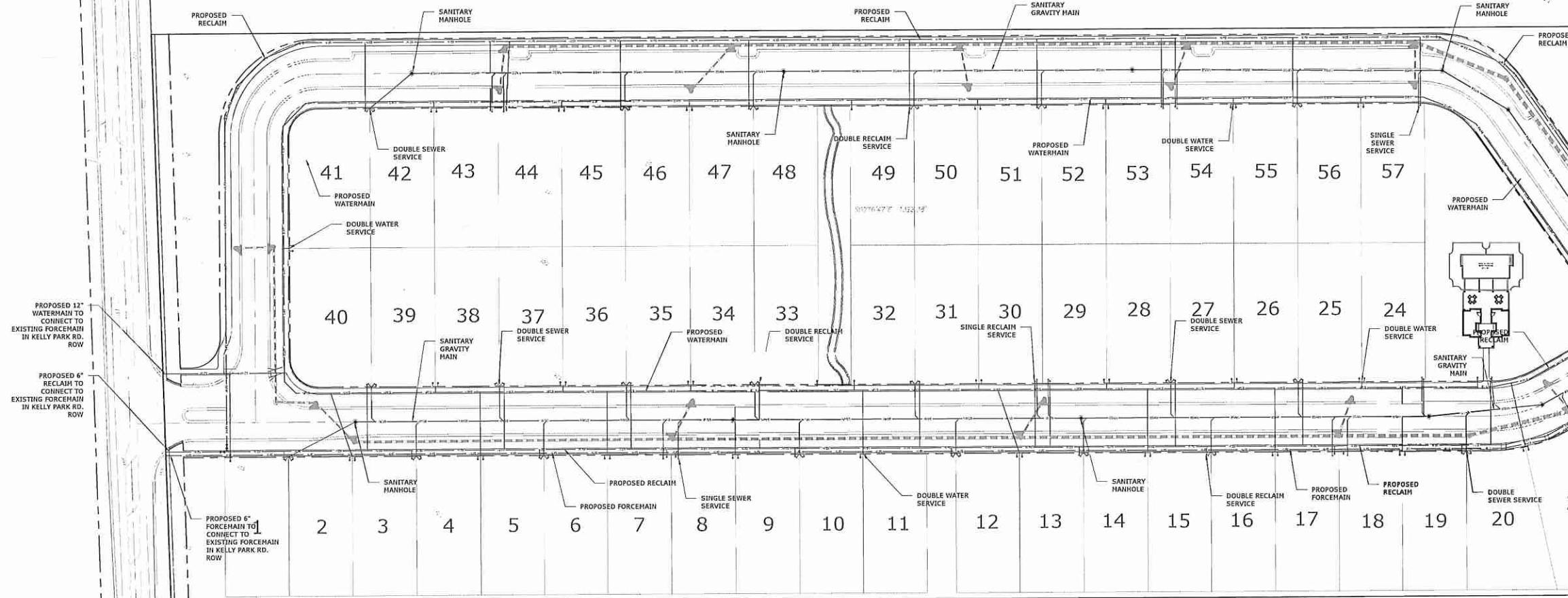
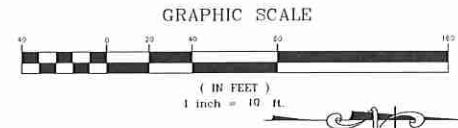
Detailed Site
Plan 2

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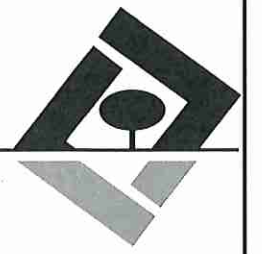


PROPOSED 12" WATERMAIN TO CONNECT TO EXISTING FORCEMAIN IN KELLY PARK RD. ROW

PROPOSED 6" RECLAIM TO CONNECT TO EXISTING FORCEMAIN IN KELLY PARK RD. ROW

PROPOSED 6" FORCEMAIN TO CONNECT TO EXISTING FORCEMAIN IN KELLY PARK RD. ROW

SEE SHEET 9 OF 23



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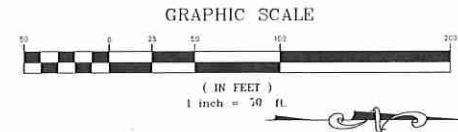
Utility Plan 1

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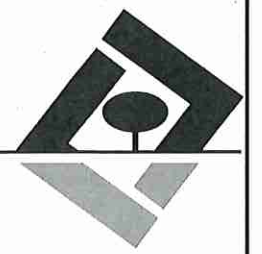
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Springs Ridge
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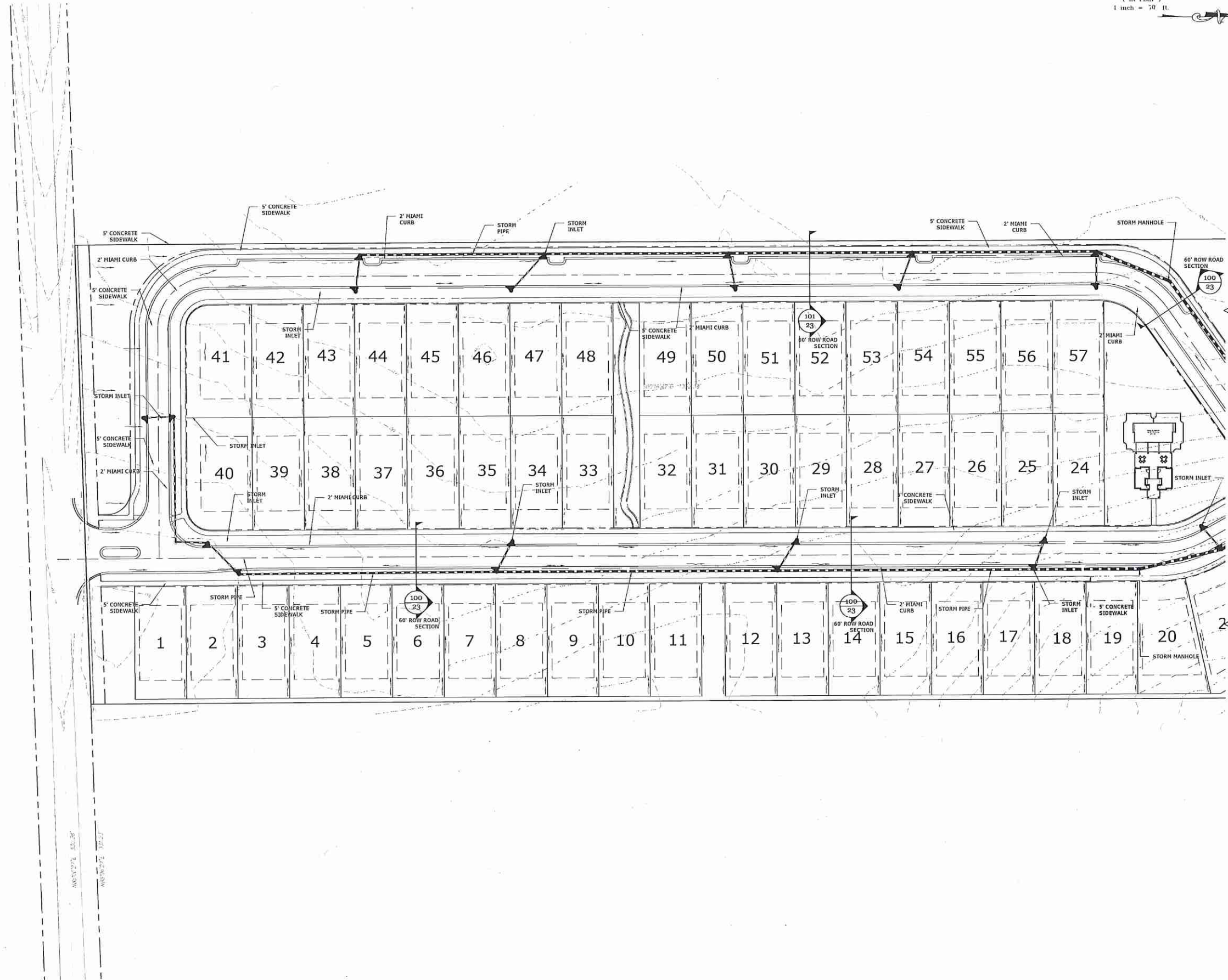
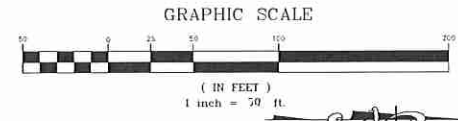
Utility Plan 2

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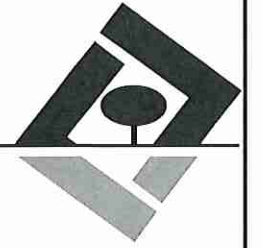
GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
FL Registration #28775
Certificate of Authorization #29665

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SHEET NUMBER
9 OF 23



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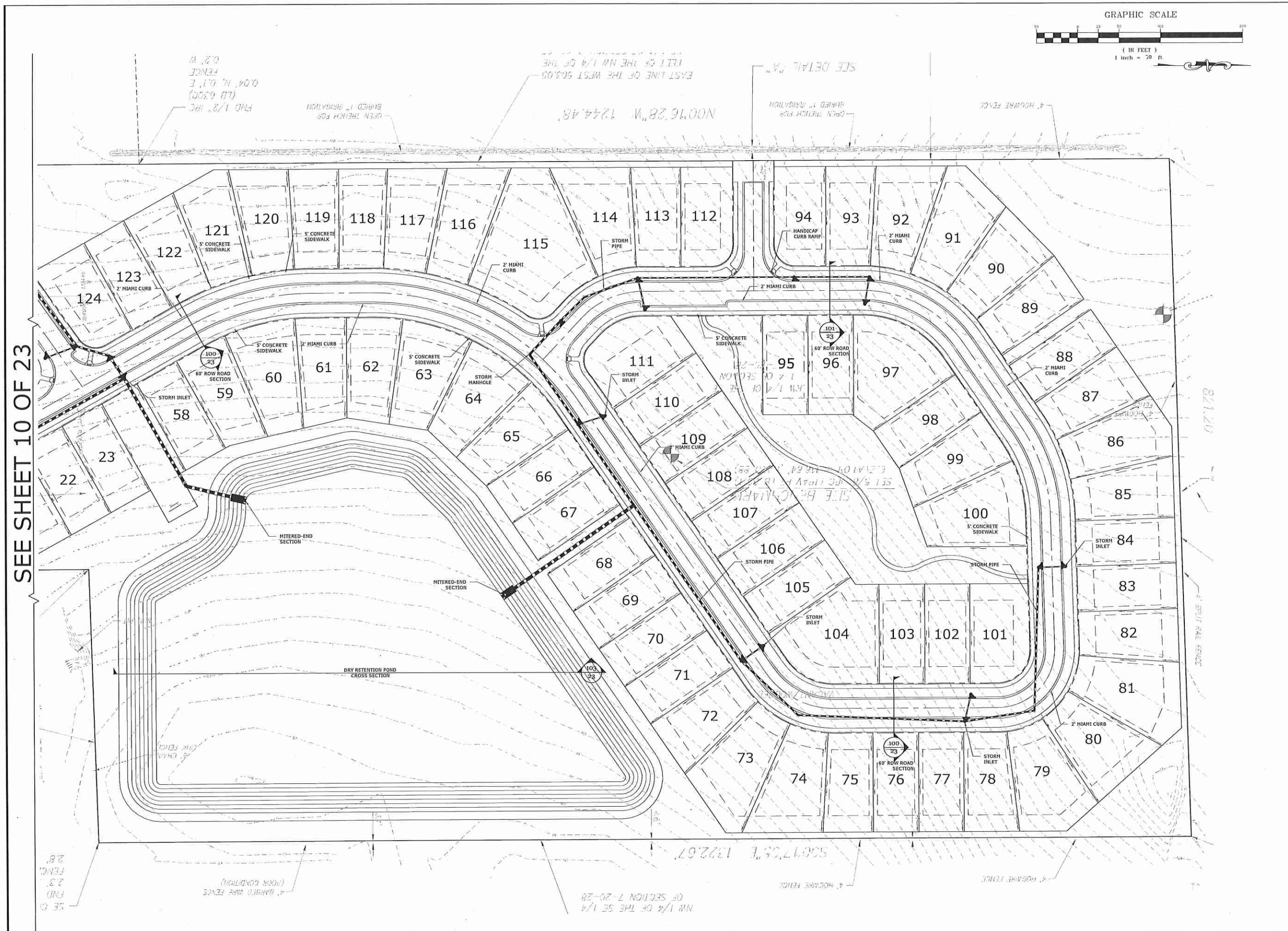
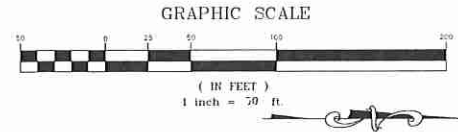
Drainage &
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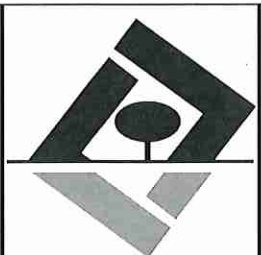
GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
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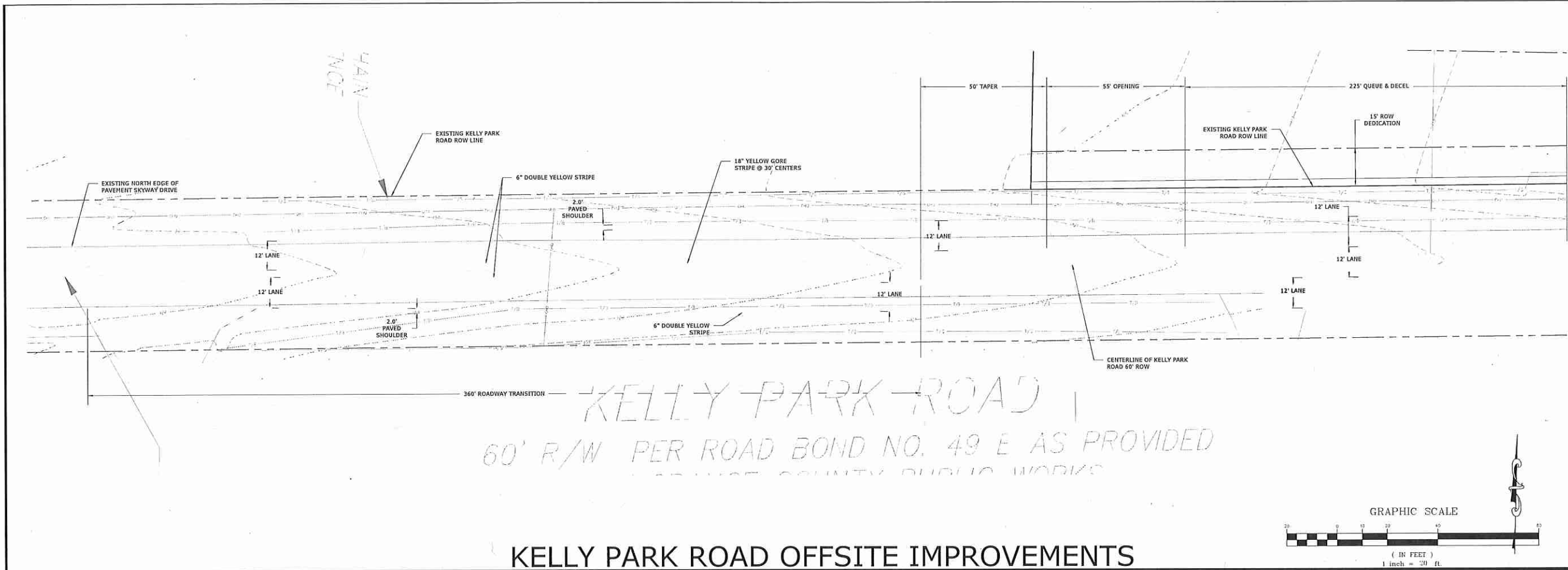
**Drainage &
 Grading Plan 2**

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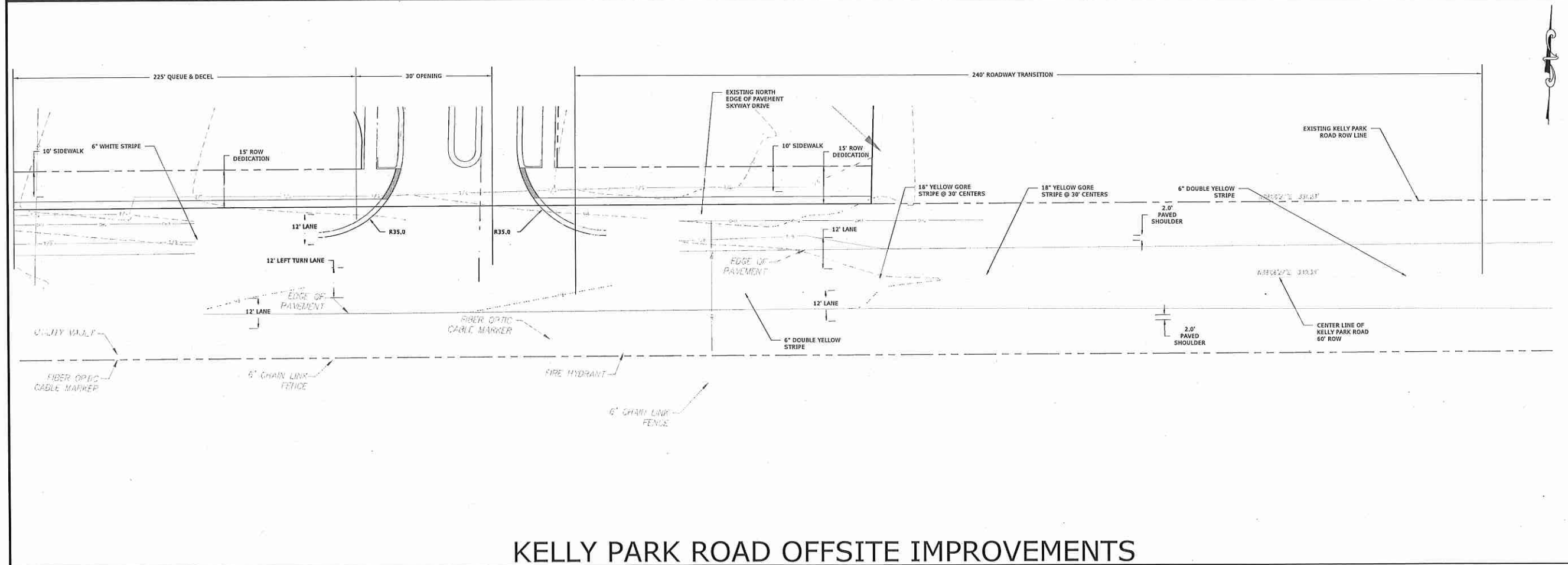
GEORFFREY L. SUMMITT, P.E.
 Date: December 6, 2018
 FL Registration #258775
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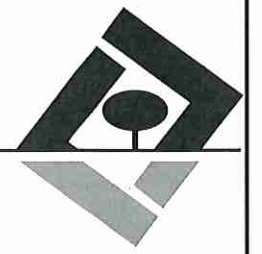
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11 OF 23



KELLY PARK ROAD OFFSITE IMPROVEMENTS



KELLY PARK ROAD OFFSITE IMPROVEMENTS



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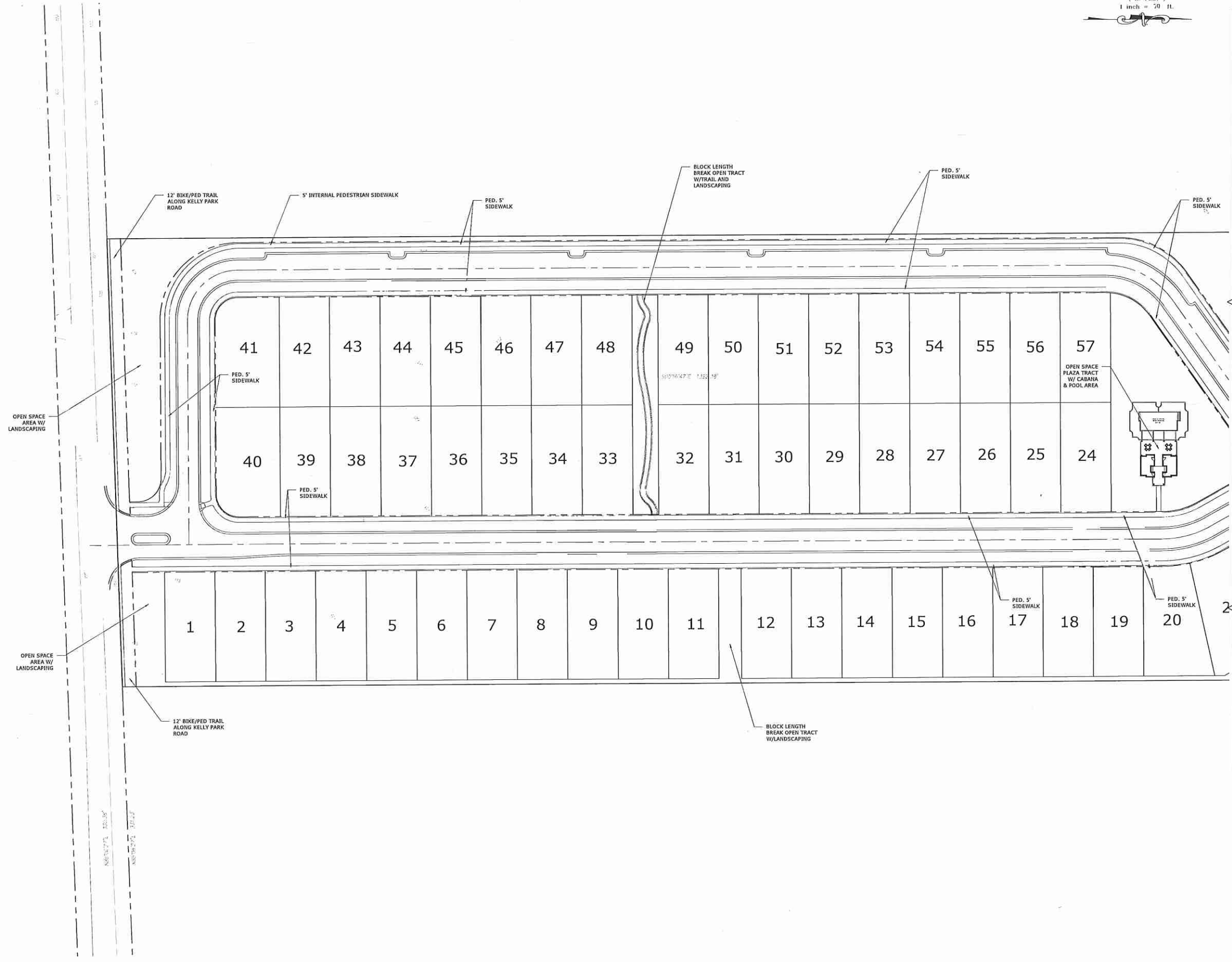
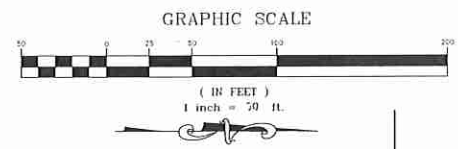
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Improvements

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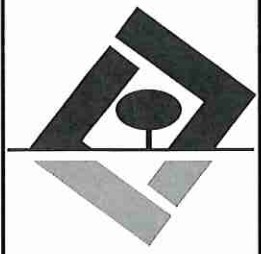
GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
FL Registration #488775
Certificate of Authorization #29665

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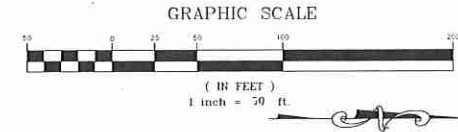
Open Space &
Access 1

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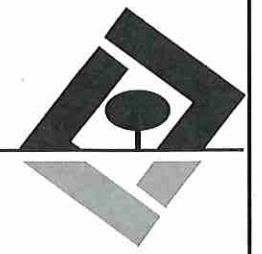
GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
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10	03/01/18	REVISIONS TO PERMIT

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Open Space &
Access 2

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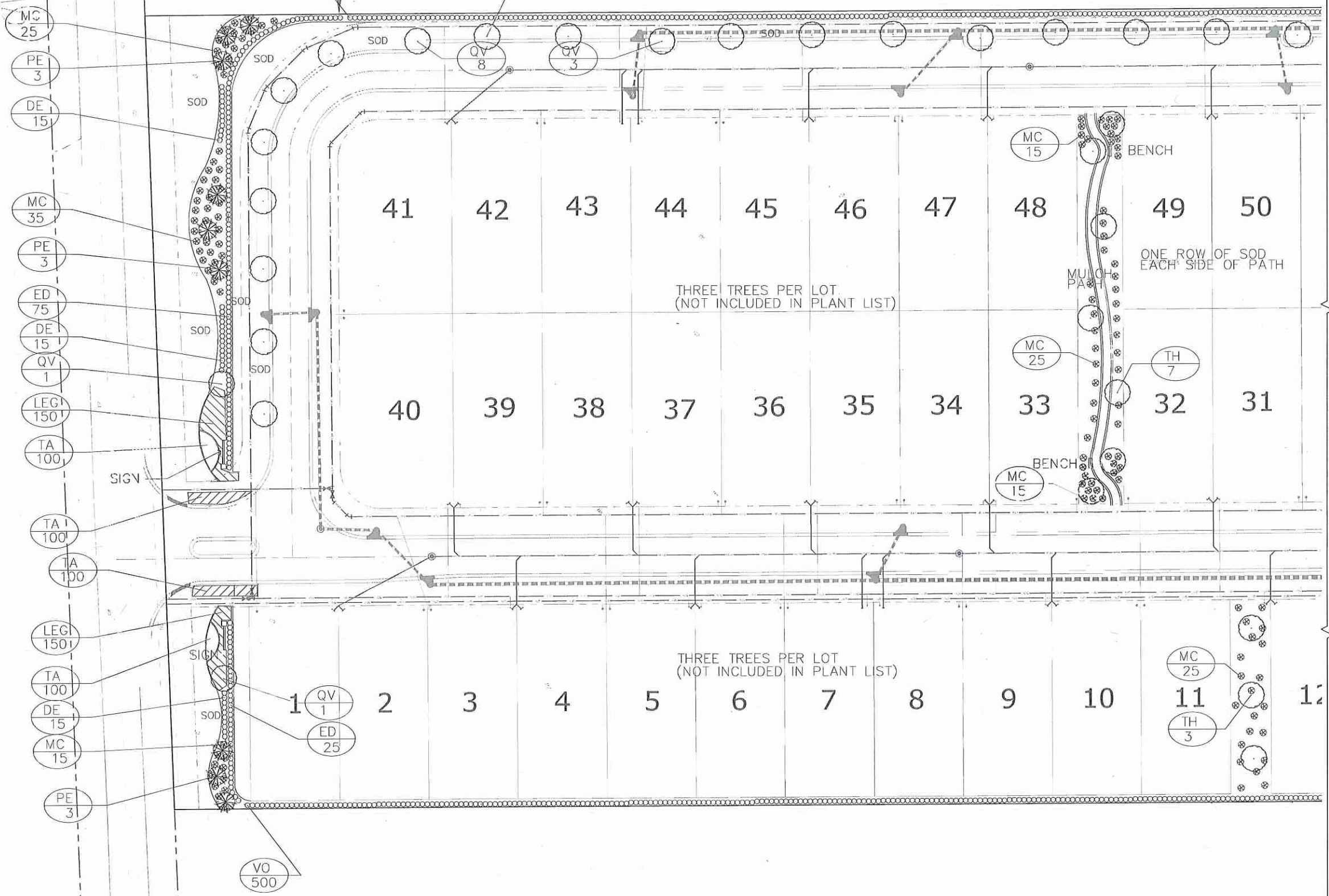
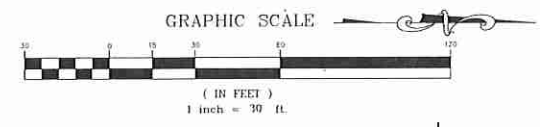
GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
FL Registration # 459775
Certificate of Authorization #296665

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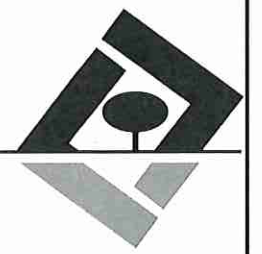
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NO. 49 L.A.S. PROVIDED

P.O.M.



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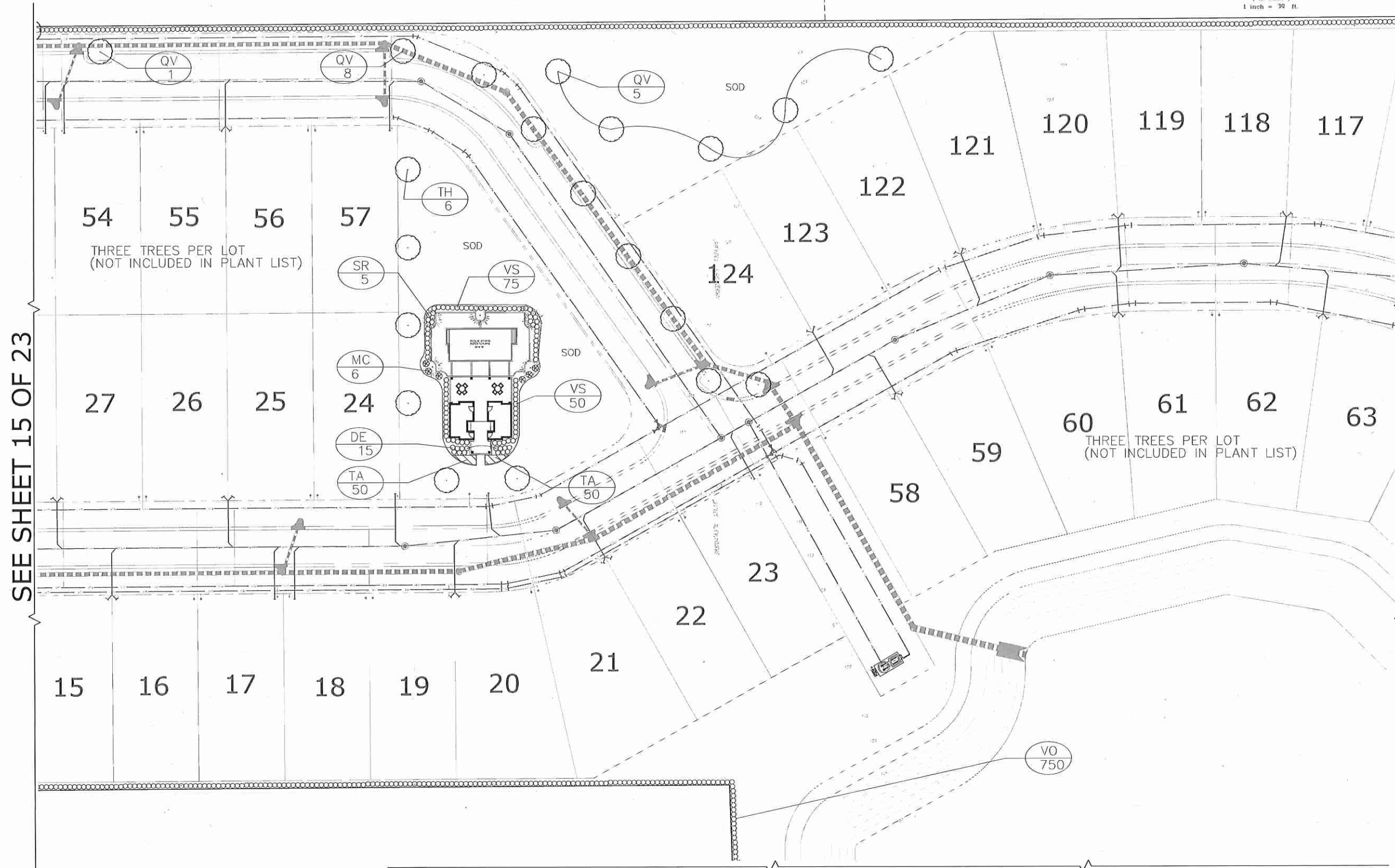
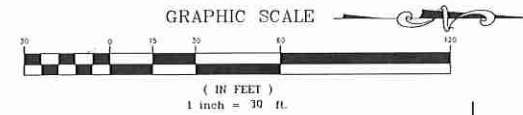
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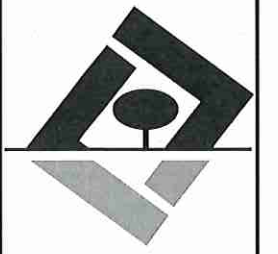
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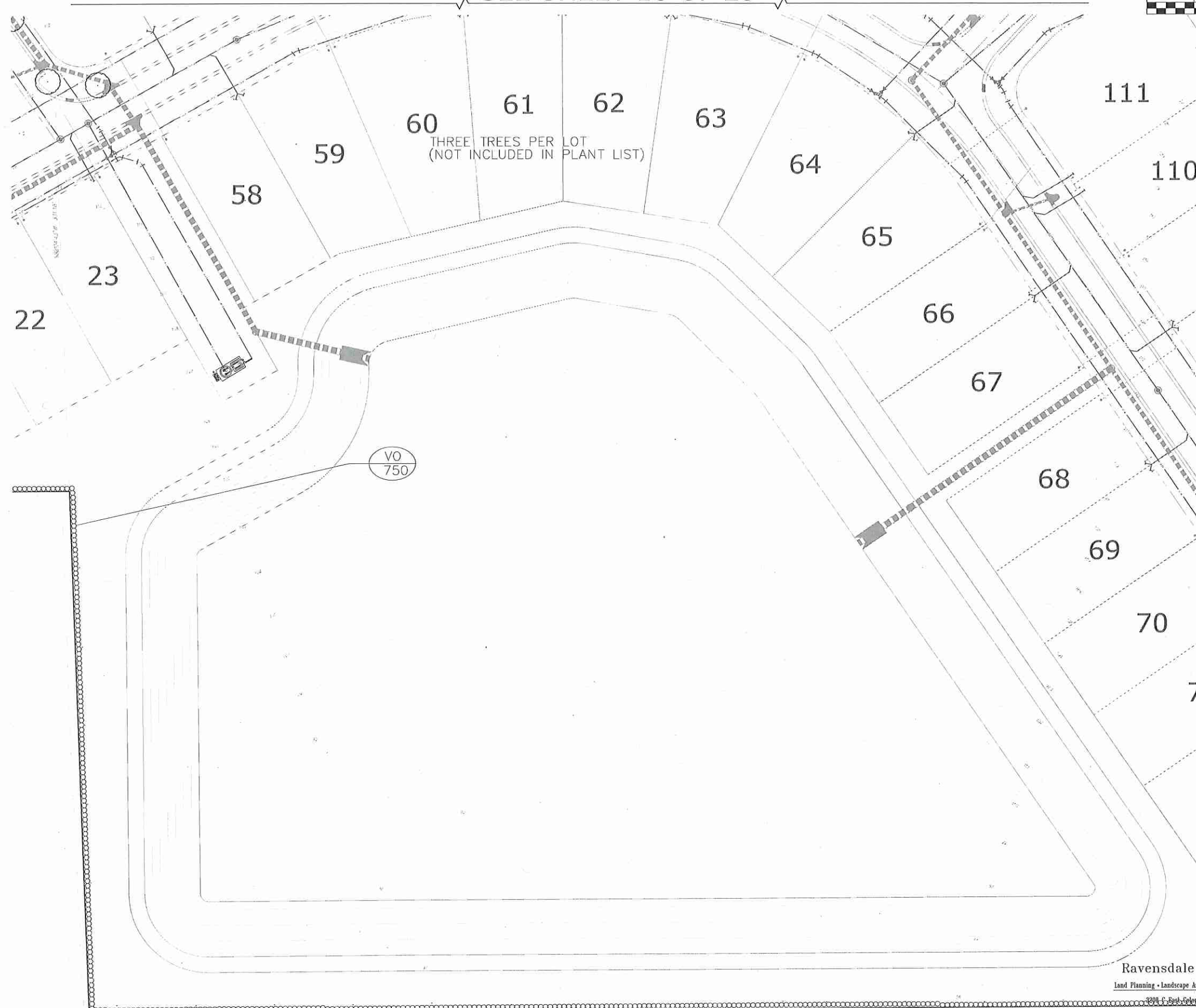
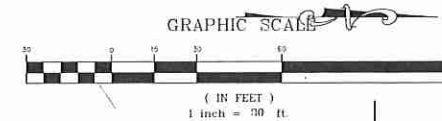
GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
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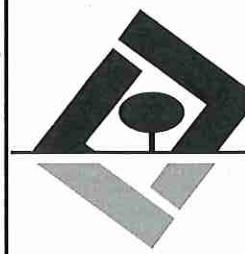
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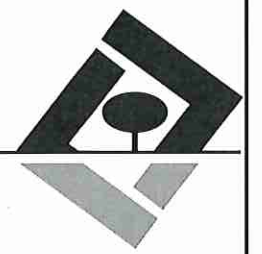
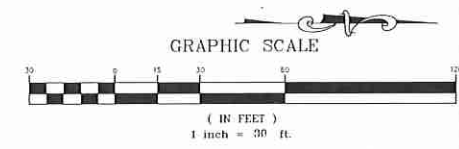
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GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
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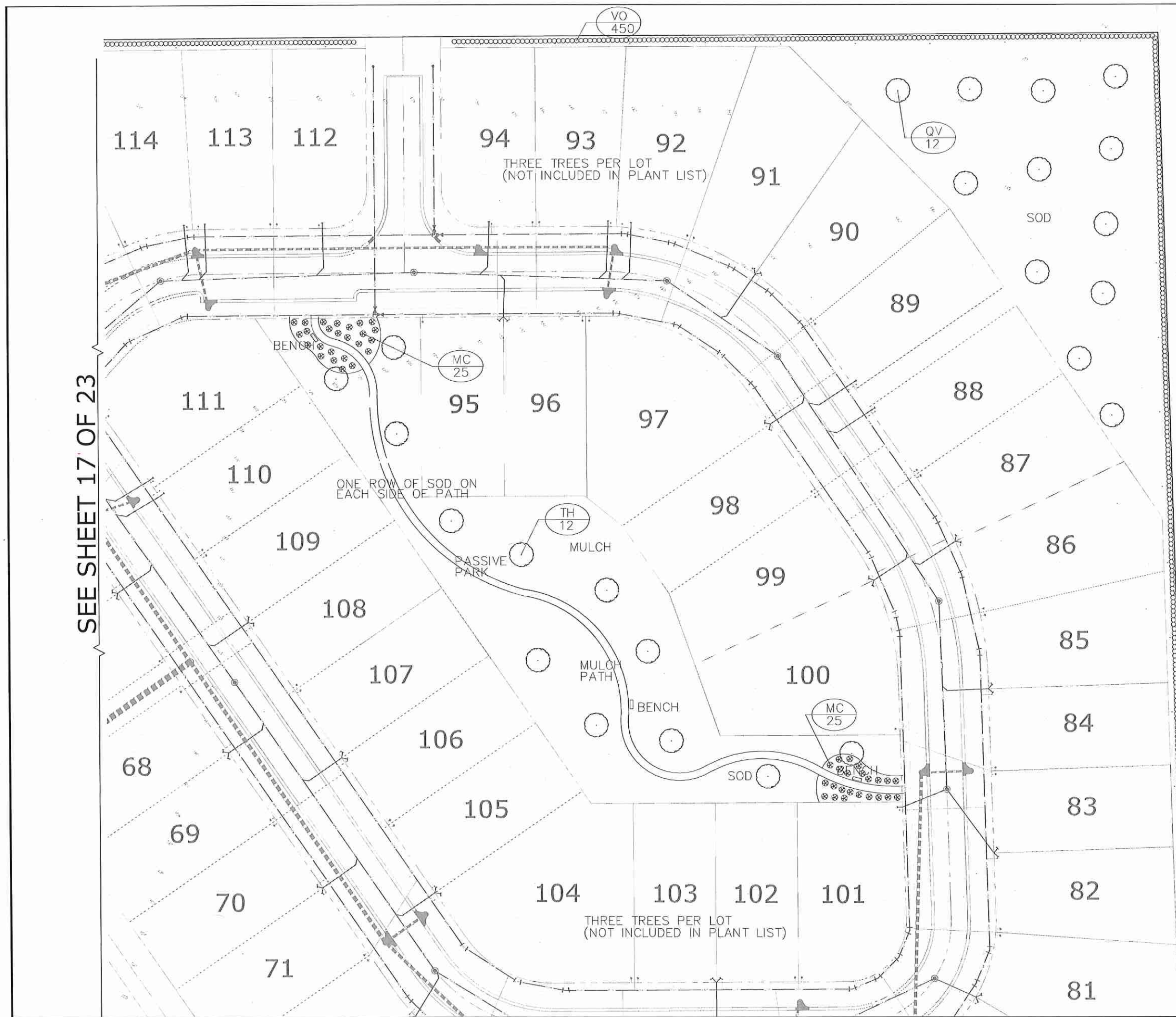
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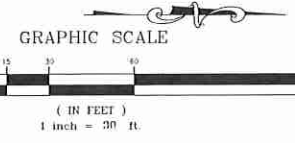
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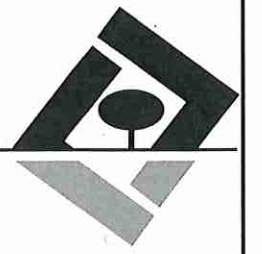
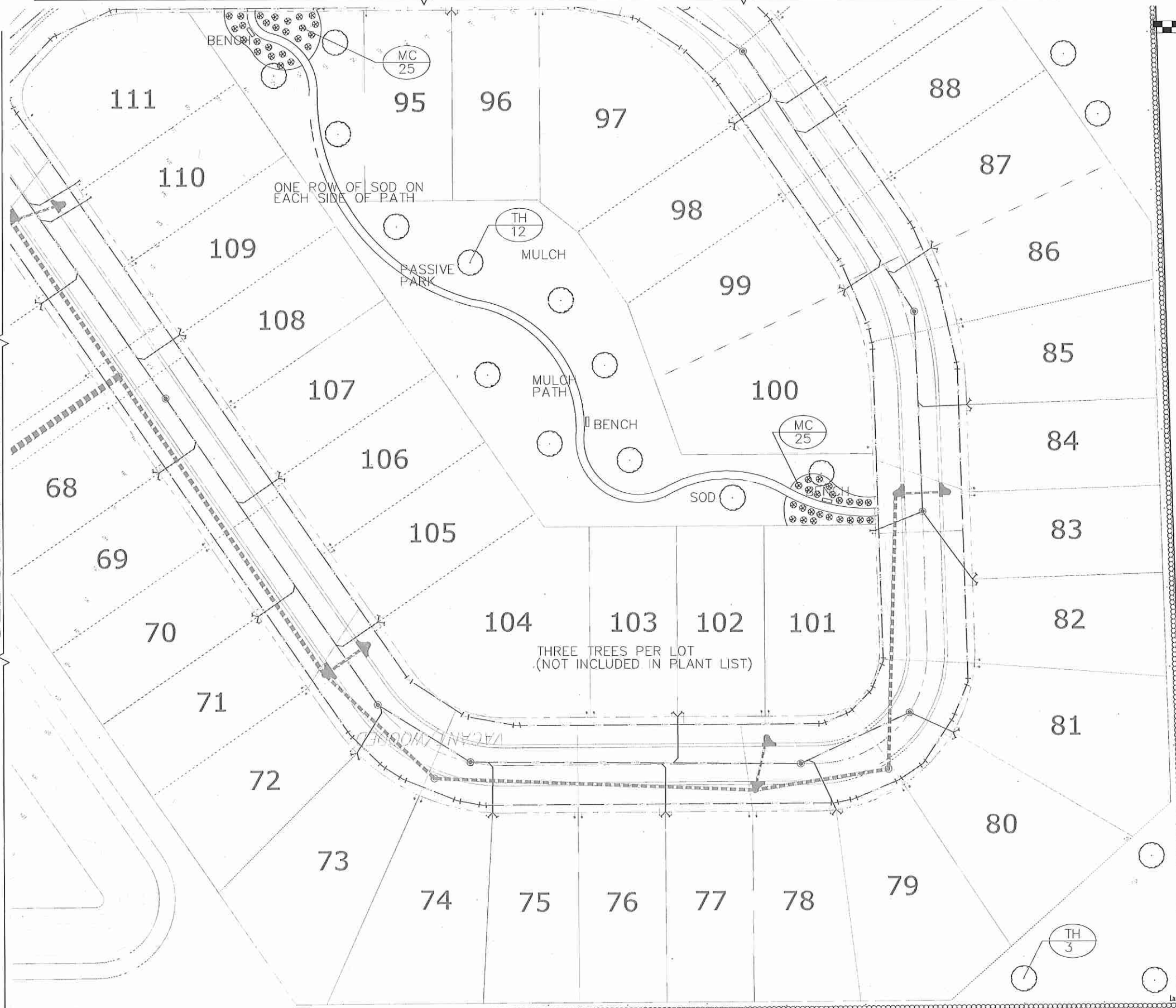


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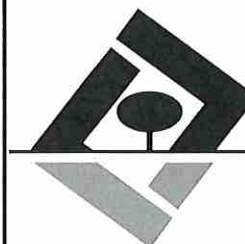
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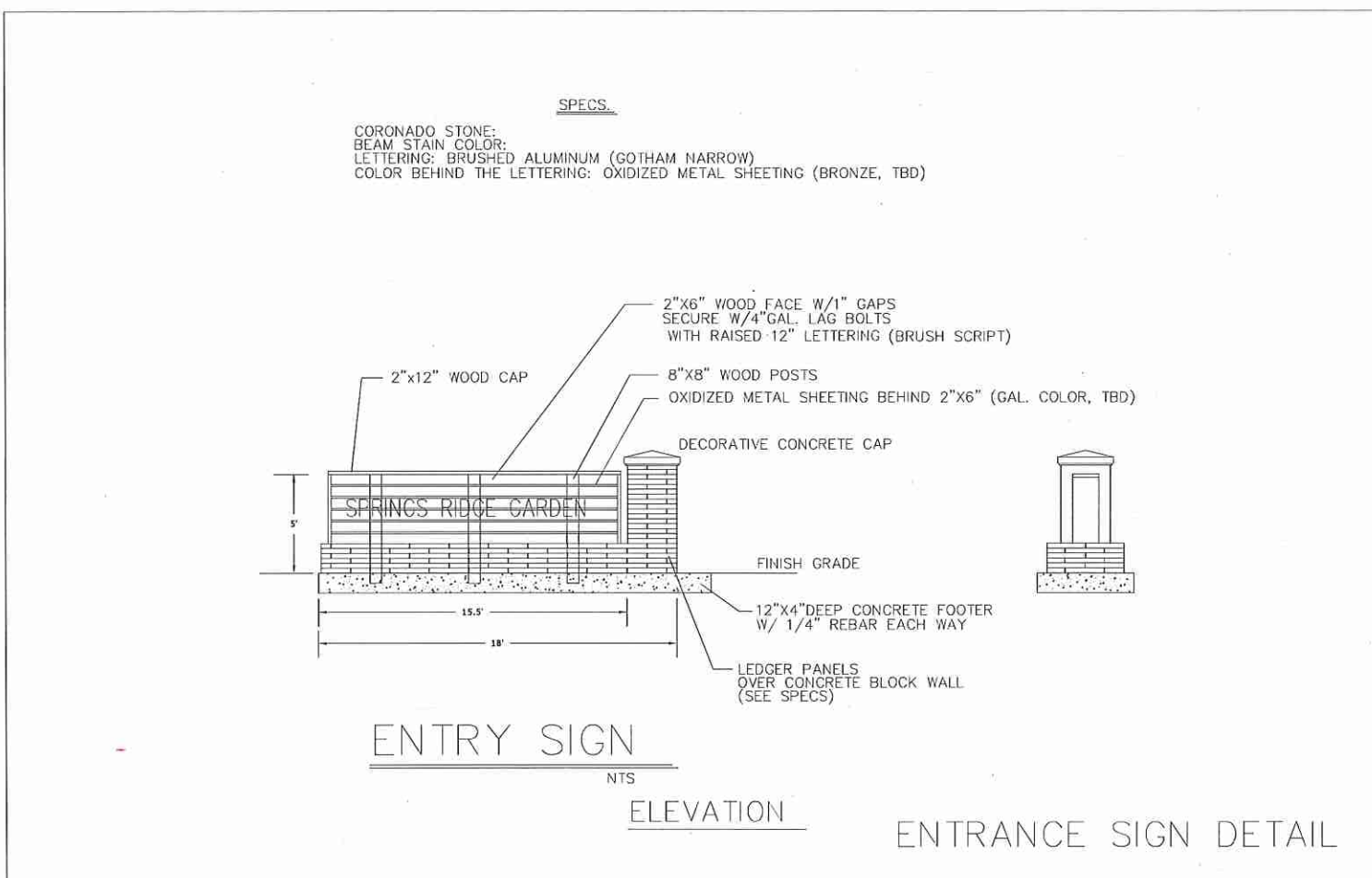
Landscape
Details

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GEORFFREY L. SUMMITT, P.E.
Date: December 6, 2018
FL Registration #28775
Certificate of Authorization #29665

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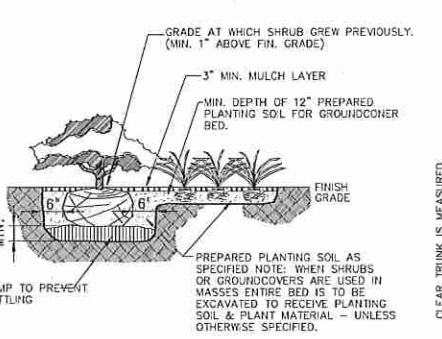
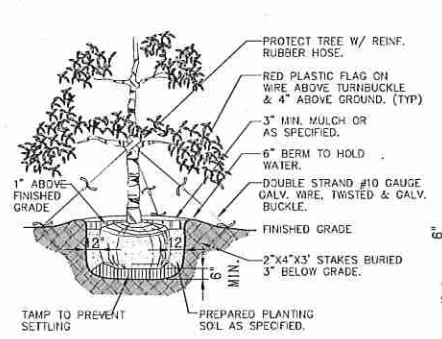
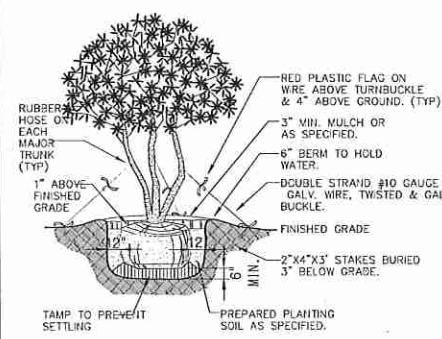


PLANT LIST

SYMBOL	BOTANICAL NAME (COMMON NAME)	MINIMUM SIZE/SPACING	DROUGHT TOLERANCE	NATIVE FLORIDA	QUANTITY
QV	QUERCUS VIRGINIANA (LIVE OAK)	8" MIN. HT. 2.5" CAL. 4'-5" MIN. SPREAD.	YES	YES	29
TH	TABEBUIA HETEROPHYLLA (PINK TRUMPET TREE)	8" MIN. HT. 2.5" CAL. 4'-5" MIN. SPREAD.	YES	NO	31
PE	PINUS ELLIOTTII (SLASH PINE)	7'-8" MIN. HT. 2" CAL. 3'-4" MIN. SPREAD.	YES	NO	9
SR	SYAGRUS ROMANZOFFIANA (QUEEN PALM)	10' CLEAR TRUNK.	NO	NO	5
ED	ELAEOCARPUS DECIPENS (JAPANESE BLUEBERRY)	4'-5'; 15 GAL. 4' OC	YES	NO	100
CA	CRINUM ASIATICUM (CRINUM LILY)	3'X3'; LERIO	YES	NO	6
VS	VIBURNUM SUSPENSUM (SANDANKWA)	24" MIN. HT. 24" SPREAD 7 GAL. 30" O.C.	YES	NO	125
VO	VIBURNUM ODORATISSIMUM (SWEET VIBURNUM)	30" MIN. HT. 24" MIN. SPREAD 7 GAL. 30" O.C.	YES	NO	2575
DE	DURANTA ERECTA (GOLD MOUND)	24" MIN. HT. 24" SPREAD 7 GAL. 30" O.C.	YES	NO	60
MC	MUHLENBERGIA CAPILLARIS (MUHLY GRASS)	24" MIN. HT. 24" SPREAD 7 GAL. 30" O.C.	YES	NO	211
TA	TRACHELOSPERMUM ASIATICUM (SNOWCAP)	8"-10" MIN. HT. 1 GAL. 24" O.C.	YES	NO	500
LEG	LIRIOPE EVERGREEN (EMERALD GODDESS)	8"-10" MIN. HT. 1 GAL. 24" O.C.	YES	NO	300
BAHIA SOD	QUANTITY TO BE CALCULATED BY CONTRACTOR		YES	YES	

PLANT SYMBOL PLANT QUANTITY

NOTE:
WHERE GALLON REFERENCES MAY CONFLICT WITH HEIGHT/SPREAD AND CALIPER MEASUREMENTS, THE HEIGHT/SPREAD AND CALIPER MEASUREMENTS SHALL GOVERN.



GENERAL LANDSCAPE NOTES

- ALL PLANTS TO BE FLORIDA NO. 1, OR BETTER AS OUTLINED UNDER "GRADES AND STANDARDS FOR NURSERY PLANTS, PART I, 1983 AND PART II, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA, AND ANY AMENDMENTS THERETO.
- ALL TREES AND PLANT MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS DESCRIBED IN THE STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF FORESTRY, "TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS", OCTOBER, 1980.
- THE LANDSCAPE CONTRACTOR (CONTRACTED BY OWNER, N.I.C.) SHALL BE RESPONSIBLE FOR ALL MATERIALS AND ALL WORK AS CALLED FOR ON THE LANDSCAPE PLANS. THE LIST OF PLANT QUANTITIES ACCOMPANYING THE PLANS SHALL BE USED AS A GUIDE ONLY. IF A VARIATION OCCURS BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL CONTROL.
- ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED USING A SOIL MIXTURE PREPARED ACCORDINGLY (2/3 EXISTING SOIL, 1/3 PEAT).
- THE LANDSCAPE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRILLING THROUGH ANY COMPACTED FILL TO NATIVE SOIL SHALL BE ACCOMPLISHED TO AND DRAINAGE.
- ALL PLANT BEDS AND TREE WATERING BASINS SHALL BE TOP DRESSED WITH THREE INCHES (3") OF FINE BARK MULCH
- NO TREES SHALL BE PLANTED CLOSER THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT TO ALLOW ADEQUATE TREE TRUNK PROTECTION.
- LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIAL.
- ALL LAWN AREAS TO RECEIVE SOD SHALL BE DISKED FOUR(4) TO SIX(6) INCHES AND DRAGGED TO ESTABLISH A LEVEL FINISH GRADE. ALL DEBRIS TO BE REMOVED FROM THE SITE.
- SOD SHALL BE FREE OF WEEDS AND PESTS. IT SHALL BE LAID EVENLY AND ROLLED, WITH TIGHT FITTING JOINTS. THE SOD SHALL CONTAIN MOST SOIL WHICH DOES NOT FALL APART OR TEAR WHEN LIFTED. ALL AREAS NOT PAVED OR OTHERWISE LANDSCAPED SHALL BE SODED. SOD SHALL BE ARGENTINE BAHIA OR EQUAL.
- ALL LANDSCAPE AREAS TO RECEIVE SOD SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM, WITH 100% COVERAGE, BACKFLOW PREVENTOR, & RAIN SENSOR DEVICE.
- DIRECT SPRAY HEADS AWAY FROM ANY NATURAL AREAS AND PAVED SURFACES.
- THE TREE CALIPER OF ALL CANOPY TREES SPECIFIED ON THE PLANT LIST SHALL BE AT LEAST THREE (2.5) INCHES IN DIAMETER WHEN MEASURED AT SIX (6) INCHES ABOVE GRADE.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.

Ravensdale Planning & Design
Land Planning • Landscape Architecture • Project Management • Expert Witness
3208 C East Colonial Drive #291 Orlando, Florida 32803
(407) 617-1213



Diana - 1851
Coastal
Scale: 1/8" = 1'-0" (1:11.17)

Toll Brothers
Orlando Division

KELLY PARK
Apopka, Florida



October 26, 2018 | SF180045.00



Diana - 1851
Farmhouse
Scale: 1/8" = 1'-0" (1:11.17)

Toll Brothers
Orlando Division

KELLY PARK
Apopka, Florida



October 26, 2018 | SF180045.00



Diana - 1851
Craftsman
Scale: 1/8" = 1'-0" (1:11.17)

Toll Brothers
Orlando Division

KELLY PARK
Apopka, Florida



October 26, 2018 | SF180045.00



Elizabeth - 3011
Coastal
Scale: 1/8" = 1'-0" (1:11.17)

Toll Brothers
Orlando Division

KELLY PARK
Apopka, Florida



October 26, 2018 | SF180045.00



Elizabeth - 3011
Farmhouse
Scale: 1/8" = 1'-0" (1:11.17)

Toll Brothers
Orlando Division

KELLY PARK
Apopka, Florida



October 26, 2018 | SF180045.00



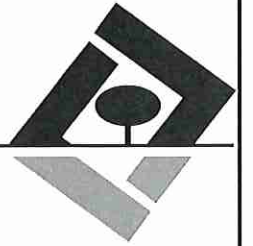
Elizabeth - 3011
Craftsman
Scale: 1/8" = 1'-0" (1:11.17)

Toll Brothers
Orlando Division

KELLY PARK
Apopka, Florida



October 26, 2018 | SF180045.00



G L SUMMITT
ENGINEERING INC.
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com



Landco Development Company
P.O. Box 379
West Dundee, IL 60118
847-494-0775

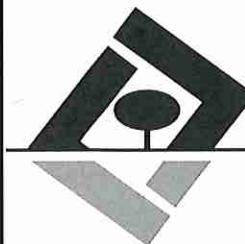
Springs Ridge
Gardens Subdivision
City of Apopka, Florida
Final Master Plan/Preliminary
Development Plan

Architectural
Elevations 1

Plans not valid unless Signed,
Dated and Sealed below.
GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
FL Registration #58775
Certificate of Authorization #29665

NO.	DATE	DESCRIPTION
1	10/26/18	Initial Design
2	10/26/18	Revisions
3	10/26/18	Revisions
4	10/26/18	Revisions
5	10/26/18	Revisions
6	10/26/18	Revisions
7	10/26/18	Revisions
8	10/26/18	Revisions
9	10/26/18	Revisions
10	10/26/18	Revisions

SHEET NUMBER
21 OF 23



G L SUMMITT
 ENGINEERING INC
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 3667 Simonton Place
 Lake Mary, Florida 32746
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Springs Ridge
 Gardens Subdivision
 City of Apopka, Florida

Final Master Plan/Preliminary
 Development Plan

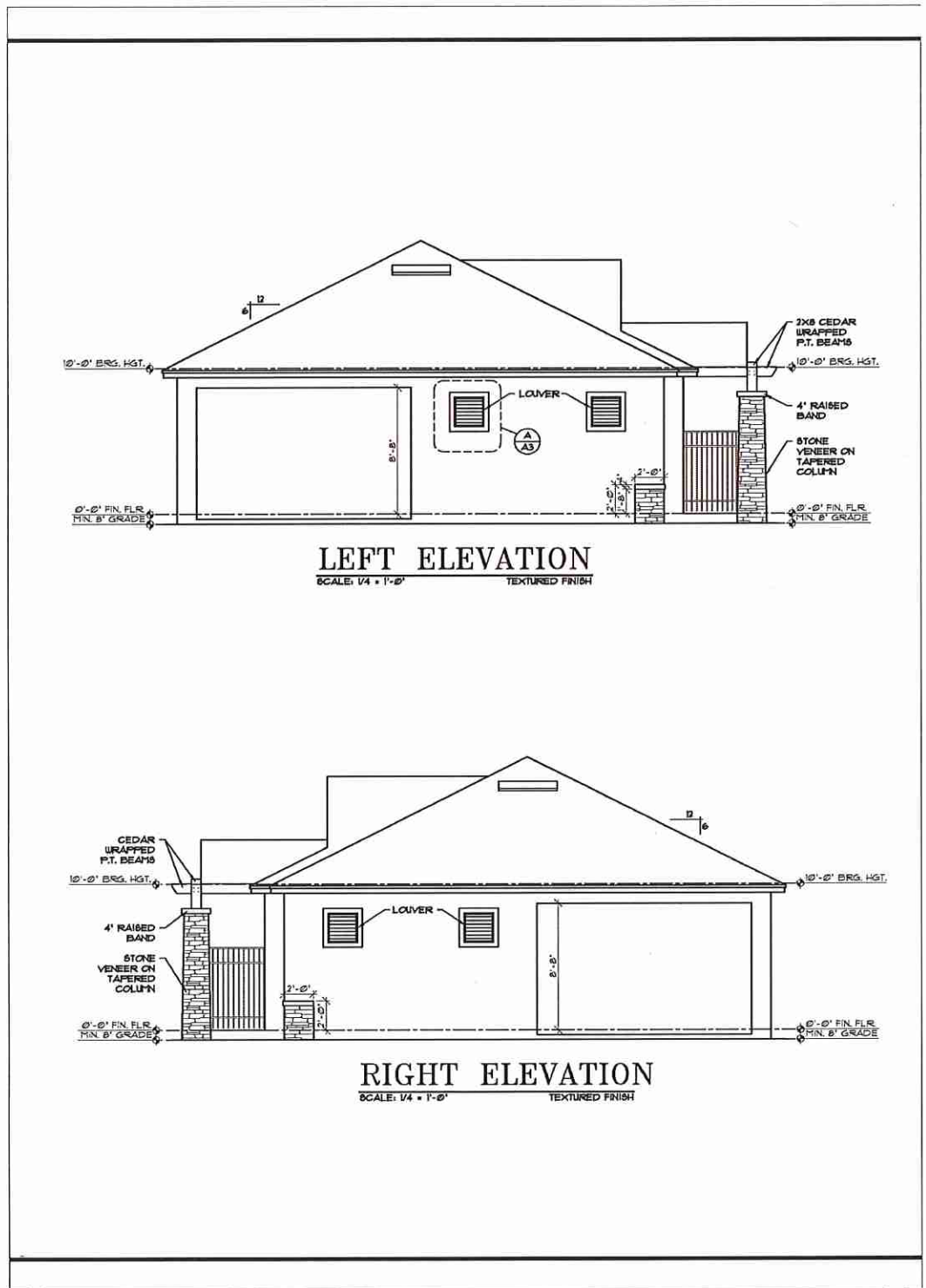
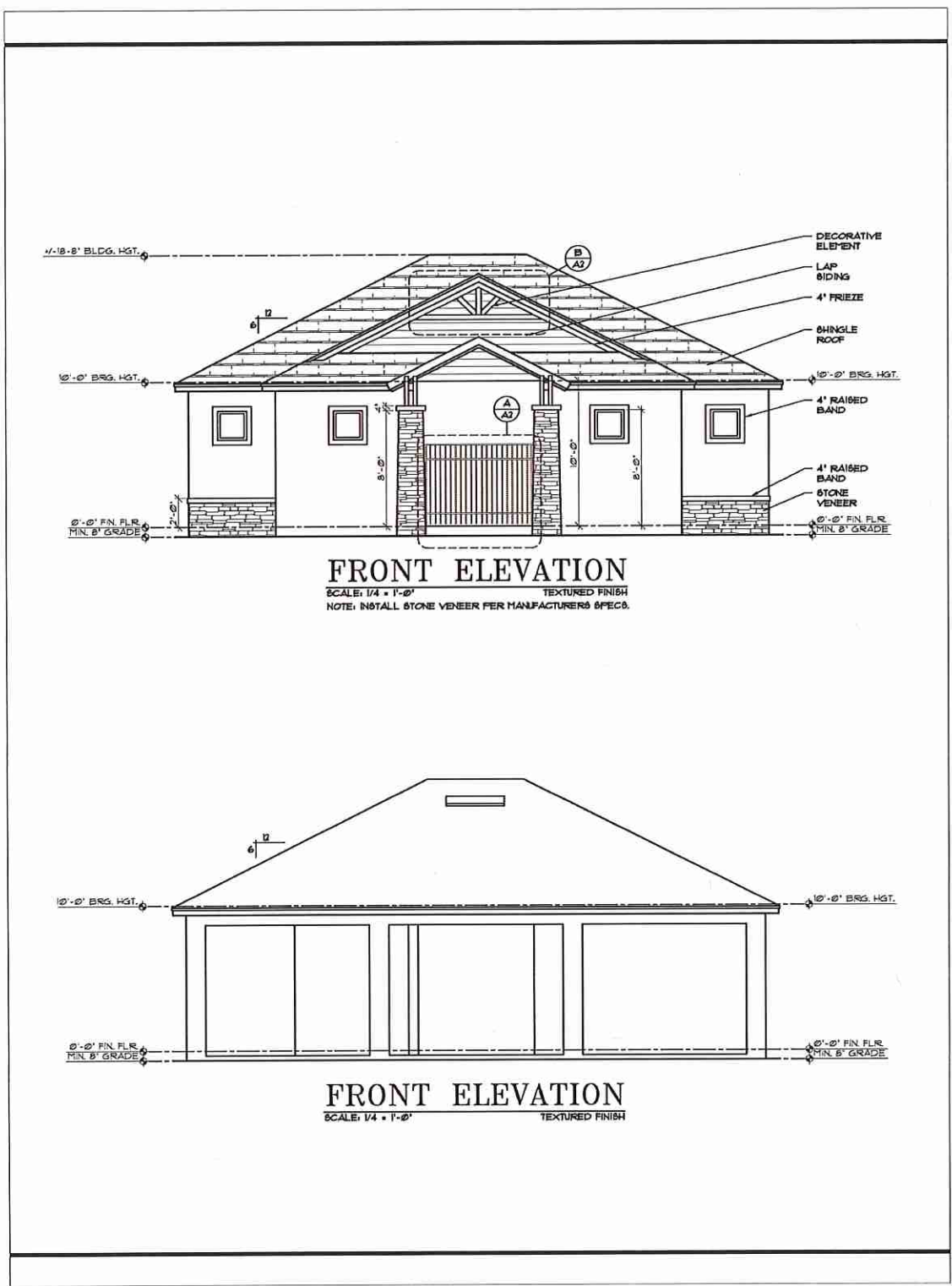
Architectural
 Elevations 2

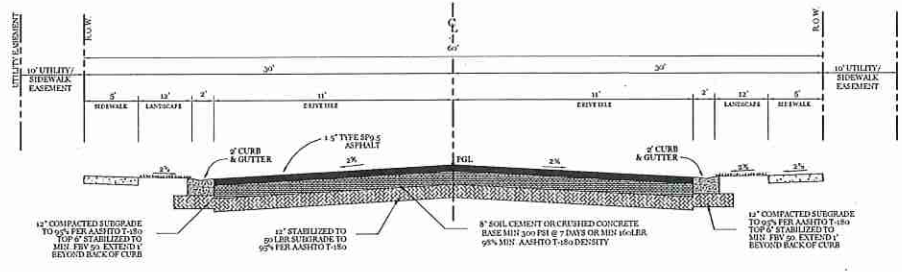
Plans not valid unless Signed,
 Dated and Sealed below.

GEORFREY L. SUMMITT, P.E.
 Date: December 6, 2018
 FL Registration #458775
 Certificate of Authorization #29665

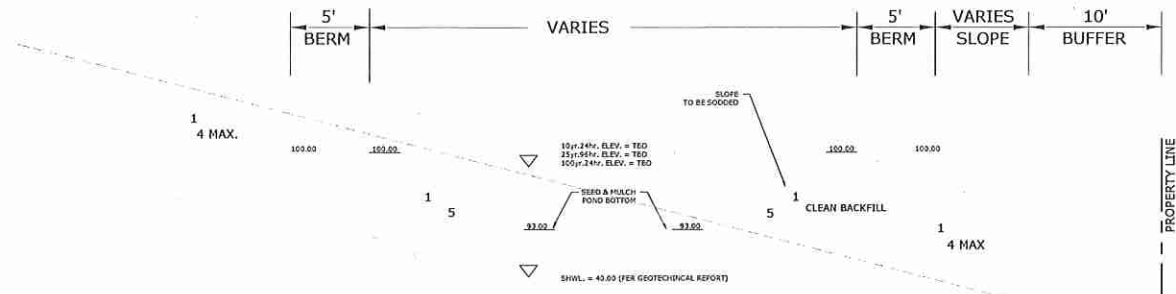
Revisions		
NO.	DATE	DESCRIPTION
1	12/06/18	ISSUED FOR PERMIT
2		
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9		
10		

SHEET NUMBER
 22 OF 23

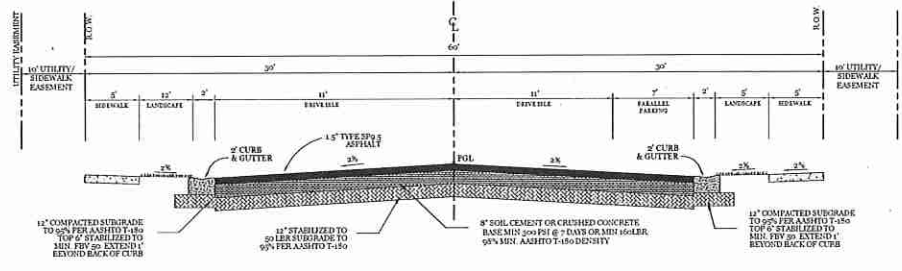




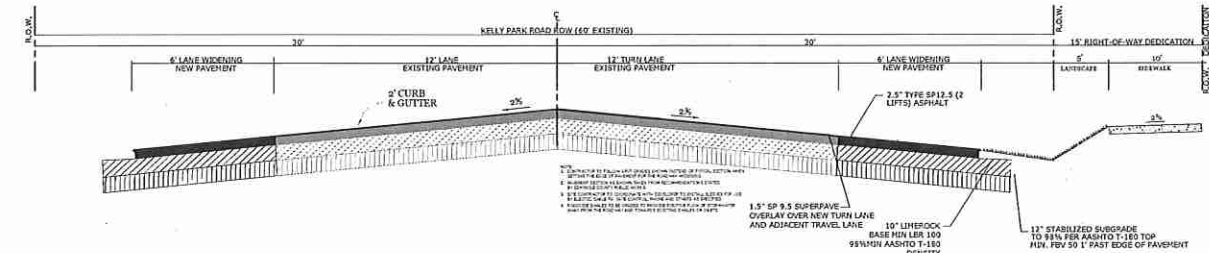
100 TYPICAL 60' ROW ROADWAY CROSS SECTION DETAIL
- N.T.S.



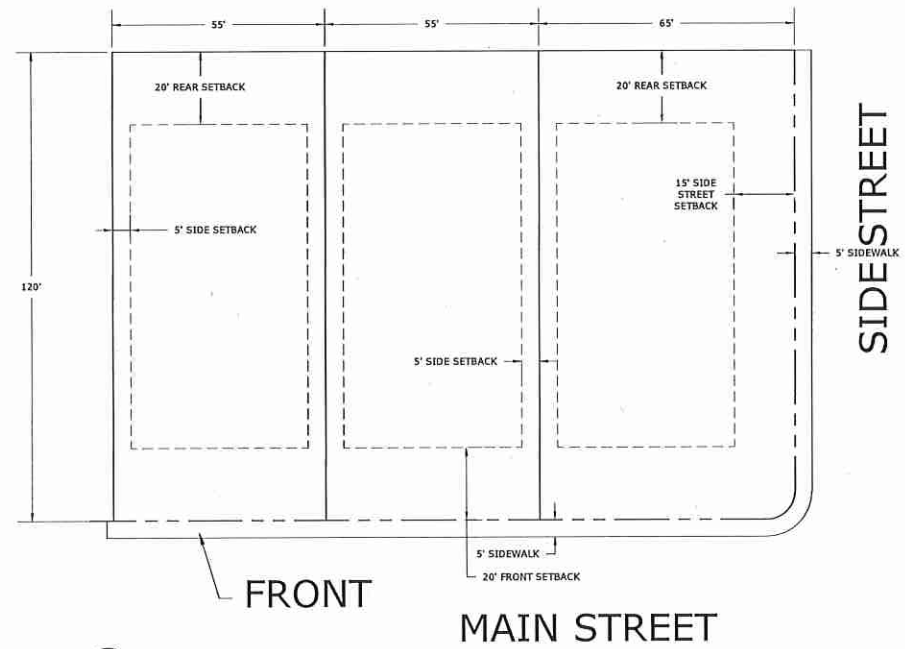
103 DRY RETENTION POND CROSS SECTION
- N.T.S.



101 TYPICAL 60' ROW ON-STREET ROADWAY CROSS SECTION DETAIL
- N.T.S.

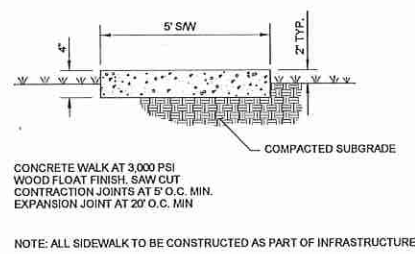


104 TYPICAL 'KELLY PARK ROAD' ROADWAY CROSS SECTION DETAIL
- N.T.S.

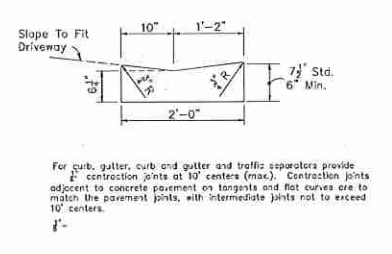


102 TYPICAL LOT LAYOUT PLAN
- N.T.S.

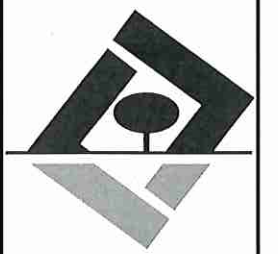
Lot Area Table				Lot Area Table			
Lot Number	Gross Area (sqft)	Gross Area (ac.)	Lot Width (ft)	Lot Number	Gross Area (sqft)	Gross Area (ac.)	Lot Width (ft)
1	6,600.00	0.15	55	63	8,420.46	0.19	55
2	6,600.00	0.15	55	64	8,419.25	0.19	55
3	6,600.00	0.15	55	65	7,666.33	0.18	55
4	6,600.00	0.15	55	66	6,600.00	0.15	55
5	6,600.00	0.15	55	67	6,600.00	0.15	55
6	6,600.00	0.15	55	68	6,600.00	0.15	55
7	6,600.00	0.15	55	69	6,600.00	0.15	55
8	6,600.00	0.15	55	70	6,600.00	0.15	55
9	6,600.00	0.15	55	71	6,600.00	0.15	55
10	6,600.00	0.15	55	72	7,540.57	0.17	55
11	6,600.00	0.15	55	73	10,091.74	0.23	55
12	6,600.00	0.15	55	74	9,211.14	0.21	55
13	6,600.00	0.15	55	75	6,875.66	0.16	55
14	6,600.00	0.15	55	76	6,600.00	0.15	55
15	6,600.00	0.15	55	77	6,600.00	0.15	55
16	6,600.00	0.15	55	78	7,192.35	0.17	55
17	6,600.00	0.15	55	79	9,579.54	0.22	55
18	6,600.00	0.15	55	80	9,075.34	0.21	55
19	6,600.00	0.15	55	81	9,987.59	0.23	55
20	7,765.44	0.18	55	82	7,108.51	0.16	55
21	8,325.40	0.19	55	83	6,600.00	0.15	55
22	6,600.00	0.15	55	84	6,600.00	0.15	55
23	6,600.00	0.15	55	85	7,640.23	0.18	55
24	6,600.00	0.15	55	86	8,409.71	0.19	55
25	6,600.00	0.15	55	87	7,464.37	0.17	55
26	6,600.00	0.15	55	88	6,600.00	0.15	55
27	6,600.00	0.15	55	89	7,028.47	0.16	55
28	6,600.00	0.15	55	90	8,030.74	0.18	55
29	6,600.00	0.15	55	91	9,260.86	0.21	55
30	6,600.00	0.15	55	92	8,510.53	0.20	55
31	6,600.00	0.15	55	93	6,893.86	0.16	55
32	6,600.00	0.15	55	94	7,365.87	0.17	55
33	6,600.00	0.15	55	95	6,600.00	0.15	55
34	6,600.00	0.15	55	96	6,600.00	0.15	55
35	6,600.00	0.15	55	97	11,249.66	0.26	55
36	6,600.00	0.15	55	98	6,611.05	0.15	55
37	6,600.00	0.15	55	99	7,622.62	0.17	55
38	6,600.00	0.15	55	100	9,968.99	0.23	55
39	6,600.00	0.15	55	101	8,262.84	0.19	55
40	8,265.87	0.19	70	102	6,600.00	0.15	55
41	8,265.87	0.19	70	103	6,600.00	0.15	55
42	6,600.00	0.15	55	104	12,025.67	0.28	55
43	6,600.00	0.15	55	105	6,600.00	0.15	55
44	6,600.00	0.15	55	106	6,600.00	0.15	55
45	6,600.00	0.15	55	107	6,600.00	0.15	55
46	6,600.00	0.15	55	108	6,600.00	0.15	55
47	6,600.00	0.15	55	109	6,600.00	0.15	55
48	6,600.00	0.15	55	110	6,600.00	0.15	55
49	6,600.00	0.15	55	111	9,203.80	0.21	55
50	6,600.00	0.15	55	112	7,365.87	0.17	55
51	6,600.00	0.15	55	113	6,861.65	0.16	55
52	6,600.00	0.15	55	114	9,194.24	0.21	55
53	6,600.00	0.15	55	115	17,525.05	0.40	55
54	6,600.00	0.15	55	116	8,723.18	0.20	55
55	6,600.00	0.15	55	117	7,637.80	0.18	55
56	6,600.00	0.15	55	118	6,816.71	0.16	55
57	6,600.00	0.15	55	119	6,894.64	0.16	55
58	6,600.00	0.15	55	120	7,703.36	0.18	55
59	7,434.02	0.17	55	121	8,060.81	0.19	55
60	8,790.44	0.20	55	122	7,322.68	0.17	55
61	7,330.96	0.17	55	123	6,600.00	0.15	55
62	7,536.50	0.17	55	124	7,495.48	0.17	55



105 STANDARD SIDEWALK DETAIL
- N.T.S.



300M MIAMI CURB
- N.T.S.



G L SUMMITT
ENGINEERING INC.
Office: Lake Mary
3667 Simonton Place
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fax: 407-992-8650
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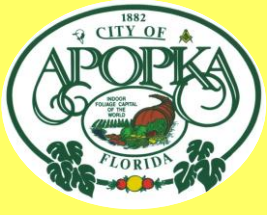
Springs Ridge
Gardens Subdivision
City of Apopka, Florida
Final Master Plan/Preliminary
Development Plan

General Details 1

Plans not valid unless signed,
Dated and Sealed below.
GEOFFREY L. SUMMITT, P.E.
Date: December 6, 2018
FL Registration #48775
Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1		
2		
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SHEET NUMBER
23 OF 23



CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Variance

MEETING OF: February 12, 2019
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Application
Plot Plan for screen room

SUBJECT: VARIANCE – JOSE PEREZ - 2437 DODGE COURT

REQUEST: APPROVE A VARIANCE OF THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE VII, SECTION 7.01.03(A), TO REDUCE THE REAR YARD SETBACK REQUIREMENT FROM TEN FEET TO SIX FEET.

SUMMARY:

OWNERS/APPLICANTS: Jose Guadalupe Perez-Reyes and Lisa Rose Mozzillo
LOCATION: 2437 Dodge Court (Piedmont Lakes Estates Subdivision)
PARCEL ID #: 13-21-28-6901-00-610
FUTURE LAND USE: Residential Low
ZONING: R-1A (Residential Single-Family District)
EXISTING USE: Single Family Residential
TRACT SIZE: 0.22 +/- acre

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

VARIANCE REQUEST SUMMARY: Applicant is requesting a variance from Section 7.01.03(A) – Attached screen room, screen enclosure, and/or decks shall be restricted to the rear yard as accessory structure in accordance with the following:

A. Rear and side yard setback shall be a minimum of ten feet, measured from the rear and side lot lines to the screen room or any portion thereof.

- *Applicant Request* - Allow reduction of rear yard accessory setback requirement from ten feet to six feet.

VARIANCE PROCESS: Per Land Development Code Section 10.02.00, the Planning Commission must follow two steps to approve a variance:

Step 1: Section 10.02.02.A, Limitations on Granting Variances. The Planning Commission “shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” This is known as a physical hardship. If the Planning Commission makes this determination, then it must take action on the seven variance criteria set forth in Section 10.02.02.B.

Step 2: Section 10.02.02.B, Required Findings. Once a “physical hardship” has been determined, the Planning Commission shall not vary from the requirements of any provision of the LDC unless it makes a positive finding, based on substantial competent evidence, on the seven variance criteria.

APPLICABLE CITY CODES:

1. Section 7.01.03(A) – Attached screen room, screen enclosure, and/or decks shall be restricted to the rear yard as accessory structure. Rear and side yard setback shall be a minimum of ten feet, measured from the rear and side lot lines to the screen room or any portion thereof.

Variance Hardship Determination (Step 1): The first step of the variance determination process is to determine if a hardship occurs pursuant to Section 10.02.02.A, “whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.”

Seven Variance Criteria Findings (Step 2): If the Planning Commission accepts the hardship in Paragraph A. above, the second step is to make a finding on the seven criteria below. The Planning Commission must make a positive finding, based on substantial competent evidence, on each of the following seven criteria:

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant’s Response: Screen room only.

Staff’s Response: No objection. The lot has an odd shape that appears to have required the front of the house to be set back 35 feet from the front property line, leaving less room in the

rear yard. The screen room will not encroach is not any utility or drainage easement.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: None.

Staff's Response: No objection.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: None

Staff's Response: No objection.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: Not that we know of.

Staff's Response: City staff does not hold professional expertise to address property values.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: Correct.

Staff Response: No objection.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: No. The house is set back from the property 22 feet from the back property line.

Staff Response: No objection.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: Yes, it is the minimum amount needed to get appropriate space to have wheelchair access, where a 48"-wide door is required.

Staff Response: No objection.

RECOMMENDATION ACTION:

Planning Commission Role: Based on the information provided by the applicant at the hearing for the variance requested, Planning Commission must first determine that sufficient information indicates “whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” If so, then the Planning Commission must find that sufficient information occurs to accept each of the seven variance criteria.

The Planning Commission has the authority to approve, deny, or approve with conditions the requested variance.

Action to be taken:

1. Determine that sufficient information indicates a need for the proposed variance arising out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the property.
2. Is a hardship is found, then to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and to approve, deny, or approve with conditions the requested variance.

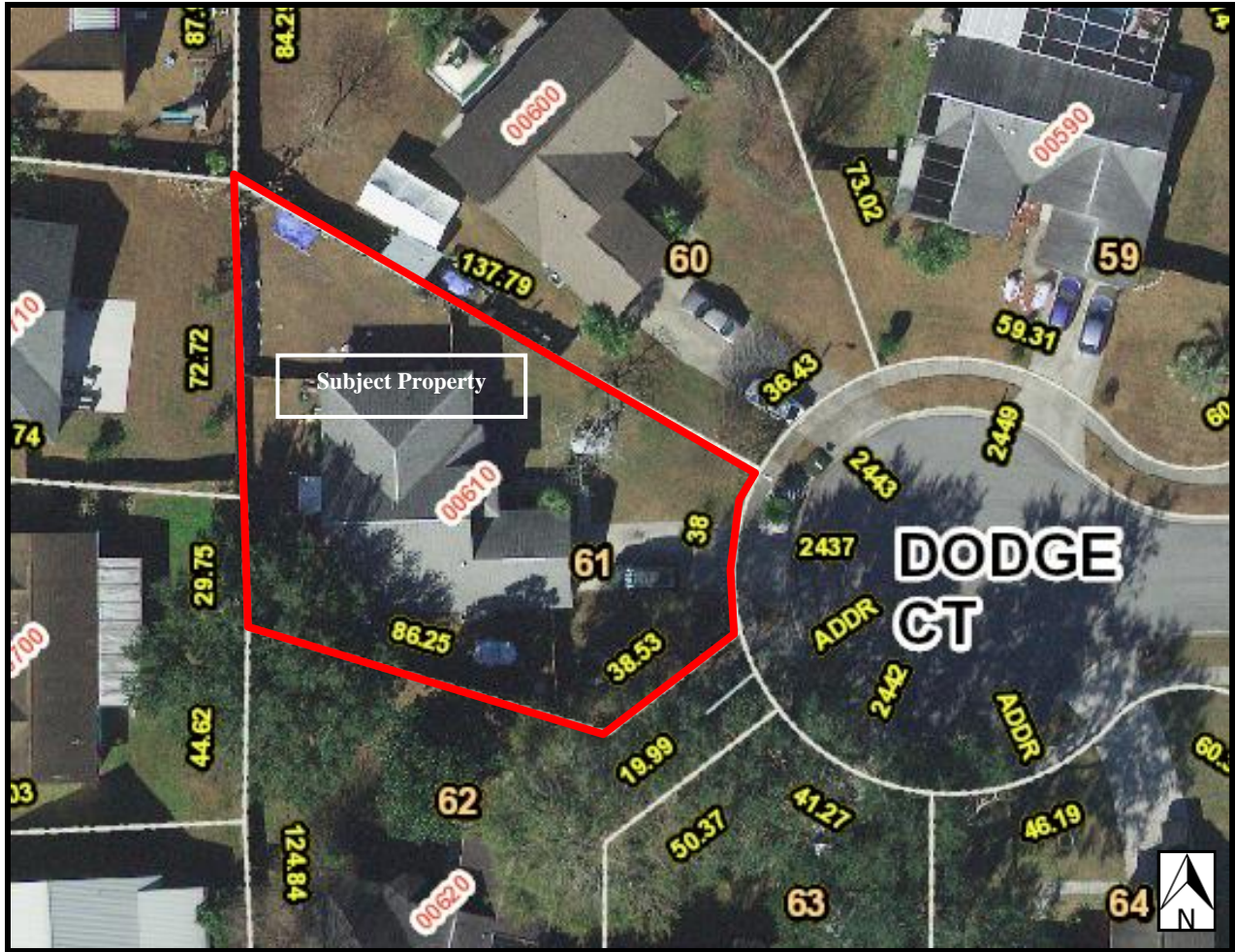
Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting

Owner: Jose Guadalupe Perez-Reyes and Lisa Rose Mozzillo
Applicant: Jose Perez
Parcel ID Nos.: 13-21-28-6901-00-610
Address: 2437 Dodge Court
Total area: 0.22 acre(s) +/-

VICINITY MAP



AERIAL MAP





City of Apopka
 Community Development Department
 120 E. Main Street, 2nd Floor, Apopka, Florida 32703
 407-703-1739 - Phone -- 407-703-1791 - Fax

- FOR OFFICIAL USE ONLY -	
DATE SUBMITTED:	11/28/18
FEE PAID: \$	150.00
CHECK #:	
RECEIPT #:	

APPLICATION FOR VARIANCE

PUBLIC HEARING	
Check Applicable Request	
<input type="checkbox"/>	Variance
<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Other

Owner(s) Information							
Name:	Jose G. Perez Reyes LISA Rose MOZZILLO						
Street Address:	2437 Dodge Ct.						
City:	Apopka			State:	FLA	Zip:	32703
Phone:	407-301-9840	Fax:		E-mail:	Perezj045@outlook.com		
Petitioner Information							
Name:	JOSE G. PEREZ REYES						
Street Address:	2437 Dodge Ct.						
City:	Apopka			State:	FL	Zip:	32703
Phone:	(407) 301-9840	Fax:		E-mail:	PEREJ045@OUTLOOK.COM		
Property Information							
Parcel I.D. #(s):	13-21-28-0901-00-010						
Existing Land Use:	RESIDENTIAL			Existing Zoning:	single family RESIDENTIAL		
Existing Use:	RESIDENTIAL		Proposed Use:	RESIDENTIAL			
Legal Description:	LOT 61 Piedmont Lake Estates						
Identify Abutting Roads:	country wind / Dodge ct.						
Size (acres):	102' X 137' = 13,974 sqft.		Number of Lots:	1			

VAR 19-01

OWNER(S) NAME: JOSE G. PEREZ

CERTIFICATION AND SIGNATURE

The owner(s) of the property **MUST** provide proof of ownership by deed or by submitting a letter of authorization (power of attorney) with deed attached if the application is submitted by any applicant other than the owner.

OWNER'S AUTHORIZATION IS REQUIRED AT THE TIME APPLICATION IS SUBMITTED. THIS IS A REQUIREMENT BY THE PLANNING COMMISSION.

I/We hereby certify that, to the best of my (our) knowledge and belief, all information contained herein and all information supplied with this application is true and accurate.

I/We, the undersigned owner(s) for the Planning Commission action on the above described property in the City of Apopka, Florida, do hereby agree to Indemnify and Hold Harmless the City of Apopka, Florida, its elected officials, officers, agents, and assigns for any and all damages, attorney fees and costs incurred by said City in any instance in which the City must expend funds and/or defend its decisions regarding the granting of the above referenced application.

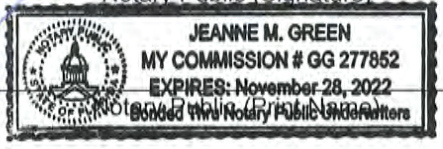
By: Jose Guadalupe Perez Reyes
Owner(s) of Record (Signature)
By: Lisa Rose Mozzillo
Owner(s) of Record (Signature)
LISA ROSE MOZZILLO

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me on this 28th day of November, 2018, by (a) Jose Guadalupe Perez-Reyes / (b) Lisa Rose Mozzillo who is personally known to me or has produced (a) FDL P626-427-59-428-0 / (b) FDL M240-536-64-586-0 as identification and who did / did not (circle one) take an oath.

Jeanne M. Green
Notary Public (Signature)

My Commission Expires: 11-28-2022



OWNER(S) NAME: JOSE C. PEREZ REYES
LISA ROSE MUZZILLO

ADJACENT PROPERTY:					
Direction	Jurisdiction Circle One		Land Use	Zoning	Present Use
	City	County			
North	City	County	RESIDENTIAL HOME		
	City	County			
East	City	County	Dodge Ct.		
	City	County			
South	City	County	RESIDENTIAL HOME		
	City	County			
West	City	County	RESIDENTIAL HOME		
	City	County			
Date of last request for Public Hearing before the Planning Commission:					
Action Requested:					
Action Taken:					
TYPE OF VARIANCE OR REQUEST:					
This is a request for:		Reduction of REAR SETBACK FROM 10' TO 6'			
		TOO INSTALL SCREEN ROOM WITH ALUMINUM INSULATED ROOF SYSTEM.			
As set forth in the Land Development Code, Section(s):					
Hardship Determination:		Provide writted response to the seven criteria provided			
Additional Information:					

JUSE GONZALEZ
LISA R. MOZZILLI

ATTACHMENT "A"

Applicant's Demonstration of a Hardship
Variance Application

Pursuant to Section 10.02.02.B. of the Apopka Land Development Code, an applicant requesting a variance must address in writing the seven criteria listed below.

Required findings. The [Planning Commission] shall not vary the requirements of any provision of this code unless the board makes a positive finding, based on substantial competent evidence, on each of the following:

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner. *SCREEN ROOM ONLY !!!*
2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site. *NONE*
3. The proposed variance will not substantially increase congestion on surrounding public streets. *NONE*
4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site. *NO THAT WE KNOW OF !!*
5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code. *CORRECT !!!*
6. Special conditions and circumstances do not result from the actions of the applicant. *NO. HOUSE SET WAY BACK ON PROPERTY, 22' FROM HOME TOO BACK PROPERTY LINE !!!*
7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public. ** YES, ITS THE MINIMUM AMOUNT NEEDED TOO
GET APPROPRIATE SPACE NEED HAVE WHEEL CHAIR
ACCESS !!! (48" ENTRY DOOR REQUIRED !!!)*

RETURN TO/THIS INSTRUMENT PREPARED BY:

Inspire Closing Services
420 Rouser Rd., Suite 500
Moon Township, PA 15108

This instrument prepared by:
Heather Butcher
Inspire Closing Services
420 Rouser Rd., Suite 500
Moon Township, PA 15108

DOC # 20180662775

11/13/2018 12:59 PM Page 1 of 3
Rec Fee: \$27.00
Deed Doc Tax: \$0.70
Mortgage Doc Tax: \$0.00
Intangible Tax: \$0.00
Phil Diamond, Comptroller
Orange County, FL
Ret To: SIMPLIFILE LC

WARRANTY DEED

PROPERTY PARCEL ID: 13-21-28-6901-00610
FILE NO: 227375

This Warranty Deed Made this 5 day of November, 2018,

by Jose Guadalupe Perez-Reyes who acquired title as Jose G. Perez Jr., an unmarried man and Lisa Rose Mozzillo, an unmarried woman, joint tenants with rights of survivorship hereinafter called the grantor, whose post office address is: 2437 DODGE CT, APOPKA FL, 32703 to Jose Guadalupe Perez-Reyes an unmarried man and Lisa Rose Mozzillo, an unmarried woman, joint tenants with rights of survivorship whose post office address is: 2437 DODGE CT, APOPKA FL, 32703 hereinafter called the grantee

WITNESSETH: That said grantor, for and in consideration of the sum of \$Ten and No/100 dollars, and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in ORANGE County, Florida, viz:

See Exhibit A attached hereto and made a part hereof

BEING the same premises which U.S. Bank Trust N.A. as Trustee for the LSF8 Master Participation trust in deed dated 10-14-2015 and recorded 10-19-2015 in the ORANGE County Recorder's Office in Deed Book Volume 11000, page 1174, granted and conveyed to Jose G. Perez Jr., an unmarried man and Lisa Rose Mozzillo, an unmarried woman, joint tenants with rights of survivorship, the Grantors herein.

This property is the homestead of the Grantor(s). TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

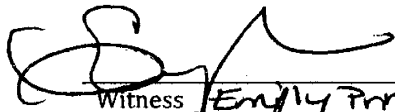
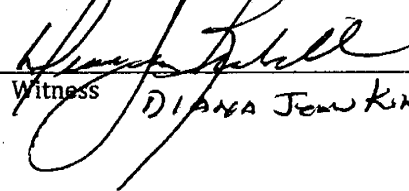
To Have and to Hold, the same in fee simple forever.


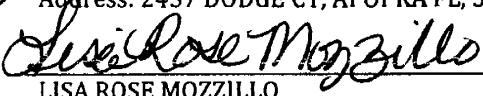
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to _____, reservations, restrictions and easements of record, if any.

(The terms "grantor" and "grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, Sealed and Delivered in Our Presence:


 Witness Emily Pringle

 Witness Diana Jean Kimball

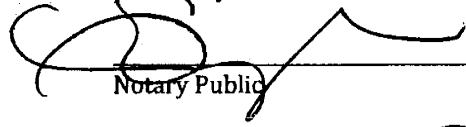

JOSE GUADALUPE PEREZ REYES
 Address: 2437 DODGE CT, AOPKA FL, 32703

LISA ROSE MOZZILLO
 Address: 2437 DODGE CT, AOPKA FL, 32703

 Address: 2437 DODGE CT, AOPKA FL, 32703

 Address: 2437 DODGE CT, AOPKA FL, 32703

STATE OF Florida
 COUNTY OF Orange

The foregoing instrument was acknowledged before me this 5 day of November 20 18 by Jose Guadalupe Perez-Reyes, Lisa Rose Mozzillo who is/are personally known to me or who has/have produced driver license(s) as identification.


 Notary Public

Printed Name: Emily Pringle
 My Commission expires: 3.17.2022



**Exhibit A
Legal Description**

All that certain property situate in Orange County, Florida, to wit:

Lot 61, Piedmont Lake Estates, according to the plat thereof as recorded in Plat Book 20, Pages 123, 124 and 125, public records of Orange County, Florida.

Being the same property as conveyed from US Bank Trust NA to Jose G. Perez Jr., an unmarried man, and Lisa Rose Mozzillo, an unmarried woman, joint tenants with rights of survivorship, as set forth in Deed Book 11000, Page 1174, dated 10/14/2015, recorded 10/19/2015, ORANGE County, FLORIDA.

13-21-28-6901-00610

SANDS SURVEYING & ENGINEERING

370 Waymont Court • Lake Mary, FL 32746 • Voice 407.688.7631 • Fax 407.688.7691 • sandsurveying@gmail.com

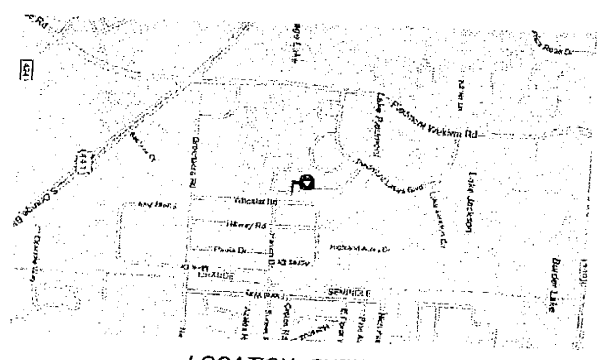
Legal Description

Lot 61, **PIEDMONT LAKE ESTATES**, according to the plat thereof, as recorded in Plat Book 20, Page(s) 123 through 125, of the Public Records of Orange County, FL.

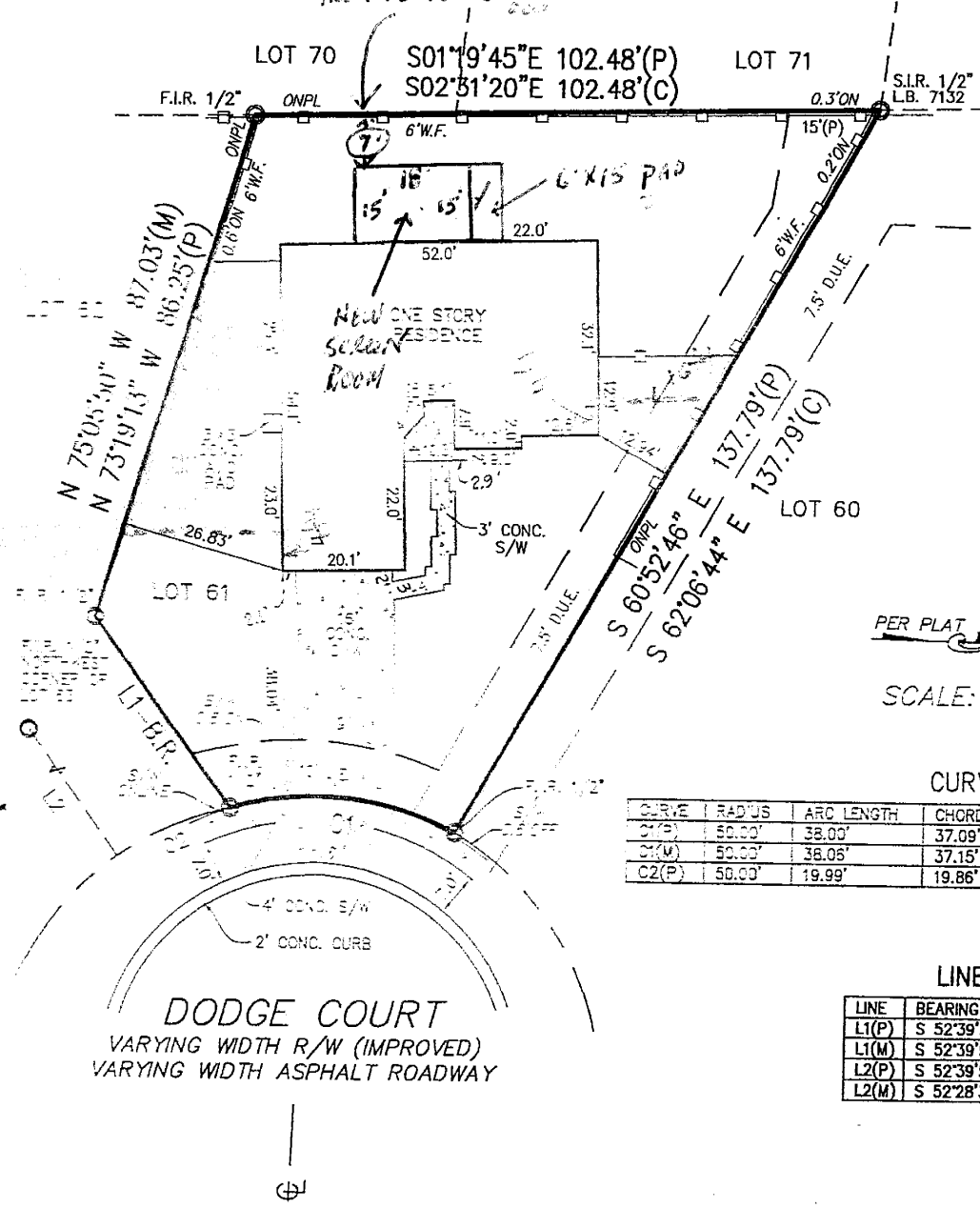
Community number: 120180 Panel: 0140
 Suffix: F.F.I.R.M. Date: 9/25/2009 Flood Zone: X
 Date of field work: 10/2/2015 Completion Date: 10/5/2015

Certified to:
 Jose G. Perez, Jr.; Paramount Title; Chicago Title Insurance Company; People's Bank, A Kansas Corporation, its' successors and/or assigns.

REDUCE REAR STAIR FROM 10' TO 6' 11"



LOCATION SKETCH
NOT TO SCALE



Property Address:
 2437 Dodge Court
 Apopka, FL 32703

PER PLAT

 SCALE: 1"=30'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1(P)	50.00'	38.00'	37.09'	S 07°20'57" W	43°32'35"
C1(M)	50.00'	38.06'	37.15'	S 04°07'26" W	43°36'38"
C2(P)	50.00'	19.99'	19.86'	S 25°52'43" E	22°54'44"

LINE TABLE

LINE	BEARING	DISTANCE
L1(P)	S 52°39'55" W	38.53'
L1(M)	S 52°39'55" W	38.36'
L2(P)	S 52°39'55" W	50.37'
L2(M)	S 52°28'33" W	50.11'



CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER: Special Exception

MEETING OF: February 12, 2019
FROM: Community Development
EXHIBITS: Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Proposed Site Plan
Existing Site Plan
Written Public Comments

SUBJECT: SPECIAL EXCEPTION – RENEWAL CHURCH

REQUEST: APPROVAL OF THE SPECIAL EXCEPTION REQUEST FOR RENEWAL CHURCH

SUMMARY:

OWNER/APPLICANT: Donald J. Sabiston
LOCATION: 2335 Appy Lane
PARCEL ID NUMBER: 18-20-28-0000-00-112
LAND USE: Residential Very Low Suburban
ZONING: Agriculture-Estates (AG-E)
EXISTING USE: Vacant, with a mobile home and wood shed.
PROPOSED USE: Place of Worship
TRACT SIZE: 4.96 +/- acres

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS: On June 26, 2018, the Planning Commission approved a Special Exception to allow a place of worship, subject to the Special Exception Conditions of Use, at 2335 Appy Lane (the subject property).

The applicant requests to amend the Special Exception Site Plan approved by the Planning Commission on June 26, 2018 to address:

1. Replace the six-foot high brick or decorative wall along the east and west project line with a continuous hedge, planted at a height of 36 inches, and a split rail fence.

No other conditions of approval have changed from when the original special exception request was approved on June 26, 2018.

The proposed place of worship is intended to be constructed in two phases. Phase 1 calls for a 10,400 sq. ft. building, with a seating capacity of 250, and 2 employees. Phase 2 results in a total building square footage of 15,500 sq. ft., a total seating capacity of 475, and a total of 3 employees. The Parking Area is planned to be constructed, in its entirety, during the construction of Phase 1.

The property is presently assigned a Future Land Use Designation of “Residential Very Low Suburban.” Institutional Uses, of five acres or less, are allowed as a Special Exception in the Comprehensive Plan, per Policy 3.1.C.

- A. Relationship to Adjacent Properties: Zoning and existing land use assigned to adjacent and nearby properties appears in the attached exhibits. The character of the area surrounding the subject property is described as follows:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Very Low Suburban	PUD	Woodlands/HOA Tract
East (City)	Residential Very Low Suburban	PUD	Vacant Lands & 1 Single Family Home
South (City)	Residential Very Low Suburban & Institutional/Public Use	PO/I	Northwest Recreation Fields
West (City)	Residential Very Low Suburban	AG-E	Single Family Houses

- B. Special Exception Distance Separation Standard. “All special exception uses shall be located a minimum of 1,000 feet from any other existing like use in non-residential districts, and 1,500 feet in residential districts.” (Article II, Section 2.00.00, 5. Special Exceptions. B1). The proposed place of worship is more than 1,500 feet from any other place of worship.

- C. Special Exception Development Standards. None of the below development standards have changed from the June 26, 2018 special exception approval by the Planning Commission. Article II of the Land Development Code establishes development standards specific to special exceptions. These standards are intended to reduce any impacts from the proposed special exception use on adjacent properties. After review of the Development Plan for the Special Exception, staff finds that the applicant has met the intent of the regulations stated in Article II,

Section 2.02.01 General, (5), Special Exceptions.

The parking requirement for this use is one space for each 3 fixed seats provided for patron use, plus 1 space per employee. With 161 parking spaces depicted on the development plan, the applicant meets the requirement for off-street parking.

15 feet wide buffer yards have been provided on the western and eastern boundary lines. Each buffer yard is proposed to contain a split-rail fence and hedge-line. The original Special Exception Site Plan depicted 6' tall masonry walls in the western and eastern boundary lines. The west and east adjacent lands are currently used, or zoned for, residential development. While a buffer yard and wall were not provided on the northern boundary, the proposed conditions of this development, as well as the existing conditions of the north-adjacent parcel, counter the need for a buffer yard and wall. The northern area of the subject property is planned to have a conservation area with a depth longer than 50 feet. The north-adjacent parcel is a heavily wooded HOA tract belonging to the Orchid Estates Subdivision.

A lighting plan, landscape plan, sign plan, and architectural elevations will be provided during the Site Plan Approval Process (i.e. Preliminary Development Plan and/or Final Development Plan).

C. Special Exception Conditions of Use. (Underscore - New conditions)

1. Day Cares or Schools functioning as a primary use (Monday through Friday) will require an amendment to the Special Exception.
2. Hedges must be planted and maintained in the western and eastern bufferyards, from the front property line, to the rear property line. The hedges must be three feet in height at the time of planting and must create and maintain a solid, opaque screening measure for the parking lot. A split rail fence will also be provided within the side bufferyards.
3. The Final Development Plan shall include an outdoor illumination plan that demonstrates that outdoor lighting does not adversely encroach on to adjacent properties.
- 4.. This Special Exception authorization expires if (a) the applicant fails to obtain a certificate of occupancy or a business tax receipt within five years from the date of the Special Exception approval; and (b) the Special Exception Use has vacated the parcel for more than 180 consecutive days. The site shall development consistent with the Special Exception Site Plan.

DULY ADVERTISED:

January 25, 2019 - Public Hearing Notice

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the amendment to the Renewal Church Special Exception Site Plan to allow a continuous hedge and split rail fence along the eastern and western landscape bufferyards,.and to assure that the final development plan demonstrate that outdoor illumination does not Adderley encroach on to abutting properties..

Recommended Motion: Approve the amendment to the Special Exception Site Plan to incorporate the two new conditions of use set forth in the Special Exception Conditions of Use.

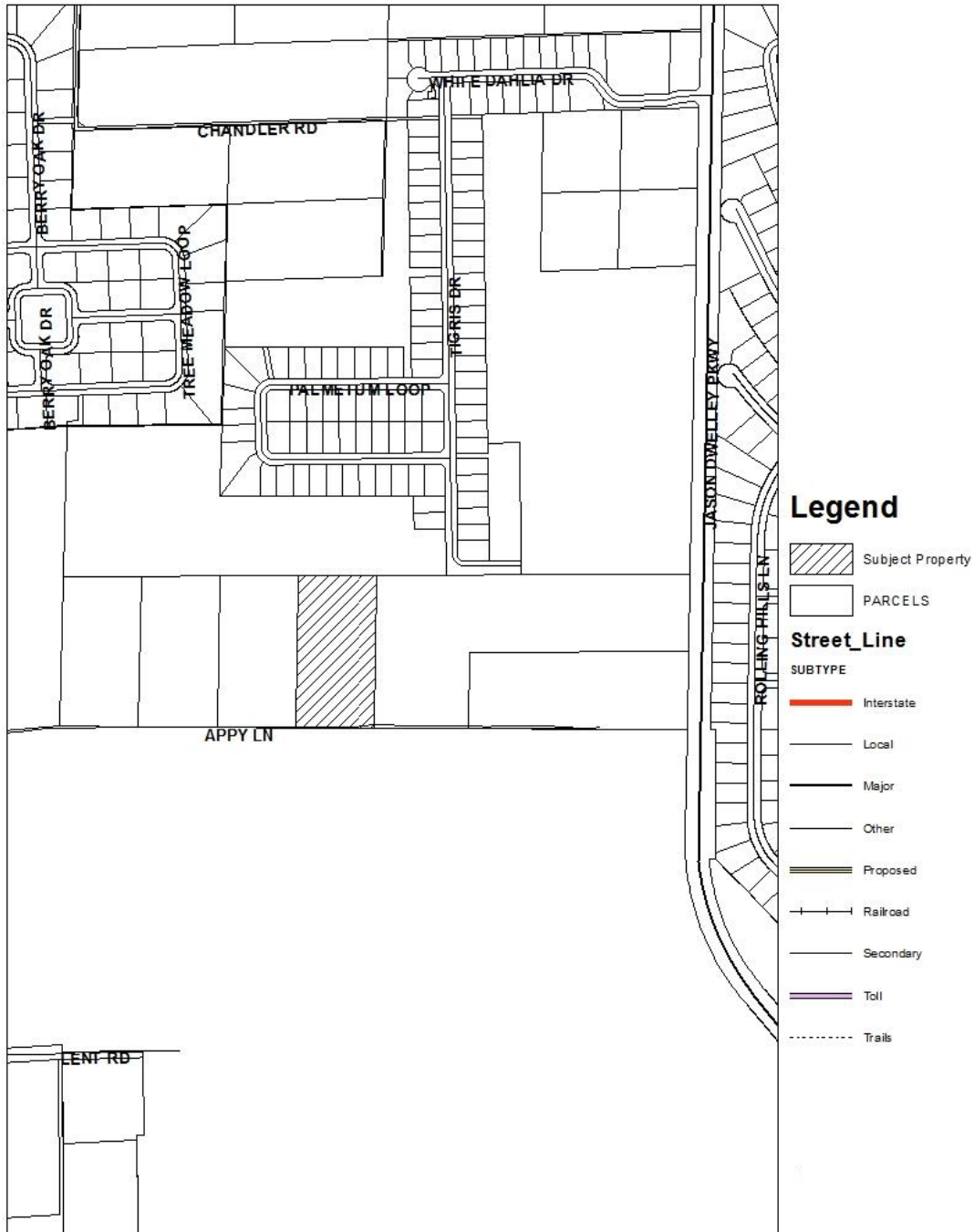
Planning Commission Role - Pursuant to the City of Apopka Code of Ordinances, Part III, Land Development, Article XI, Section 11.05.D.1 the Planning Commission has the authority to take final action on a special exception application. Therefore, the Planning Commission may approve, deny or approve with conditions this application. An applicant may appeal the Planning Commission action to the City Council.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



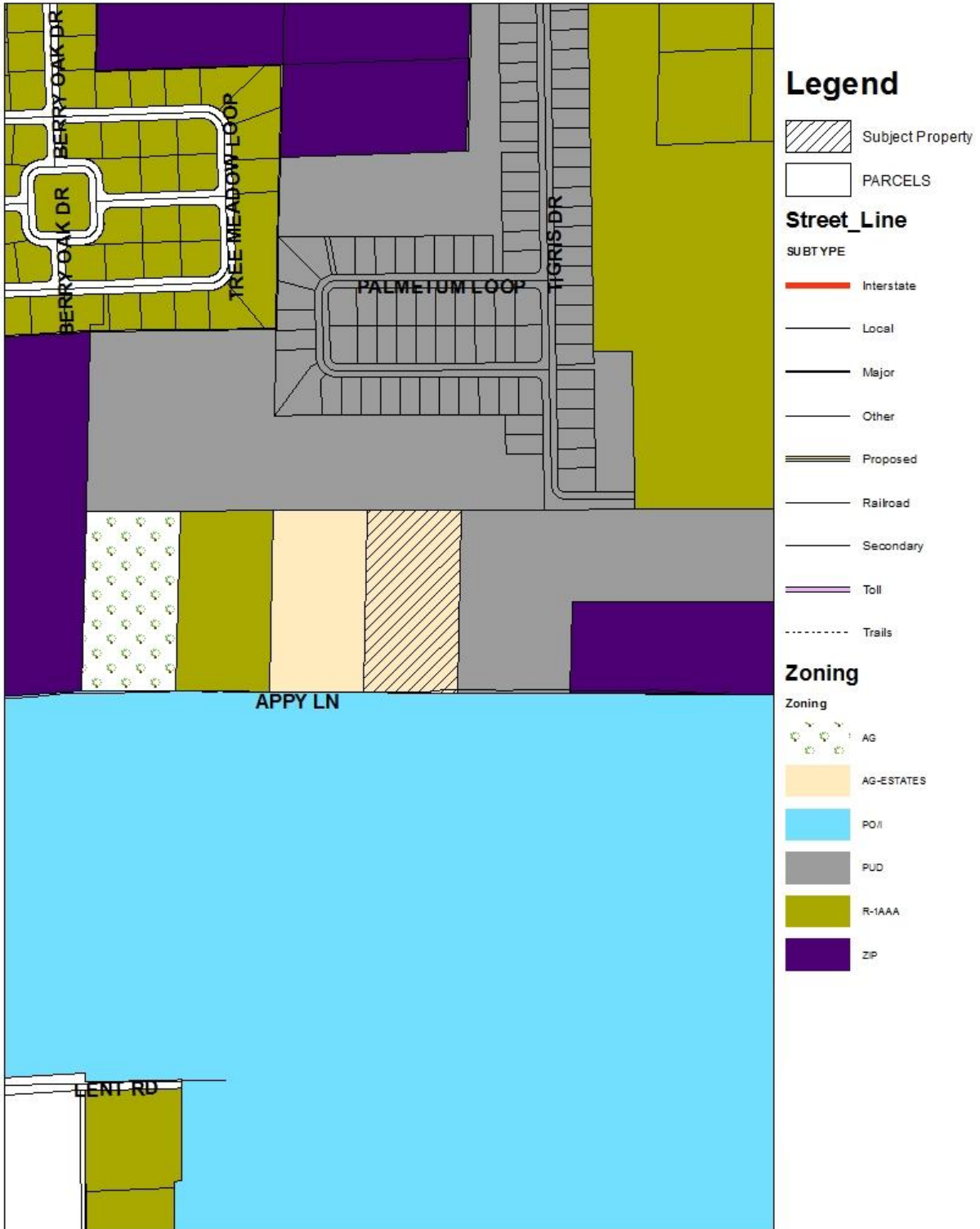
**Donald Sabiston/Renewal Church
Special Exception Amendment
Located on property assigned an Agriculture Estates Zoning Designation
4.96 +/- Acres
Parcel ID #: 18-20-28-0000-00-112**

VICINITY MAP





ADJACENT ZONING MAP





ADJACENT USES



PROPOSED SITE PLAN

re•new•al church Development Site Plan

Revisions	
1	SE AMENDMENT 12/23/2018

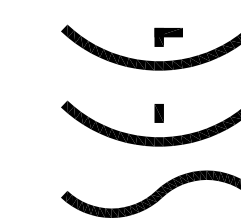
renewal church
2335 Appy Lane
Apopka, Florida

Zoning Exception Submittal - 6/11/2018

Project

Engineer of Record

SABISTON ENGINEERING GROUP, INC.
322 KENTUCKY BLUE CIRCLE, APOPKA, FL 32712
P: 407.884.6769 F: 407.884.6764
WWW.SABISTONENGINEERING.COM
STATE OF FLORIDA CERTIFICATE NO. 9811
SEG PROJECT NO. 18003

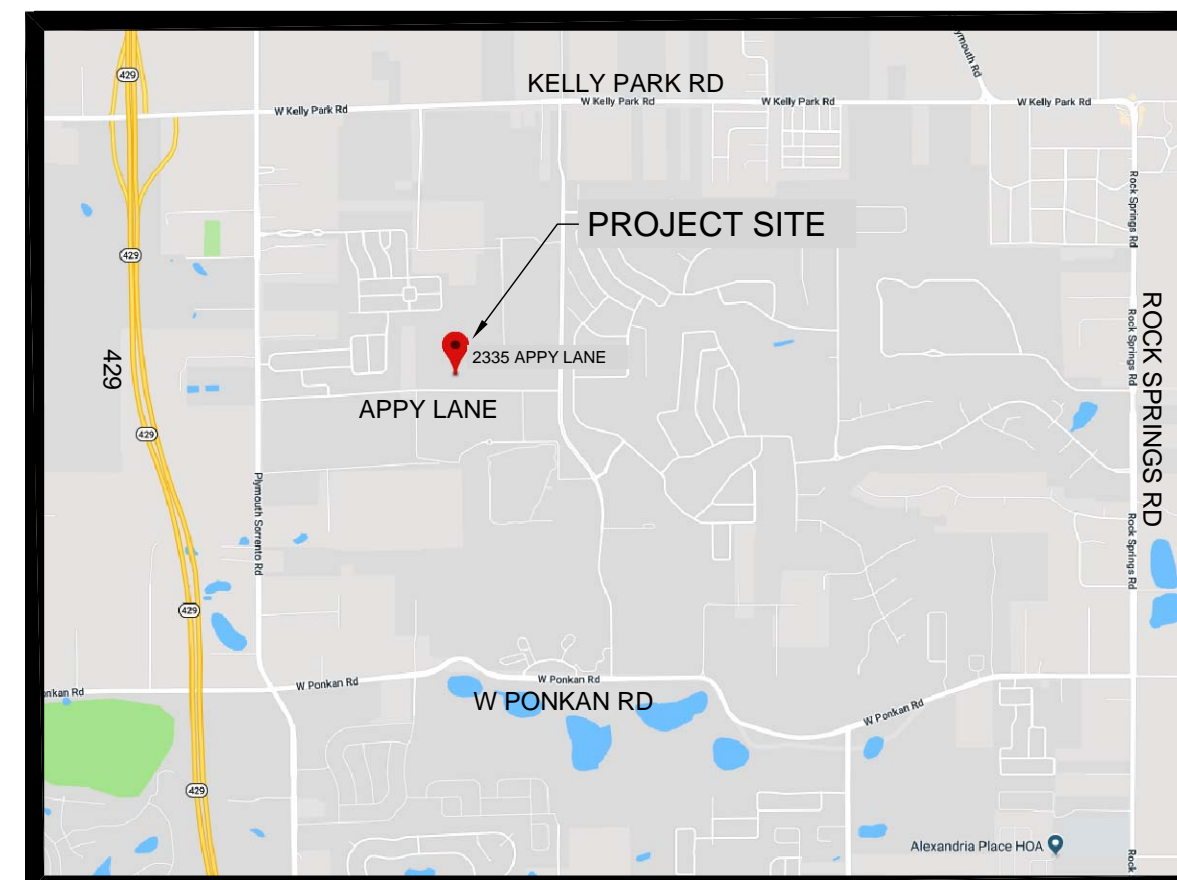


Sheet Title

Number

Board Members

- Mr. Jason Henderson, Pastor
- Mr. Adrian Alvarez
- Mr. Jorge Arce
- Mr. Bill Arrowsmith
- Mr. Matthew Owen
- Mr. Robbie Redder
- Mr. Don Sabiston
- Mr. Mike Tolson



PROJECT ADDRESS :
2335 Appy Lane
Apopka, FL 32712



LOCATION MAP 

Drawing Index	
Sheet	Title
	COVER SHEET
	BOUNDARY SURVEY
DS-1	DEVELOPMENT SITE PLAN

OWNER :
Faithful Creations, LLC
322 Kentucky Blue Circle
Apopka, FL 32712
Phone: 407-884-6769

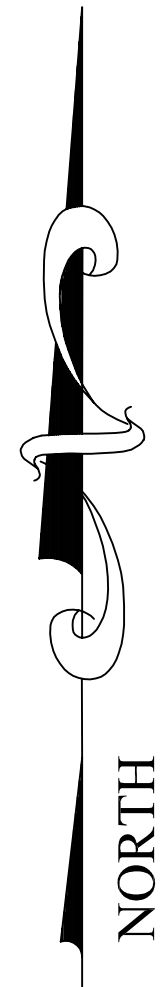
APPLICANT :
Donald Sabiston
322 Kentucky Blue Circle
Apopka, FL 32712
Phone: 407-884-6769

Zoning Exception Submittal - 6/11/2018

Consultants

AERIAL VIEW

BOUNDARY SURVEY



Legal Description:

East 1/2 of the East 1/2 of the South 1/2 of the Southwest 1/4 of the Southeast 1/4 of Section 18, Township 20 South, Range 28 East, Orange County, Florida. Together with an easement of ingress and egress upon, over and through the North 15 feet of the Northwest 1/4 of the Northeast 1/4 of the Northwest 1/4 of Section 19, Township 20 South, Range 28 East, Orange County, Florida. Together with that certain 2000 mobile homes, Make WAVE, with VIN #: FLFLX70A27441WC21 and ID #: FLFLX70B27441WC21; along with Title #: 79638544 and Title #: 79638508

PROPERTY ADDRESS: 2335 APPY LANE - APOPKA, FLORIDA 32712

Legal Description:

SEE ABOVE

CERTIFIED TO:
DON SABISTON
(EXCLUSIVELY)

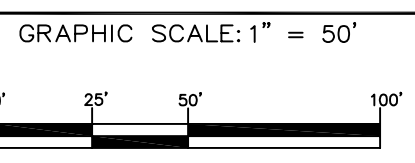
CLIENT NO: N/A
JOB NO: 28443
FIELD DATE: 04/25/18
APPROVED BY: AER
CHECKED BY: AER
DRAWN BY: GS
DRAWN DATE: 04/26/18

I hereby certify that the survey of the herein described property was prepared under my direct supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.050 through 5J-17.053, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.

DATE	REVISION	DATE	REVISION



LIST OF POSSIBLE ENCROACHMENTS:



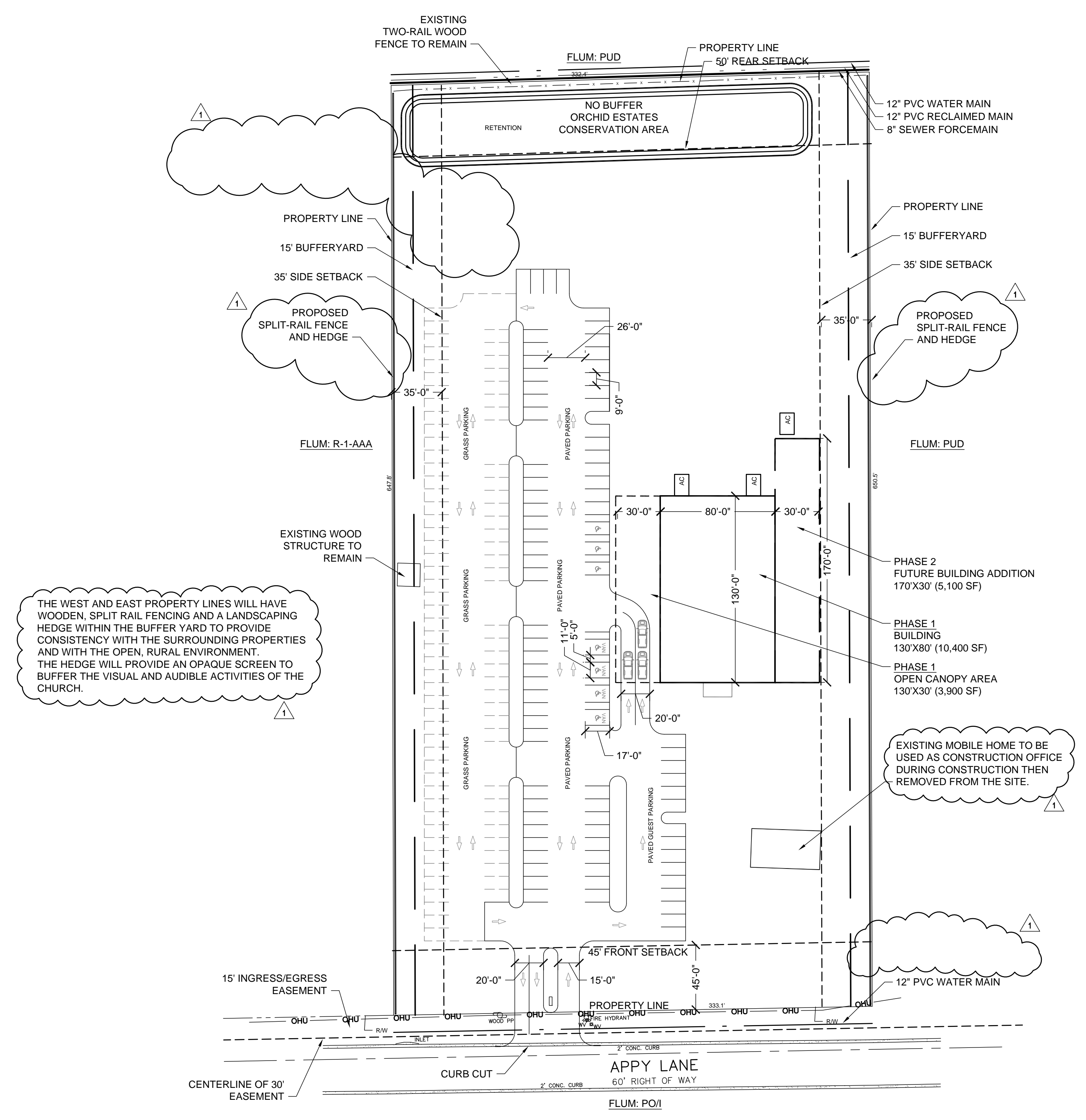
FLOOD ZONE
(FOR INFORMATIONAL PURPOSES ONLY)
SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN ZONE X, AREA OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.L.C.M. MAP NUMBER 12050C101E, DATED 09/25/2009. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

SURVEYOR'S NOTES
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR THIS INSURANCE. LEGAL DESCRIPTION PROVIDED BY OTHERS. UNLESS SHOWN, UNDERGROUND UTILITIES, IMPROVEMENTS, AND/OR SURFACE STRUCTURES WERE NOT LOCATED BY THIS SURVEY. READINGS ARE BASED ON THE NORTHERN POINT OF 1/4 CORNER OF THE PLANNED LOTS, AS SHOWN ON THE PLANNING TITLE INSURANCE. THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE, AND TRAILING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES. A FENCE OWNERSHIP NOT DETERMINED.
THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDING INSTRUMENTS THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY.

- = SPOT ELEVATIONS
- NOTE: - THE DISTANCE BETWEEN SEPTIC TANK AND WELL IS 123.2'.
- P.I.D. # = PARCEL IDENTIFICATION NUMBER
- ▨ = WOOD
- ▨ = ASPHALT
- ▨ = BRICK/PAVER/TILE
- ▨ = CONCRETE

- SITE BENCHMARK #1: TOP OF IRON ROD AT THE S.E. PROPERTY CORNER ELEVATION = 99.76'
- SITE BENCHMARK #2: TOP OF IRON ROD AT THE S.W. PROPERTY CORNER ELEVATION = 98.36'

SURVEYOR'S NOTE:
ELEVATIONS SHOWN HEREON ARE BASED ON THE FLORIDA F.D.O.T. GPS NETWORK WITH A PUBLISHED ELEVATION DATUM OF NORTH AMERICAN VERTICAL DATUM DATED 1988



THE WEST AND EAST PROPERTY LINES WILL HAVE WOODEN, SPLIT RAIL FENCING AND A LANDSCAPING HEDGE WITHIN THE BUFFER YARD TO PROVIDE CONSISTENCY WITH THE SURROUNDING PROPERTIES AND WITH THE OPEN, RURAL ENVIRONMENT. THE HEDGE WILL PROVIDE AN OPAQUE SCREEN TO BUFFER THE VISUAL AND AUDIBLE ACTIVITIES OF THE CHURCH.

EXISTING MOBILE HOME TO BE USED AS CONSTRUCTION OFFICE DURING CONSTRUCTION THEN REMOVED FROM THE SITE.

Site Data Table		
Address	2335 Appy Lane	
Total Land Area	4,969 Acres mvl	
Section/Township/Range	18-20-28	
Parcel ID	18-20-28-0000-00-112	
Future Land Use	Res. Estates	
Current Zoning	AG-E	
Proposed Zoning	AG-E	
Proposed Use	7100 - Religious	
Maximum Building Height	35'	
People Calculations	Phase 1	Phase 2
Sq Ft (Under Air)	10,400	15,500
Attendee Seating Provided	250	475
Part time employees	2	3
Total Onsite (Attendees + Employees)	252	478
Parking Calculations		
Attendee Parking Required (1:3)	83	158
Employee Parking Required (1:1)	2	3
Total Spaces Required	85	161
Parking Spaces Provided		
Handicap Provided (Paved)	7	7
Parking Provided (Paved)	74	74
Parking Provided (Grass)	80	80
Total Spaces Provided	161	161
Accessible Parking		
Total Required	4	6
Total Provided	7	7
Van Accessible Required	1	1
Van Accessible Provided	4	4

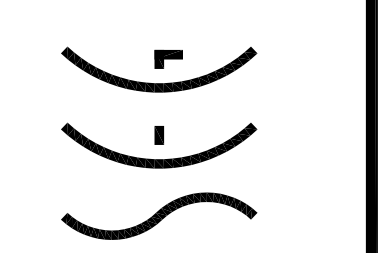
DEVELOPMENT SITE PLAN
SCALE: 1" = 30'

Revisions	
1	SEAMENDMENT 12/3/2018

renewal church
2335 Appy Lane
Apopka, Florida

Zoning Exception Submittal - 6/11/2018

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Sheet Title
DEVELOPMENT SITE PLAN

Number
DS-1

EXISTING SITE PLAN

re•new•al church Development Site Plan

Revisions

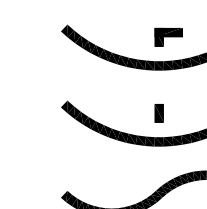
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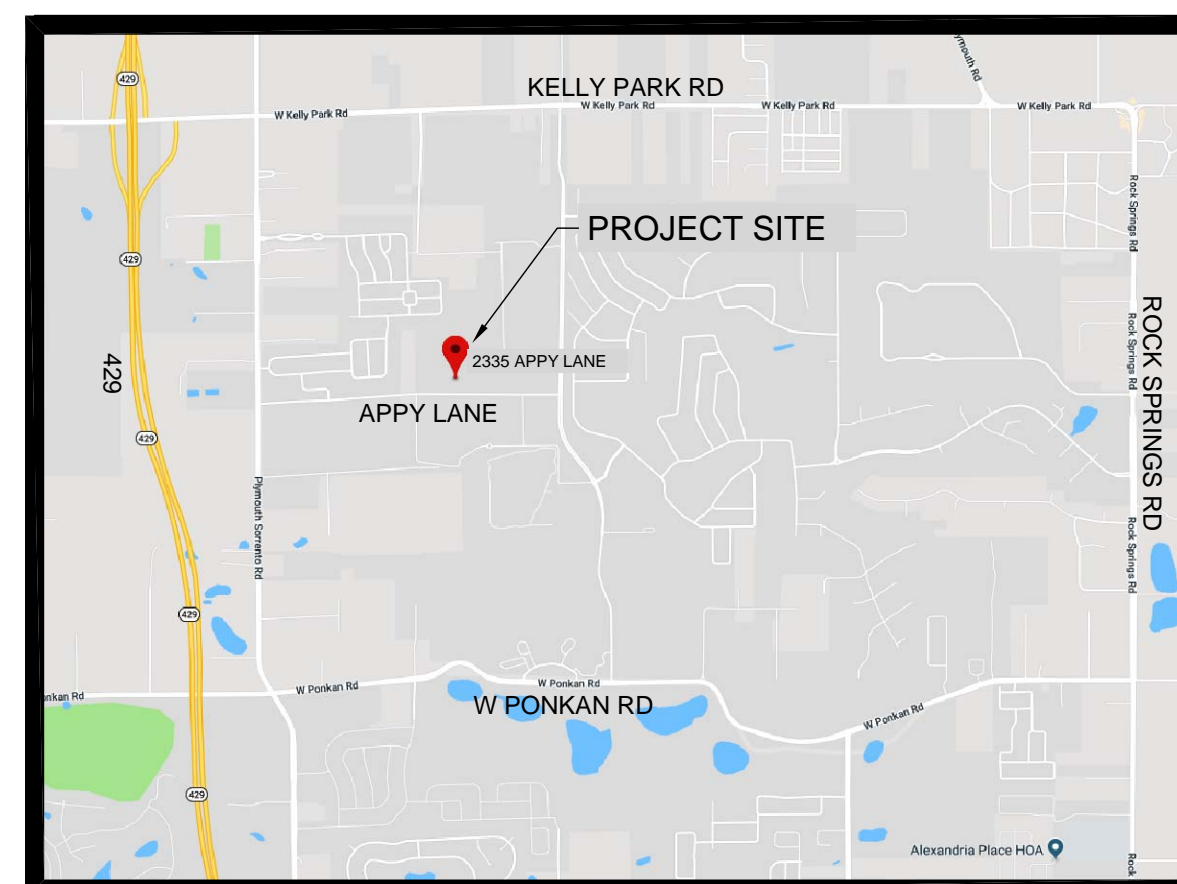


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LOCATION MAP 



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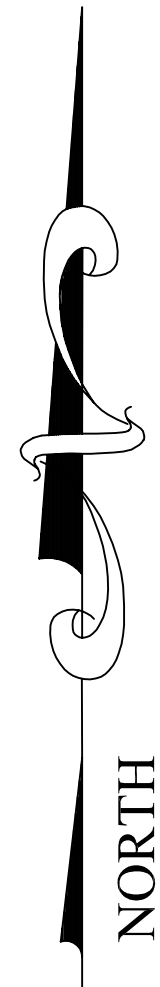
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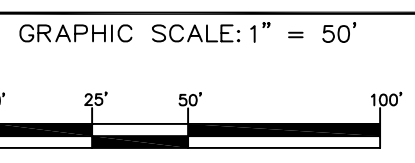
CLIENT NO: N/A
JOB NO: 28443
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APPROVED BY: AER
CHECKED BY: AER
DRAWN BY: GS
DRAWN DATE: 04/26/18

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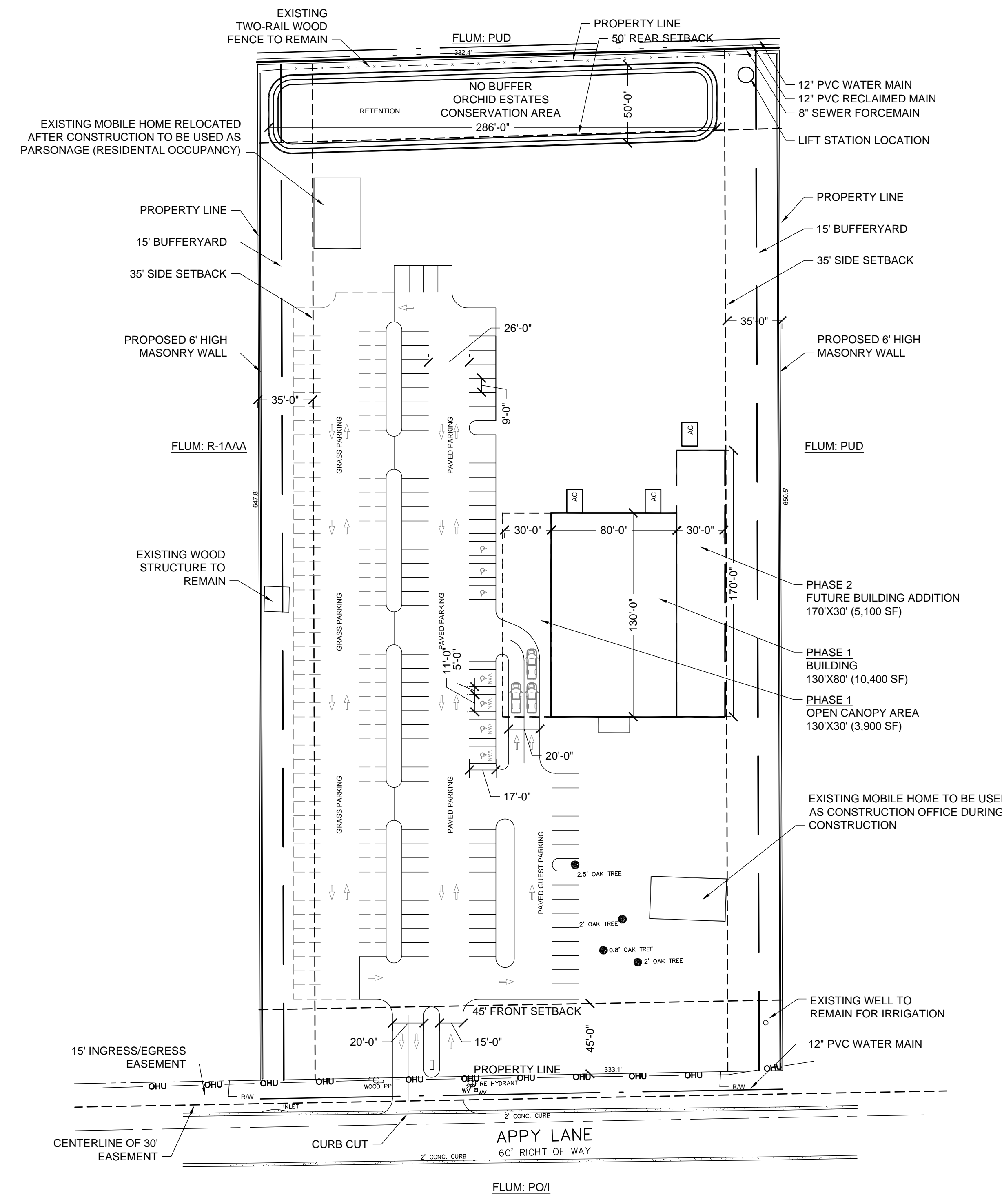
FLOOD ZONE
(FOR INFORMATIONAL PURPOSES ONLY)
SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN ZONE X, AREA OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.L.C.M. MAP NUMBER 12050C101E, DATED 09/25/2009. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

SURVEYOR'S NOTES
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR THIS INSURANCE. LEGAL DESCRIPTION PROVIDED BY OTHERS. UNLESS SHOWN, UNDERGROUND UTILITIES, ENCROACHMENTS AND/OR SURFACE STRUCTURES WERE NOT LOCATED BY THIS SURVEY. BEARINGS ARE BASED ON THE NORTHERLY POINT OF 1/4 CORNER OF THE PLANNED LOTS, UNLESS OTHERWISE NOTED. THE PLANNED LOTS ARE FOR USE IN OBTAINING TITLE INSURANCE AND TRAILING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES. A FENCE OWNERSHIP NOT DETERMINED.
THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDING ENCUMBRANCES THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY.

- = SPOT ELEVATIONS
- NOTE: - THE DISTANCE BETWEEN SEPTIC TANK AND WELL IS 123.2'.
- P.I.D. # = PARCEL IDENTIFICATION NUMBER
- ▨ = WOOD
- ▨ = ASPHALT
- ▨ = BRICK/PAVER/TILE
- ▨ = CONCRETE

- SITE BENCHMARK #1: TOP OF IRON ROD AT THE S.E. PROPERTY CORNER ELEVATION = 99.76'
- SITE BENCHMARK #1: TOP OF IRON ROD AT THE S.W. PROPERTY CORNER ELEVATION = 98.36'

SURVEYOR'S NOTE:
ELEVATIONS SHOWN HEREON ARE BASED ON THE FLORIDA F.D.O.T. GPS NETWORK WITH A PUBLISHED ELEVATION DATUM OF NORTH AMERICAN VERTICAL DATUM DATED 1988



SITE DEVELOPMENT PLAN
SCALE: 1" = 50'

Site Data Table		
Address	2335 Appy Lane	
Total Land Area	4,969 Acres m/l	
Section/Township/Range	18-20-28	
Parcel ID	18-20-28-0000-00-112	
Future Land Use	Res. Estates	
Current Zoning	AG-E	
Proposed Zoning	AG-E	
Proposed Use	7100 - Religious	
Maximum Building Height	35'	
People Calculations	Phase 1	Phase 2
Sq Ft (Under Air)	10,400	15,500
Attendee Seating Provided	248	475
Workers (1:20 attendees)	12	25
Total Onsite (Attendees + Workers)	260	500
Parking Calculations		
Parking Required (1:3 total onsite)	167	
Total Parking Spaces Provided	167	
Parking Provided (Paved)	84	
Parking Provided (Grass)	83	
Accessible Parking		
Total Required	6	
Total Provided	7	
Van Accessible Required	1	
Van Accessible Provided	4	

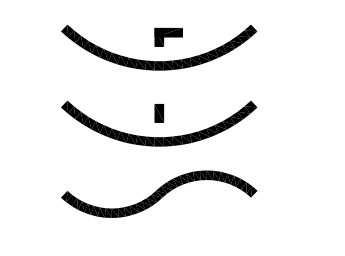
Zoning Exception Submittal - 6/11/2018

Revisions

renewal church
 2335 Appy Lane
 Apopka, Florida

Project
Engineer of Record

SABISTON ENGINEERING GROUP, INC.
 322 KENTUCKY BLUE CIRCLE, APOPKA, FL 32718
 P: 407.884.5755 F: 407.884.5764
 WWW.SABISTONENGINEERING.COM
 STATE OF FLORIDA CERTIFICATE NO. 9811
 SEG PROJECT NO. 18003



Sheet Title
DEVELOPMENT SITE PLAN

Number
DS-1

1/31/2019

Planning and Zoning Commission
City of Apopka
120 E Main St.
Apopka, FL 32703

RE: Renewal Church construction at 2335 Appy Lane

To whom it may concern,

As the owner of 2393 Appy Lane, my property is adjacent to 2335 Appy Lane where Renewal Church intends to build their new facility.

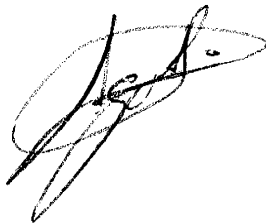
I am concerned about the requirement for the church to construct a masonry wall along my property line and I am writing to voice my opposition to the construction of the wall.

One of the reasons I purchased my property is the open, agricultural environment. There are few trees and the five-acre parcels have few visual disruptions. Most of the properties have open split-rail fencing which I consider appropriate for the area and preferable between my property and the church. If a wall, or other solid barrier is constructed, I believe it will appear out of place and will harm my property value.

I hereby ask that you remove the wall construction requirement from the church.

Sincerely,

Agraciano Laines
Property Owner
2393 Appy Lane, Apopka, FL 32712

A handwritten signature in black ink, appearing to read 'Agraciano Laines', written in a cursive style.



CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER: Special Exception

MEETING OF: February 12, 2019
FROM: Community Development
EXHIBITS: Vicinity Map
Adjacent Zoning Map
Aerial Map
Site Plan
Elevations

SUBJECT: SPECIAL EXCEPTION AND SITE PLAN – WASH CITY

REQUEST: APPROVAL OF THE SPECIAL EXCEPTION REQUEST AND SITE PLAN FOR WASH CITY

SUMMARY:

OWNER: Felice Ladesernia Revocable Trust

APPLICANT: S. Brent Spain, Esquire

LOCATION: 1860 & 1880 E. Semoran Blvd.

PARCEL ID NUMBER: 12-21-28-8398-00-030 & 12-21-28-8398-00-020

LAND USE: Commercial

ZONING: Retail Commercial District (C-1)

EXISTING USE: Vacant

PROPOSED USE: Car Wash

TRACT SIZE: 2.04 acres +/-

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS: The property is presently assigned a Future Land Use Designation of “Commercial”. Within the C-1 (Retail Commercial District) zoning category, a car wash facility is a use that requires an approved Special Exception. The proposed car wash facility is comprised of 5,510 sq. ft. of building space, amounting to a floor area ratio (FAR) of .062. Vacuum Spaces and Employee parking spaces are located north of the car wash building. The development is proposed to be accessed from S.R. 436, leading to a private driveway, defined as a private, cross access easement on the recorded “Summerset Wadarville Lot 2 Replat”. A 10’ bufferyard is proposed at the front property line, with 5 feet bufferyard required on the side lot lines. The applicant is proposing a 6’ wide bufferyard on the west side and a 7.5’ wide bufferyard on the east side.

A. Relationship to Adjacent Properties: Zoning and existing land use assigned to adjacent and nearby properties appears in the below exhibits. The character of the area surrounding the subject property is described as follows:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Low Density Residential	R-1	Wekiwa Manor Section 2 Single Family Res.
East (City)	Commercial	C-1	Long John Silvers restaurant\Pep Boys Auto
South (City)	Residential High	R-3	Willow Lake Apartments
West (City)	Commercial	C-1	Vacant Commercial Lot

B. Special Exception Distance Separation Standard. “All special exception uses shall be located a minimum of 1,000 feet from any other existing like use in non-residential districts, and 1,500 feet in residential districts.” (Article II, Section 2.00.00, 5. Special Exceptions. B1). The proposed car wash is more than 1,500 feet from any other car wash businesses.

C. Special Exception Development Standards. Article II of the Land Development Code establishes development standards specific to special exceptions. These standards are intended to reduce any impacts from the proposed special exception use on adjacent properties. After review of the Development Plan for the Special Exception, staff finds that the applicant has met the intent of the regulations stated in Article II, Section 2.02.01 General, (5), Special Exceptions.

The parking requirement for this use is one space for each 200 sq. ft. of office plus 3 spaces per bay.

A lighting plan, landscape plan, and sign plan, will be provided during the Site Plan Approval Process (i.e. Preliminary Development Plan and/or Final Development Plan).

Hedges are proposed at the north, west, and east property lines while a 6’ masonry wall exists on the southern property line.

C. Special Exception Conditions of Use.

1. Hours of operation are limited to 6 am to 10 pm.
2. Hedges and trees, in accordance with code, must be planted and maintained on the north, west, and east bufferyards. Hedges must 36 inches in height and on center at time of planting.
3. The vacuum service area canopy shall have a hard roof, and all landscaping shall be maintained to screen the vacuum service area from adjacent properties and public roads.

4. If the car wash business has vacated the parcel for more than 180 consecutive days, the property owner shall remove the equipment and canopy within the vacuum service area within thirty (30) days after receiving written notice from the City.
5. This Special Exception authorization expires if (a) the applicant fails to obtain a certificate of occupancy or a business tax receipt within five years from the date of the Special Exception approval; and (b) the Special Exception Use has vacated the parcel for more than 180 consecutive days.

DULY ADVERTISED:

February 1, 2019 - Public Hearing Notice

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval for a Special Exception and Special Exception Site Plan to allow a car wash within the C-1 zoning district, subject to the Special Exception conditions within the staff report and the site plan.

Recommended Motion: Approve a Special Exception and Special Exception Site Plan to allow a car wash, subject to the Special Exception Conditions of Use, at 1860 and 1880 E. Semoran Blvd.

Planning Commission Role - Pursuant to the City of Apopka Code of Ordinances, Part III, Land Development, Article XI, Section 11.05.D.1 the Planning Commission has the authority to take final action on a special exception application. Therefore, the Planning Commission may approve, deny or approve with conditions this application. An applicant may appeal the Planning Commission action to the City Council.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

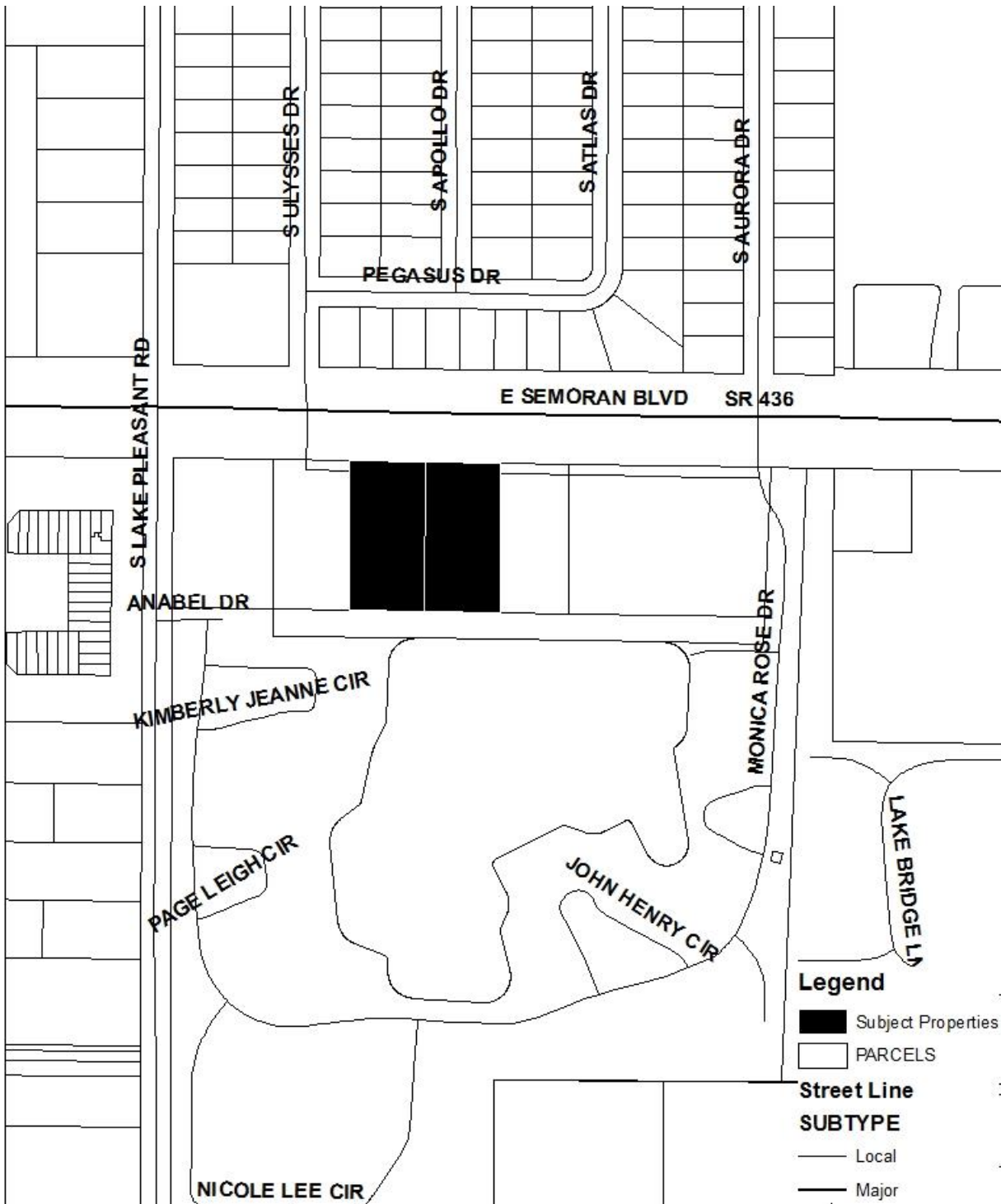


WASH CITY
SPECIAL EXCEPTION

2.04 +/- Acres

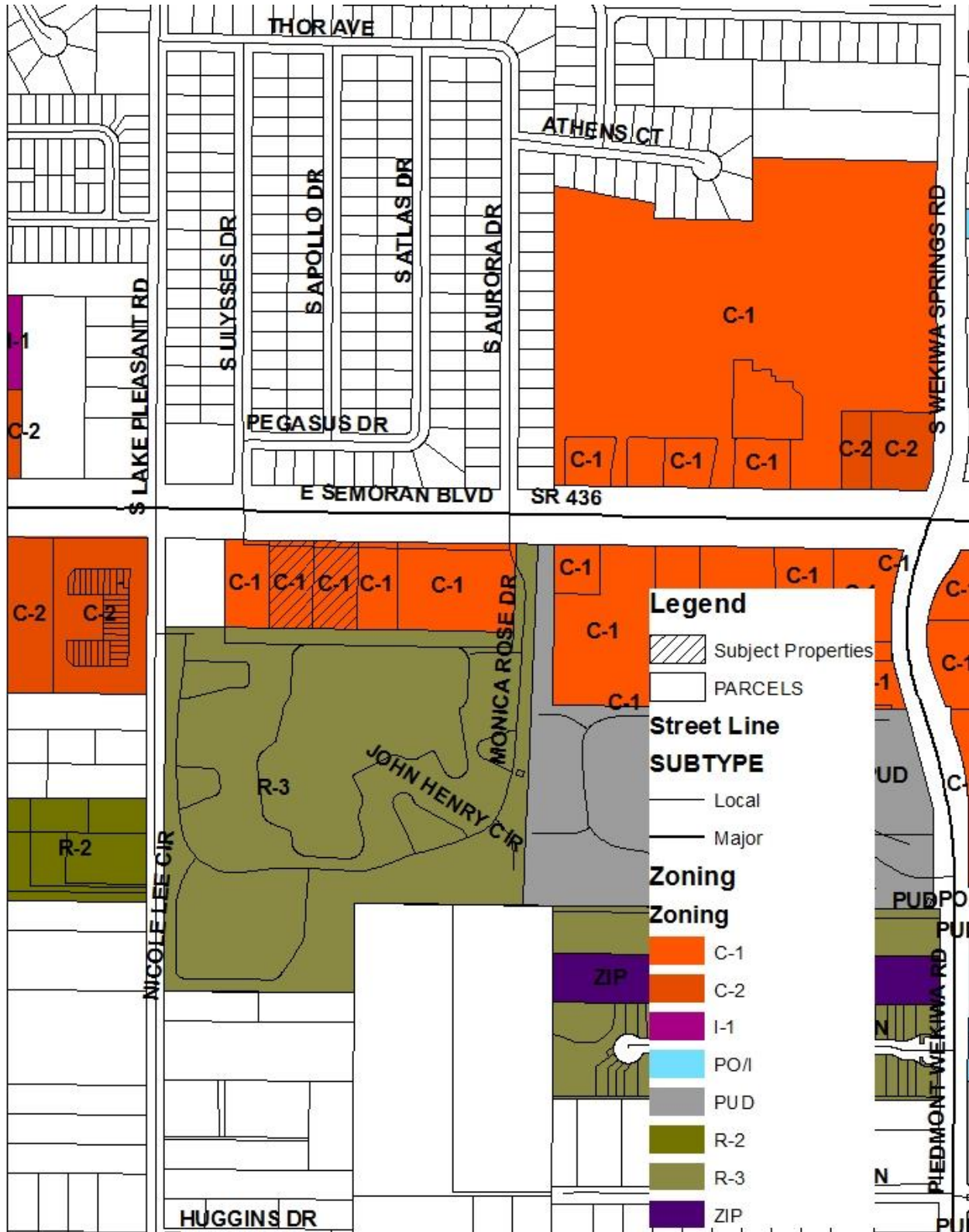
Parcel IDs #: 12-21-28-8398-00-030 & 12-21-28-8398-00-020

VICINITY MAP



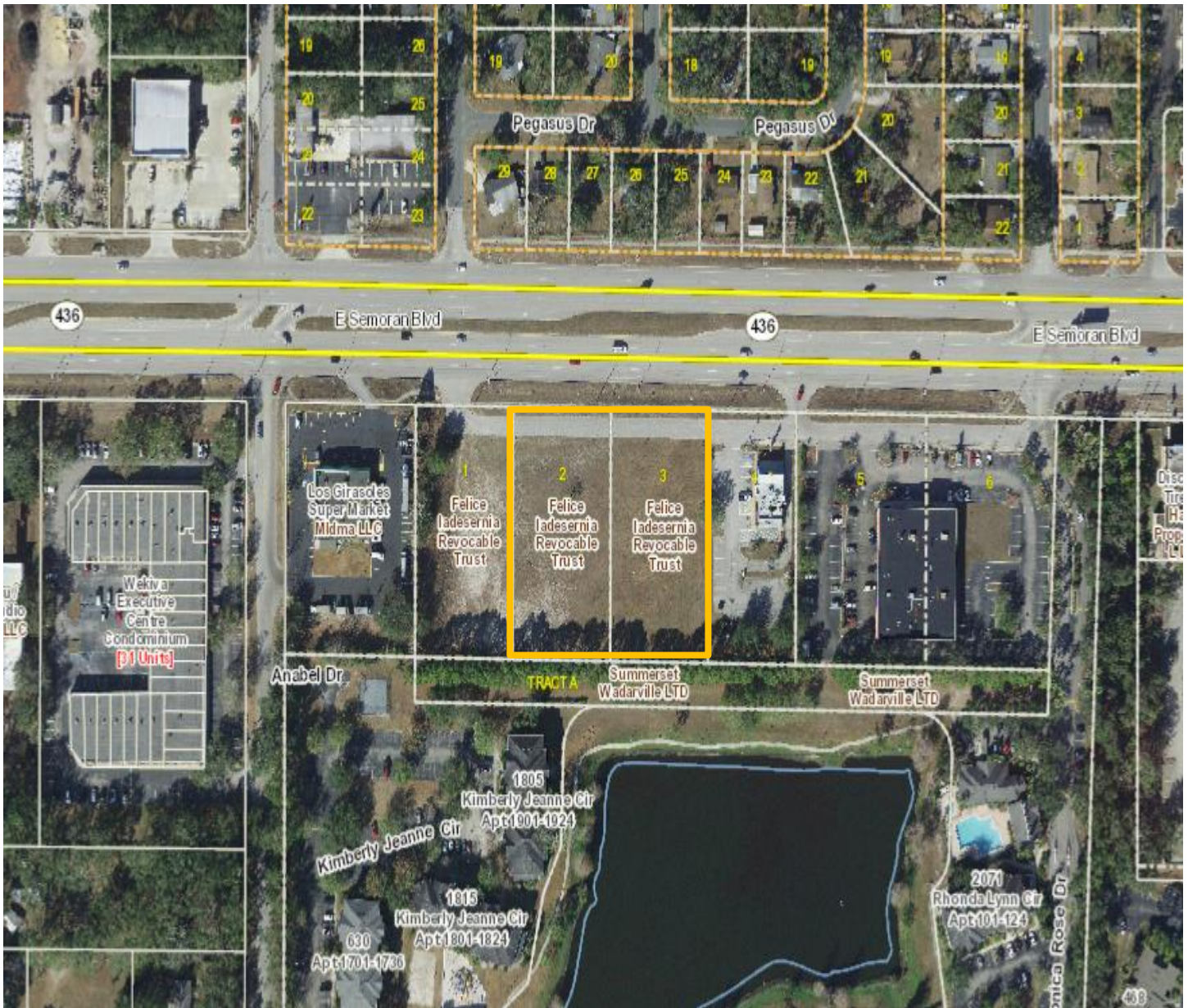


ADJACENT ZONING MAP





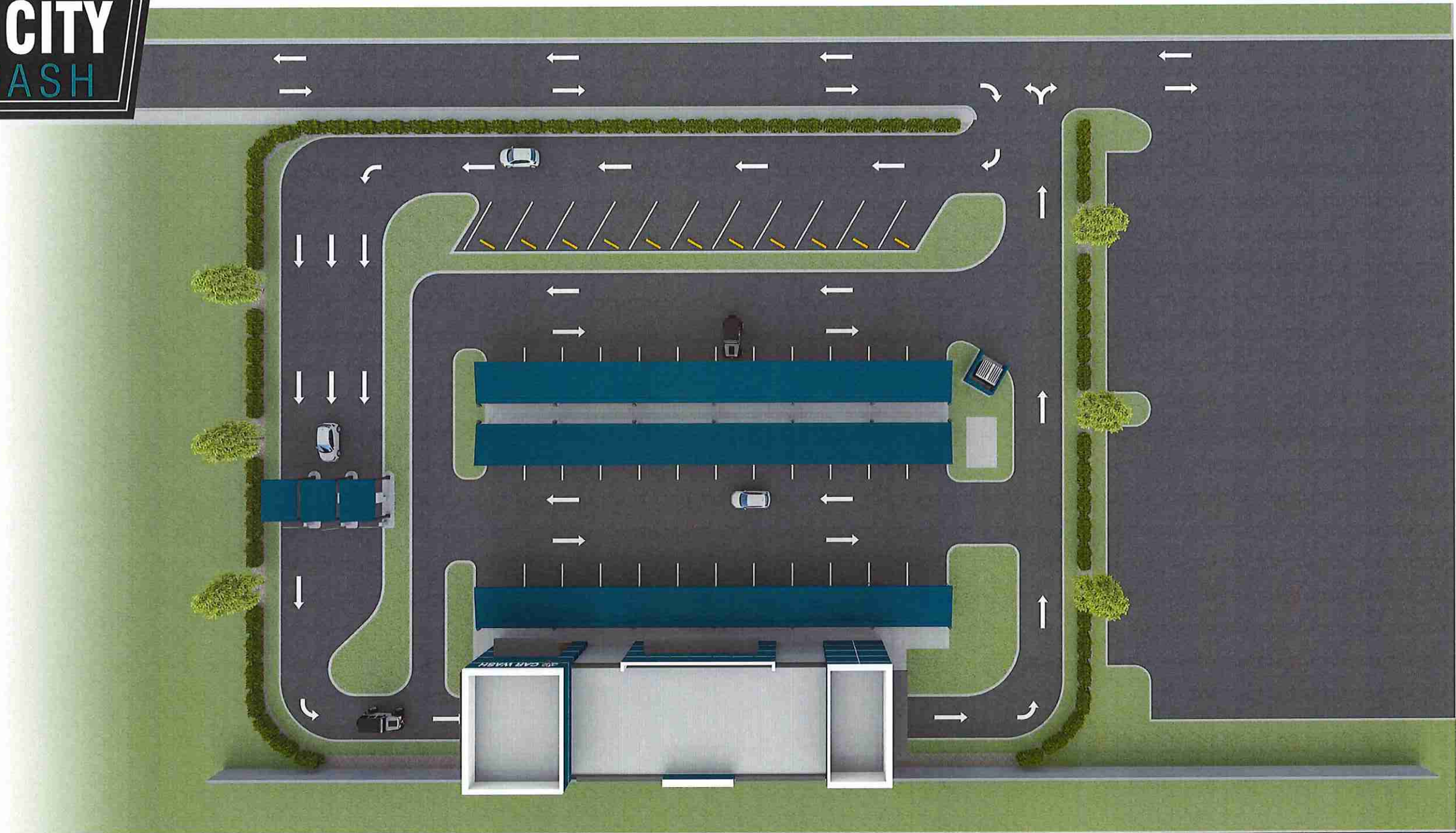
ADJACENT USES





WASH CITY
CAR WASH

CAR WASH





WASH CITY
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CAR WASH





WASH CITY
CAR WASH

CAR WASH

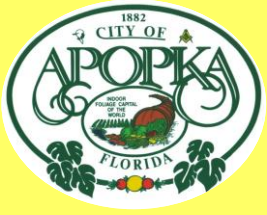




WASH CITY
CAR WASH

CAR WASH





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Plat

MEETING OF: February 12, 2019
FROM: Community Development
EXHIBITS: Vicinity Map
Plat
Final Development Plan

SUBJECT: PLAT – BRIDLE PATH RESIDENTIAL SUBDIVISION

REQUEST: RECOMMEND APPROVAL OF THE PLAT FOR THE BRIDLE PATH KELLY PARK CROSSING FORM-BASED CODE SUBDIVISION

SUMMARY:

OWNER: BB Bridle Path, LLC
APPLICANT: VHB – c/o Leah Fitzpatrick, P.E.
LOCATION: West of Plymouth-Sorrento Road and east of SR 429, approximately one-half mile north of the intersection of Kelly Park Road and Plymouth-Sorrento Road
PARCEL ID NUMBER: 12-20-27-0000-00-032
EXISTING USE: Vacant, abandoned two story house and horse stables
FLUM DESIGNATION: Mixed-Use Interchange
CURRENT ZONING: Mixed-Use Interchange
OVERLAY DISTRICT: Kelly Park Form Based Code – Neighborhood District
PROPOSED DEVELOPMENT: 152 single family homes
TRACT SIZE: 51 +/- acres

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk

Community Development Director

Police Chief

Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City, County)	Rural	A-1 (ZIP - City), A-1 (County)	Single-family residential/woodlands
East (County)	Rural	A-1	Plymouth-Sorrento Road, Sandhill Preserve
South (City)	Mixed-Use Interchange	RCE-2 (ZIP)	Equestrian track
West (City)	None	SR 429 right-of-way	SR 429

PROJECT INFORMATION: The applicant is requesting approval of a Plat for a 152 unit, single-family detached subdivision located east of SR 429 and west of Plymouth-Sorrento Road, approximately one-half mile north of the intersection of Kelly Park Road and Plymouth-Sorrento Road. The property is located within the one-mile radius from the SR 429/Kelly Park Road interchange and is subject to the requirements of the Kelly Park Interchange Form Based Code, including architectural standards for single family homes.

Development Profile:

Number of residential lots: 152 single family homes, detached
 Minimum lot width: 50 feet
 Minimum lot depth: 110 feet
 Minimum lot size: 5,500 square feet
 Minimum house livable area: 1,600 square feet

Setbacks:

Front: Min. 15 feet – Max. 30 feet
 Rear: Min. 20 feet
 Side: Min. 5 feet
 Garage: Same as front

Amenities:

- Pool house with cabana; on-street parking spaces
- Concrete walking paths around stormwater ponds
- Regional Trails: one along Plymouth-Sorrento Road, and one internal along stormwater pond and wetland edges.

Project Use: The Plat proposes development of the property with a total of 152 single-family homes with a minimum lot size of 50-feet by 110-feet and a minimum living area of 1,600 square feet. The property is located within the one-mile radius from the SR 429/Kelly Park Road interchange and is subject to the requirements of the Kelly Park Interchange Form Based Code. There are no minimum and maximum lot size and living area requirements in the Kelly Park Interchange Form Based Code. The Final Development Plan details design of the proposed subdivision in accordance with the requirements of the Kelly Park Interchange Form Based Code, and the Neighborhood character zone, which primarily allows single-family homes as permitted uses. The surrounding properties consist of single-family residential and agricultural uses.

Access: Access to the site is proposed via Plymouth-Sorrento Road. A dedication of a 30-foot wide strip for future right-of-way needs for Plymouth-Sorrento Road is detailed on the Final Development Plan and Plat. Behind this strip, a 30-foot area is reserved for a landscape buffer along Plymouth-Sorrento Road.

Three roadway connections will be provided to allow cross-access to the properties to the north and south at such time they develop. The Final Development Plan details the design of the internal street system with public streets utilizing a walkable grid design, which is a fused grid design that includes varied street, sidewalk and pedestrian pathways throughout a development. The subdivision will consist of public roads and infrastructure that is owned and maintained by the City. A cul-de-sac is provided in the southwestern corner of the site, adjacent to the park and stormwater pond, and is provided to create an open space corridor along the stormwater pond system and wetland area adjacent to the cul-de-sac. The developer will provide a 12-foot wide multi-purpose trail along the portion of the development abutting Plymouth-Sorrento Road to help facilitate the construction of a regional trail system.

Stormwater: Two stormwater retention ponds are located on the western portion of the site in tracts that are owned and maintained by the homeowners association. Four foot wide concrete walking paths are provided around the perimeter of the ponds.

Recreation/Open Space/Buffer: Common recreation elements include a clubhouse with a pool, preserved wetlands, upland buffers, and a park/stormwater facility. A 10-foot wide trail will be constructed within the development, and connections to the properties to the north and south will be provided to facilitate development of a regional trail system. The plat dedicates a public access easement over the internal trail system. The trail will be owned and maintained by the homeowners association. A wetland area exists in the northwest corner of the development. A spring is located within the wetland area. Per the Comprehensive Plan, a 300-foot buffer will be provided around the spring. Twenty percent of the total site area will remain as open space in accordance with the requirements of the Form Based Code. A 6-foot tall wall and a landscape buffer will be provided along the Plymouth-Sorrento Road frontage.

SCHOOL CAPACITY REPORT: The developer has obtained a school concurrency mitigation agreement with Orange County Public Schools to address school impacts generated by this residential development. The location is served by the following schools: Zellwood Elementary, Wolf Lake Middle, and Apopka High School.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of plat application for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

February 12, 2019 - Planning Commission (5:30 pm)
March 6, 2019 – City Council (1:30 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Bridle Path Final Development Plan and Plat.

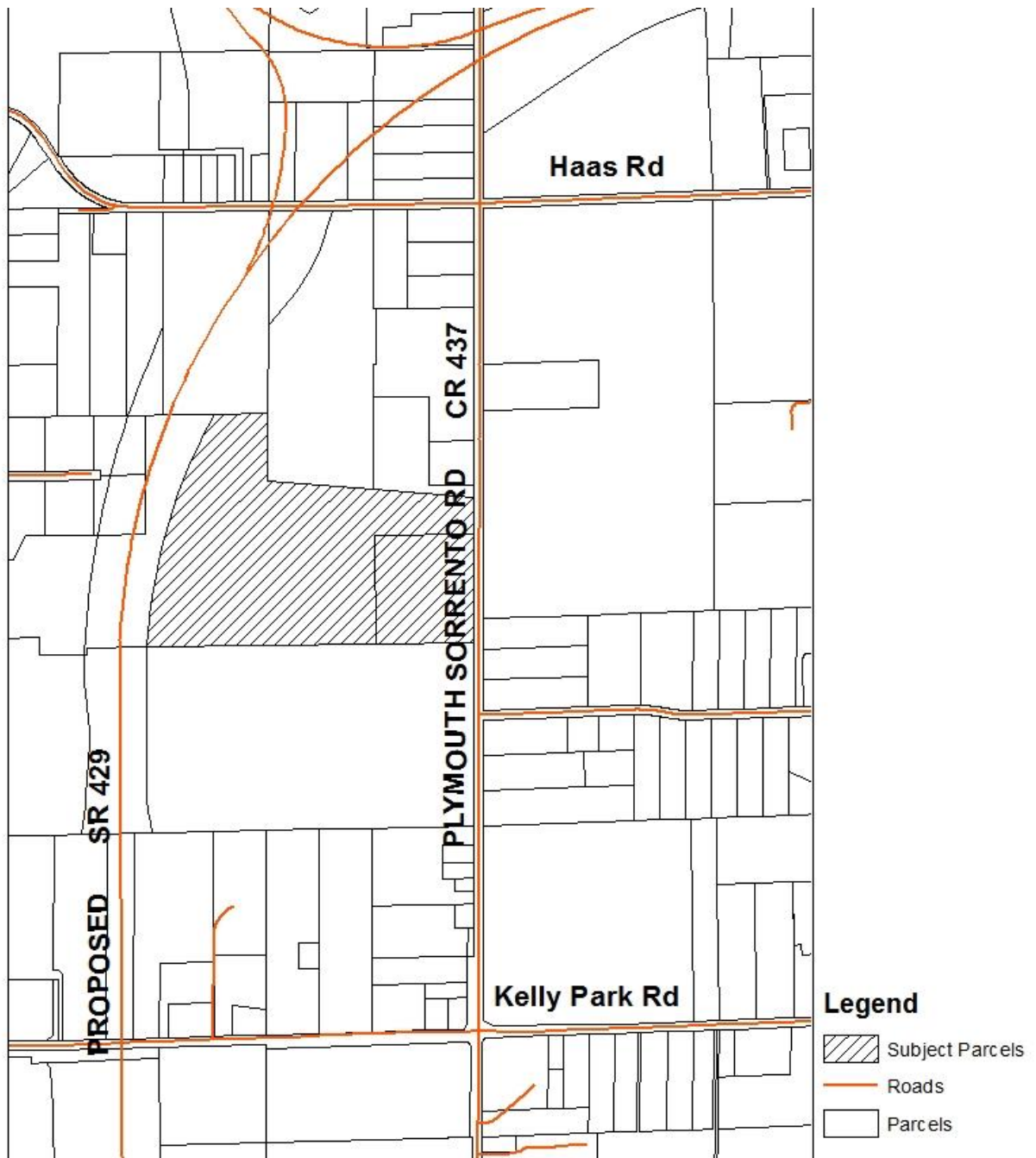
Recommended Motion: Find the proposed Plat consistent with the Land Development Code and Final Development Plan, and recommend approval of the Bridle Path subdivision plat, subject to final review by the City Surveyor and City Engineer prior to recording the plat.

Planning Commission role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny the Plat based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

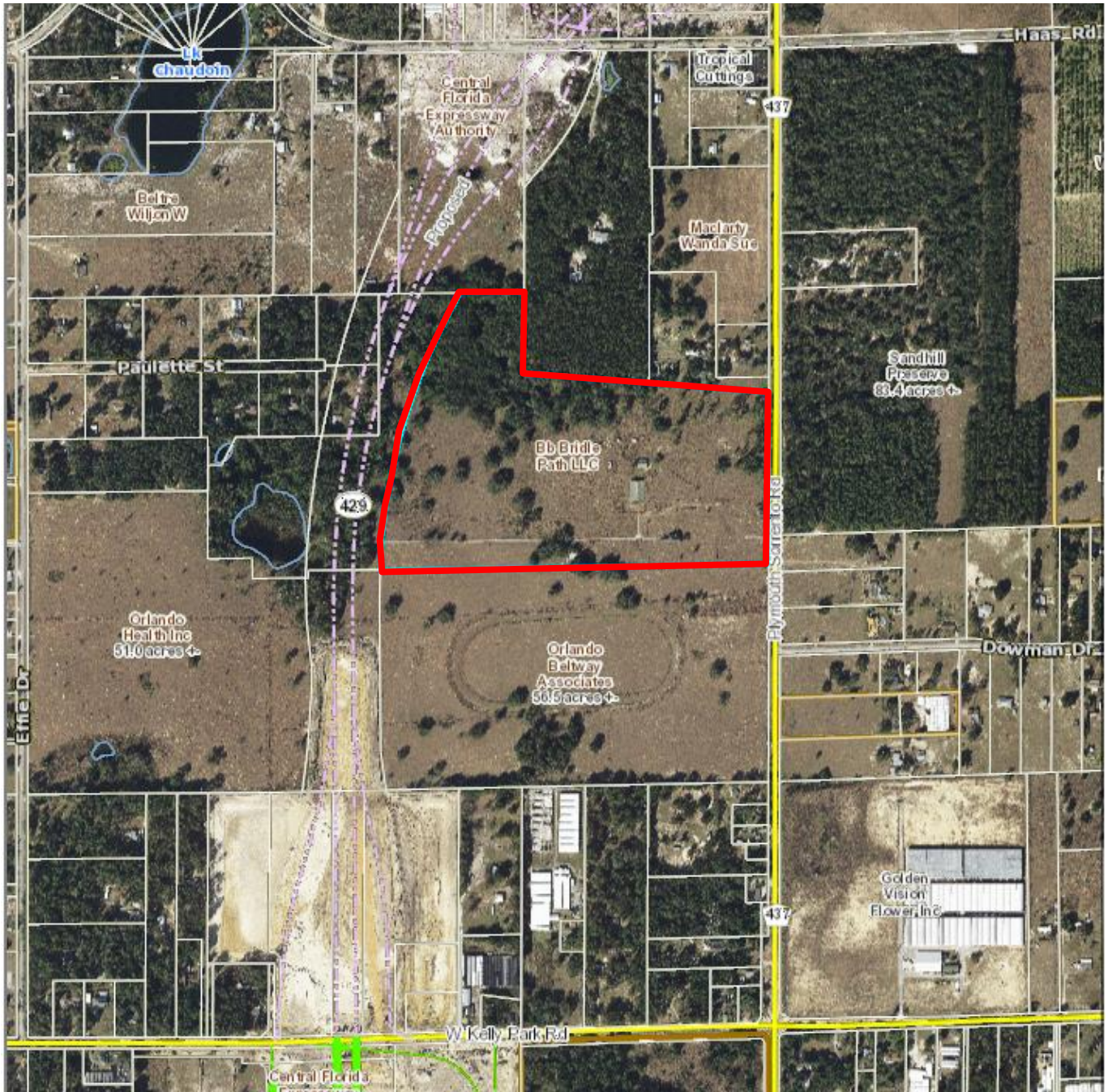
Project: BRIDLE PATH
Owned by: BB Bridle Path, LLC
Located: West of Plymouth-Sorrento Road and east of SR 429
Parcel ID#s: 12-20-27-0000-00-032

VICINITY MAP



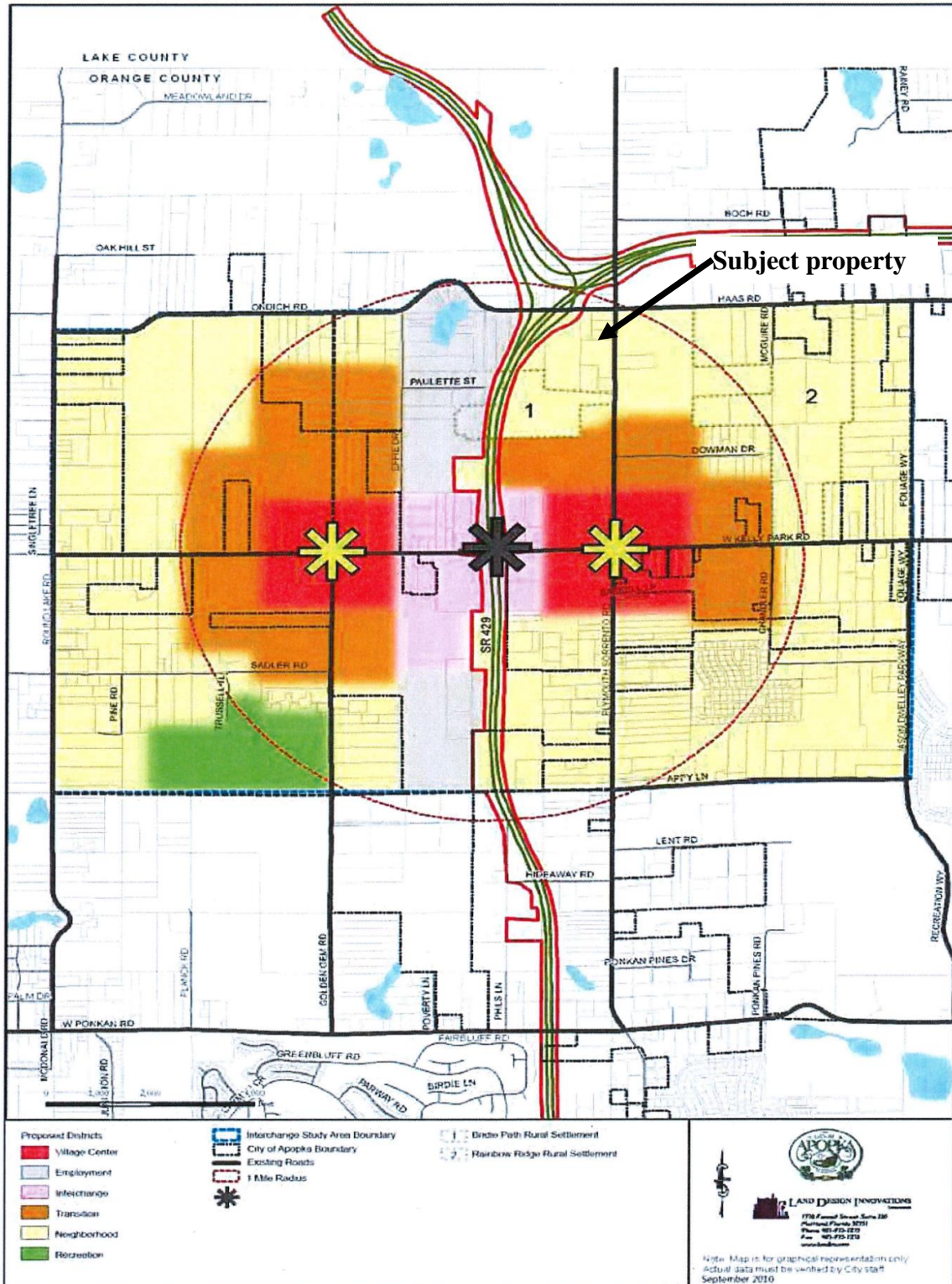


ADJACENT USES





KELLY PARK CROSSING FORM-BASED CODE AREA



BRIDLE PATH

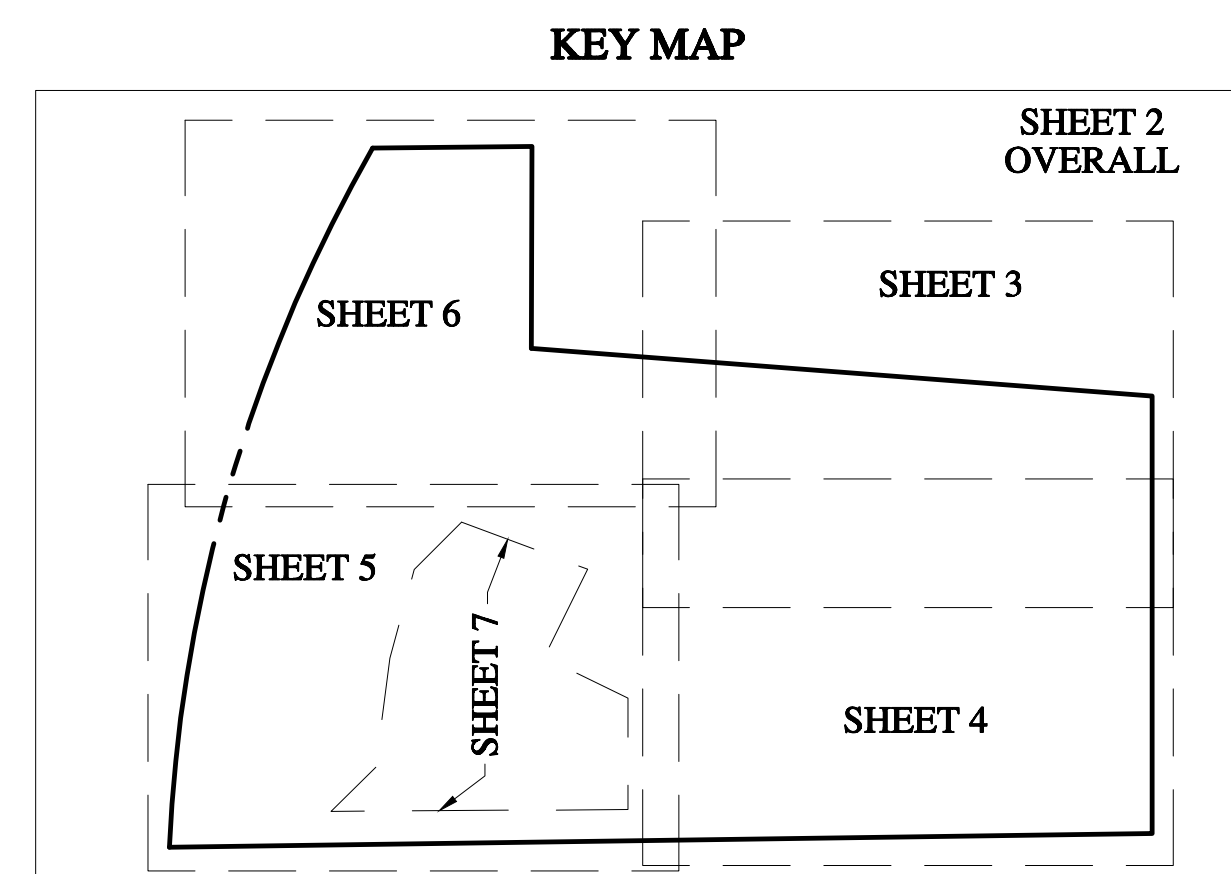
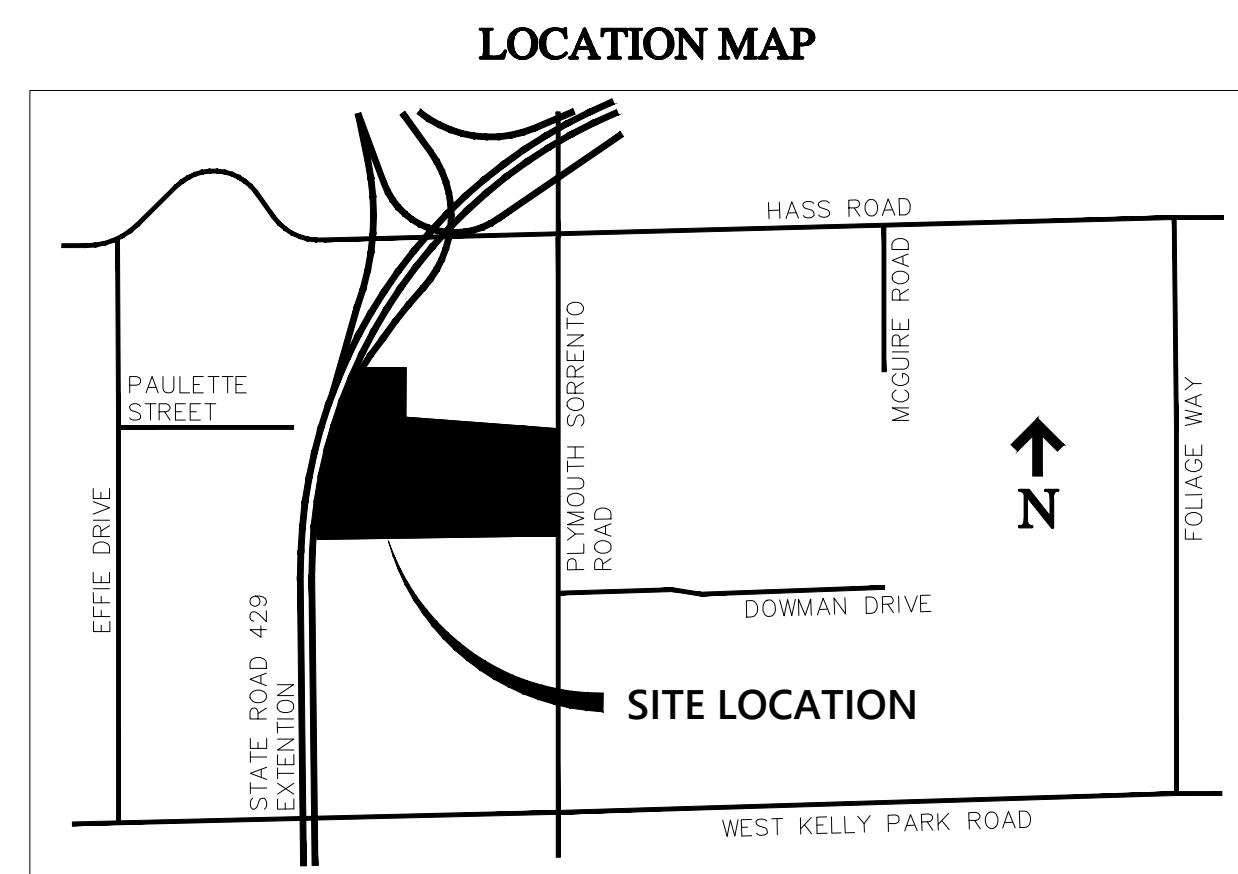
A PORTION OF THE EAST HALF OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST CITY OF APOPKA, ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION:

A portion of land being in the East half of Section 12, Township 20 South, Range 27 East, Orange County, Florida and being more particularly described as follows:

Commence at the northeast corner of the northeast quarter of said Section 12; thence run along the East line of said northeast quarter, South 00° 01' 00" East, 1876.80 feet, thence leaving said East line run North 85° 36' 15" West, 30.09 feet to a point on the West Right of Way line for Plymouth Sorrento Road, per Deed Book 402, Page 136, Public Records of Orange County, Florida, said point also being the POINT OF BEGINNING; thence run along said West Right of Way line, South 00° 01' 00" East, 776.34 feet to a point on the South line of said northeast quarter; thence continue along said West Right of Way line, South 00° 09' 58" West, 154.49 feet; thence leaving said West Right of Way line run, South 89° 11' 53" West, 2091.56 feet to a point on the easterly Right of Way line of State Road 429 (Wekiva Parkway), as shown on the Central Florida Expressway Authority Right of Way Map, from Project Number 429-203, said point being on a non-tangent curve, concave to the East, having a radius of 3300.00 feet, a central angle of 027° 09' 28", a chord bearing of North 16° 13' 21" East and a chord distance of 1549.57 feet; thence run along said easterly Right of Way line and arc of said curve 1564.18 feet to a point of non-tangency; thence leaving said easterly Right of Way line run, North 89° 21' 40" East, 339.02 feet; thence run, South 00° 14' 16" West, 429.96 feet; thence run, South 85° 36' 15" East, 1325.37 feet to the POINT OF BEGINNING.

Said portion of land contains 51.091 Acres more or less.



SHEETS

SHEET 1 = COVER/GENERAL NOTES
SHEET 2 = OVERALL PLAT
SHEET 3 - 7 = DETAILS

GENERAL NOTES:

- THE BEARING BASIS FOR THIS SURVEY IS ASSUMED NORTH AND RELATED TO THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST AS CALCULATED FROM COORDINATE DIFFERENCES BETWEEN CERTIFIED CORNER RECORD 47860 AND CERTIFIED CORNER RECORD 47870, BEING SOUTH 00° 01' 00" EAST, NAD83 DATUM.
- PURSUANT TO F.S. CHAPTER 177.091(28), ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THE ABOVE SHALL NOT APPLY TO ANY PRIVATE EASEMENTS, IF ANY, GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. CABLE TELEVISION SERVICES CONSTRUCTION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- TRACTS SW-1 AND SW-2 SHALL SERVE AS STORM WATER RETENTION/DETENTION TRACTS TO BE OWNED AND MAINTAINED BY THE BRIDLE PATH HOMEOWNERS ASSOCIATION, INC., A FLORIDA NON-PROFIT CORPORATION, OR ITS SUCCESSORS OR ASSIGNS. A PERPETUAL NON-EXCLUSIVE EASEMENT FOR ACCESS OVER TRACTS SW-1 AND SW-2 IS HEREBY GRANTED TO THE CITY OF APOPKA.
- TRACTS OS-1, OS-2, OS-3, OS-4, OS-5, OS-6, OS-7, OS-8, OS-9, OS-10, OS-11, OS-12 AND OS-13 SHALL SERVE AS OPEN SPACE/LANDSCAPE TRACTS TO BE OWNED AND MAINTAINED BY THE BRIDLE PATH HOMEOWNERS ASSOCIATION, INC., A FLORIDA NON-PROFIT CORPORATION, OR ITS SUCCESSORS OR ASSIGNS.
- TRACTS A-1 AND A-2 SHALL SERVE AS A RECREATION/AMENITY TRACT TO BE OWNED AND MAINTAINED BY THE BRIDLE PATH HOMEOWNERS ASSOCIATION, INC., A FLORIDA NON-PROFIT CORPORATION, OR ITS SUCCESSORS OR ASSIGNS.
- THERE IS HEREBY GRANTED AND DEDICATED TO THE CITY OF APOPKA, FOR THE PERPETUAL USE OF THE PUBLIC, A NON-EXCLUSIVE PUBLIC ACCESS MULTI-USE TRAIL EASEMENT OVER TRACTS RT-1, RT-2, RT-3 AND RT-4, AS WELL AS THE AREA DESIGNATED AS A 4 FOOT TRAIL. EACH TRAIL AND TRACT WILL BE OWNED AND MAINTAINED BY THE BRIDLE PATH HOMEOWNERS ASSOCIATION, INC., A FLORIDA NON-PROFIT CORPORATION, OR ITS SUCCESSORS OR ASSIGNS.
- TRACT LS-1 (LIFT STATION) IS HEREBY DEDICATED IN FEE SIMPLE TO THE CITY OF APOPKA WITHOUT ANY RESTRICTION WHATSOEVER. CITY OWNERSHIP OF SAID TRACT AND ANY IMPROVEMENTS THEREON VESTS UPON APPROVAL OF THE PLAT BY THE APOPKA PLANNING COMMISSION AND CITY COUNCIL OF APOPKA. RECORDING OF THIS PLAT SHALL ACT AS CONVEYANCE TO THE CITY OF APOPKA AND NO FURTHER INSTRUMENT SHALL BE NECESSARY TO VEST FEE SIMPLE TITLE.
- A PERPETUAL, NON-EXCLUSIVE UTILITY AND ACCESS EASEMENT, WHICH SURROUNDS TRACT LS-1, IS HEREBY GRANTED TO THE CITY OF APOPKA
- A PERPETUAL, NON-EXCLUSIVE EASEMENT FOR DRAINAGE AND ACCESS OVER TRACTS DE-1 AND DE-2 IS HEREBY GRANTED TO THE CITY OF APOPKA.
- THERE IS HEREBY GRANTED AND DEDICATED FOR THE PERPETUAL USE OF THE PUBLIC FOR UTILITY PURPOSES, A NON-EXCLUSIVE TEN FOOT UTILITY EASEMENT LOCATED ADJACENT TO ALL ROADWAYS.
- TRACT CA-1, CONSERVATION AREA, TO BE OWNED AND MAINTAINED BY THE BRIDLE PATH HOMEOWNERS ASSOCIATION, INC., A FLORIDA NON-PROFIT CORPORATION, OR ITS SUCCESSORS OR ASSIGNS

BRIDLE PATH DEDICATION:
THIS is to certify that the undersigned, BB Bridle Path LLC, a Florida Limited Liability Company, hereafter referred to as "Owner" is the lawful owner of the lands described in the caption hereon, and that it has caused the same to be surveyed, and this plat, made in accordance with said survey, is hereby adopted as the true and correct plat of said lands.
The Owner hereby dedicates tract ROW-1 (Right of Way Dedication) to the perpetual use of the Public.
The Owner hereby dedicates Tracts R-1, R-2, R-3, R-4, R-5, R-6, R-7 and R-8 (Internal Roadways) to the City of Apopka, for the perpetual use of the Public.
Tract LS-1 (Lift Station) is hereby dedicated in fee simple to the City of Apopka without any restriction whatsoever. City ownership of said Tract and any improvements thereon vests upon approval of the Plat by the Apopka Planning Commission and City Council of Apopka. Recording of this Plat shall act as conveyance to the City of Apopka and no further instrument shall be necessary to vest fee simple title.

IN WITNESS WHEREOF, the undersigned, BB Bridle Path LLC, a Florida Limited Liability Corporation, has caused these presents to be executed and acknowledged by its undersigned Officer thereunto duly authorized on this _____ day of _____ 2019.

WITNESSES:
By: _____
Printed Name of Witness _____ Printed Name _____
Title _____
Printed Name of Witness _____

STATE OF FLORIDA COUNTY OF ORANGE
THIS IS TO CERTIFY, that on _____ 2019, before me, an officer duly authorized to take acknowledgments in the State and County aforesaid, personally appeared _____ BB Bridle Path LLC, a Florida limited liability company, who is personally known to me or has produced the following Identification; Drivers License, and he did / did not take an oath that he is the person described in an who executed the foregoing Dedication and severally acknowledged the execution thereof to be his free act and deed for the uses and purposes therein expressed.

IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.

NOTARY PUBLIC:
Printed Name: _____
My Commission expires: _____
Commission Number: _____

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

Examined and Approved _____ Chairman _____ Date _____

CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined and Approved _____ Richard Earp _____ Date _____

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, that on _____ the foregoing plat was approved by the Municipality.

Mayor _____
Attest: _____
City Clerk _____

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records on _____ 2019,

File Number: _____
County Comptroller in and for Orange County, Florida.

CERTIFICATE OF REVIEW BY CITY SURVEYOR
Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to Chapter 177, Part 1 of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.
Signature: _____ Date: _____
Print Name: _____
Company: _____
Address: _____
Registration Number: _____

CERTIFICATE OF SURVEYOR AND MAPPER
KNOW ALL MEN BY THESE PRESENTS, that I the undersigned, being a licensed surveyor and mapper, do hereby certify that on September 1, 2017 I completed the survey of the lands as shown in the foregoing plat or plan; that said plat is a true and correct representation of the lands surveyed and platted and was prepared under my direction and supervision; that permanent reference monuments have been placed as shown thereon; and this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Orange County, Florida.
By: _____ Date: _____
Surveyors Name: Eli J. Donaldson
Registration Number: 6994
Florida Professional Surveyor and Mapper
Registration Number Of Legal Entity: L.B. 7153
Vanasse Hangen Brustlin, Inc.
225 E. Robinson Street, Suite 300
Orlando, Florida 32801

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #7153

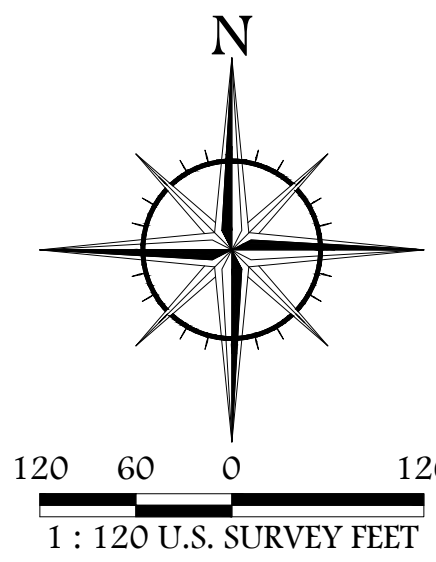
BRIDLE PATH

SHEET 2 OF 7

PLAT BOOK

PAGE

A PORTION OF THE EAST HALF OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



LEGEND

- C.C.R. = CERTIFIED CORNER REPORT
- CMON = CONCRETE MONUMENT
- FND. = FOUND
- ID. = IDENTIFICATION
- LB = LICENSED BUSINESS
- LS = LICENSED SURVEYOR
- P.B. = PLAT BOOK
- PG. = PAGE
- P.N.T. = POINT OF NON-TANGENCY CURVE
- RNG. = RANGE
- SEC. = SECTION
- S.R. = STATE ROAD
- TWP. = TOWNSHIP
- = SET 4" X 4" CMON WITH NAIL & DISC "VHB PRM LB 7153"



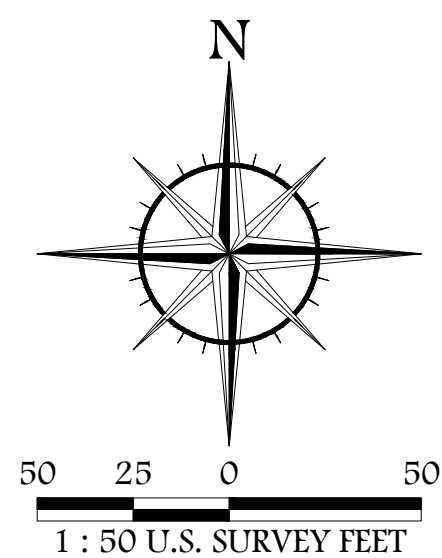
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BRIDLE PATH

A PORTION OF THE EAST HALF OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



POINT OF COMMENCEMENT

NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SEC. 12, TWP. 20 SOUTH, RNG. 27 EAST FND. 1/2" IRON ROD IN WELL BOX, NO. D. C.C.R.# 47860

POINT OF BEGINNING



CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	360.00'	17° 35' 42"	S 81°12'59" W	110.12'	110.55'
C2	235.00'	4° 32' 34"	S 74°41'25" W	18.63'	18.63'
C3	235.00'	9° 49' 08"	S 81°52'16" W	40.22'	40.27'
C4	235.00'	14° 21' 41"	S 79°35'59" W	58.75'	58.90'
C5	395.00'	16° 53' 11"	N 84°46'35" W	116.00'	116.42'
C7	395.00'	19° 09' 52"	N 83°38'14" W	131.51'	132.12'

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C50	25.00'	53° 07' 48"	N 63°25'16" W	22.36'	23.18'
C51	25.00'	36° 52' 12"	N 18°25'16" W	15.81'	16.09'
C52	25.00'	90° 00' 00"	N 44°59'10" W	35.36'	39.27'
C53	25.00'	94° 22' 56"	S 47°12'18" W	36.68'	41.18'
C92	25.00'	99° 05' 00"	N 58°02'22" W	38.04'	43.23'
C93	975.00'	3° 39' 09"	N 06°40'17" W	62.14'	62.15'
C94	975.00'	4° 17' 46"	N 02°41'50" W	73.09'	73.11'
C95	975.00'	3° 14' 17"	N 01°04'11" E	55.09'	55.10'
C96	975.00'	1° 43' 27"	N 03°33'03" E	29.34'	29.34'
C97	975.00'	12° 54' 38"	N 02°02'32" W	219.24'	219.70'
C98	25.00'	89° 58' 59"	N 49°24'16" E	35.35'	39.26'
C99	25.00'	85° 37' 04"	S 42°47'42" E	33.98'	37.36'
C100	25.00'	90° 00' 00"	S 45°00'50" W	35.36'	39.27'
C101	390.00'	6° 40' 10"	S 86°40'45" W	45.37'	45.40'
C102	390.00'	9° 33' 31"	S 78°33'54" W	64.99'	65.06'
C103	390.00'	1° 22' 00"	S 73°06'08" W	9.30'	9.30'
C104	390.00'	17° 35' 42"	S 81°12'59" W	119.29'	119.76'
C105	844.00'	4° 13' 05"	N 06°57'15" W	62.12'	62.14'
C106	844.00'	3° 31' 34"	N 03°04'56" W	51.93'	51.94'
C107	844.00'	3° 44' 34"	N 00°33'09" E	55.12'	55.13'
C108	844.00'	1° 59' 21"	N 03°25'06" E	29.30'	29.30'
C109	844.00'	1° 59' 21"	S 03°25'06" W	29.30'	29.30'
C110	844.00'	11° 29' 14"	S 03°19'11" E	168.93'	169.21'
C111	844.00'	13° 28' 35"	S 02°19'31" E	198.06'	198.51'
C313	7.00'	180° 00' 00"	N 00°00'50" E	14.00'	21.99'
C314	11.40'	21° 44' 00"	S 78°23'43" E	4.30'	4.32'
C315	5.61'	141° 31' 08"	S 06°09'03" W	10.60'	13.87'

LEGEND & ABBREVIATIONS

- CCR = CERTIFIED CORNER RECORD
- CHB = CURVE CHORD BEARING
- CHD = CURVE CHORD DISTANCE
- CMON = CONCRETE MONUMENT
- D.E. = DRAINAGE EASEMENT
- L = CURVE LENGTH
- LB = LICENSED BUSINESS
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- PCP = PERMANENT CONTROL POINT
- P.I. = POINT OF INTERSECTION
- PRM = PERMANENT REFERENCE MONUMENT
- P.T. = POINT OF TANGENCY
- R = CURVE RADIUS
- RNG. = RANGE
- SEC. = SECTION
- TWP. = TOWNSHIP
- U.E. = UTILITY EASEMENT
- Δ = CURVE DELTA ANGLE
- = SET MAG NAIL AND DISC "PCP LB 7153"
- = SET 4" X 4" CMON WITH NAIL & DISC "VHB PRM LB 7153"

LINE TABLE		
LINE #	BEARING	LENGTH
L1	S 89°59'10" E	103.98'
L2	S 68°01'17" E	6.94'
L3	N 89°59'10" W	113.49'

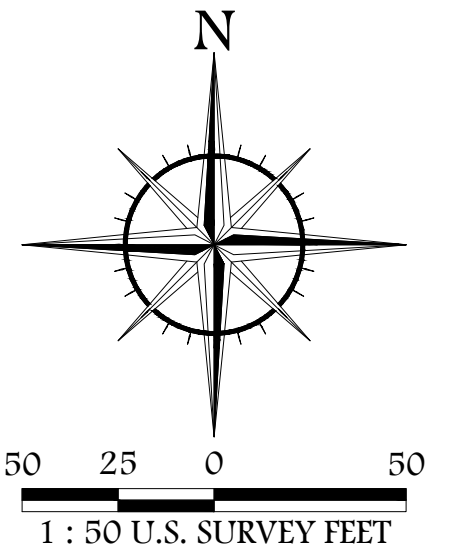
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225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #7153

BRIDLE PATH

A PORTION OF THE EAST HALF OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



LEGEND & ABBREVIATIONS

- CCR = CERTIFIED CORNER RECORD
- CHB = CURVE CHORD BEARING
- CHD = CURVE CHORD DISTANCE
- CMON = CONCRETE MONUMENT
- D.E. = DRAINAGE EASEMENT
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- R = CURVE RADIUS
- RNG. = RANGE
- SEC. = SECTION
- TWP. = TOWNSHIP
- U.E. = UTILITY EASEMENT
- Δ = CURVE DELTA ANGLE
- = SET MARK NAIL AND DISC "PCP LB 7153"
- = SET 4" X 4" CMON WITH NAIL & DISC "VHB PRM LB 7153"



SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF SEC. 12, TWP. 20 SOUTH, RANG. 27 EAST FND. 1/2" IRON ROD IN WELL BOX, NO. D. C.C.R.# 47863

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	360.00'	17° 35' 42"	S 81°12'59" W	110.12'	110.55'
C2	235.00'	4° 32' 34"	S 74°41'25" W	18.63'	18.63'
C3	235.00'	9° 49' 08"	S 81°52'16" W	40.22'	40.27'
C4	235.00'	14° 21' 41"	S 79°35'59" W	58.75'	58.90'
C5	395.00'	16° 53' 11"	N 84°46'35" W	116.00'	116.42'
C6	395.00'	2° 16' 41"	S 75°11'39" E	15.70'	15.70'
C7	395.00'	19° 09' 52"	N 83°38'14" W	131.51'	132.12'
C13	65.00'	89° 13' 07"	S 44°37'23" W	91.29'	101.22'
C14	1125.00'	11° 33' 13"	N 84°59'27" W	226.47'	226.85'
C19	540.00'	6° 16' 36"	S 82°07'30" E	59.13'	59.16'
C120	540.00'	5° 16' 33"	S 87°54'04" E	49.71'	49.72'

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C121	540.00'	5° 16' 23"	N 86°49'28" E	49.68'	49.70'
C122	540.00'	5° 21' 15"	N 81°30'39" E	50.44'	50.46'
C123	540.00'	5° 26' 58"	N 76°06'32" E	51.34'	51.36'
C124	540.00'	0° 57' 55"	N 72°54'06" E	9.10'	9.10'
C125	540.00'	10° 45' 47"	S 84°22'05" E	101.29'	101.44'
C126	540.00'	6° 03' 45"	N 87°13'13" E	57.11'	57.14'
C127	540.00'	28° 35' 40"	N 86°42'58" E	266.71'	269.50'
C129	25.00'	90° 00' 00"	S 44°59'10" E	35.36'	39.27'
C130	40.00'	89° 13' 07"	S 44°37'23" W	56.18'	62.29'
C131	25.00'	90° 46' 53"	N 45°22'37" W	35.60'	39.61'
C132	25.00'	90° 00' 00"	N 45°00'50" E	35.36'	39.27'

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C133	25.00'	90° 00' 00"	S 44°59'10" E	35.36'	39.27'
C134	25.00'	89° 13' 07"	S 44°37'23" W	55.11'	58.93'
C135	1100.00'	0° 22' 40"	S 89°25'17" W	7.25'	7.25'
C136	1100.00'	2° 54' 31"	N 88°56'08" W	55.84'	55.84'
C137	1100.00'	2° 54' 31"	N 86°01'36" W	55.84'	55.84'
C138	1100.00'	2° 33' 05"	N 83°17'48" W	48.98'	48.98'
C139	1100.00'	8° 44' 48"	N 86°42'58" E	167.76'	167.92'
C140	25.00'	95° 41' 16"	N 34°10'37" W	37.07'	41.75'
C141	25.00'	83° 32' 55"	N 55°26'28" E	33.31'	36.45'
C142	420.00'	6° 57' 51"	S 86°16'00" E	51.02'	51.05'
C143	420.00'	7° 30' 30"	N 86°29'50" E	55.00'	55.04'

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C144	420.00'	6° 55' 46"	N 79°16'42" E	50.76'	50.80'
C145	420.00'	3° 23' 41"	N 74°06'59" E	24.88'	24.88'
C146	420.00'	24° 47' 48"	N 84°49'02" E	180.35'	181.77'
C147	330.00'	7° 04' 01"	N 75°57'09" E	40.68'	40.70'
C148	330.00'	10° 31' 40"	N 84°45'00" E	60.55'	60.64'
C149	330.00'	17° 35' 42"	N 81°12'59" E	100.94'	101.34'
C196	1150.00'	2° 45' 49"	S 81°55'55" E	55.46'	55.47'
C197	1150.00'	2° 43' 01"	S 84°40'20" E	54.53'	54.53'
C198	1150.00'	2° 44' 25"	S 87°24'03" E	54.99'	55.00'
C199	1150.00'	1° 59' 48"	S 89°46'09" E	40.07'	40.08'
C200	1150.00'	26° 50' 11"	S 77°20'58" E	533.73'	538.64'

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C201	25.00'	90° 00' 00"	S 45°46'03" E	35.36'	39.27'
C202	90.00'	13° 31' 13"	S 06°46'26" W	21.19'	21.24'
C203	90.00'	28° 57' 18"	S 28°00'41" W	45.00'	45.48'
C204	90.00'	28° 57' 18"	S 56°57'59" W	45.00'	45.48'
C205	90.00'	17° 47' 18"	S 80°20'18" W	27.83'	27.94'
C206	90.00'	89° 13' 07"	S 44°37'23" W	126.41'	140.14'
C207	25.00'	90° 00' 00"	S 44°13'57" W	35.36'	39.27'
C316	25.00'	36° 52' 12"	S 18°26'56" W	15.81'	16.09'
C317	25.00'	53° 07' 48"	S 63°26'56" W	22.36'	23.18'
C318	25.00'	90° 00' 00"	S 45°00'50" W	35.36'	39.27'

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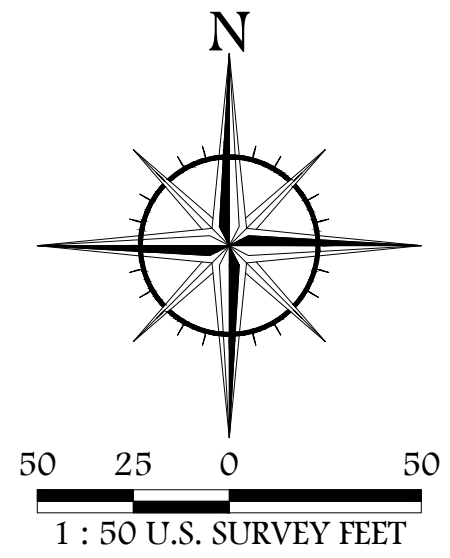
BRIDLE PATH

A PORTION OF THE EAST HALF OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST CITY OF APOPKA, ORANGE COUNTY, FLORIDA

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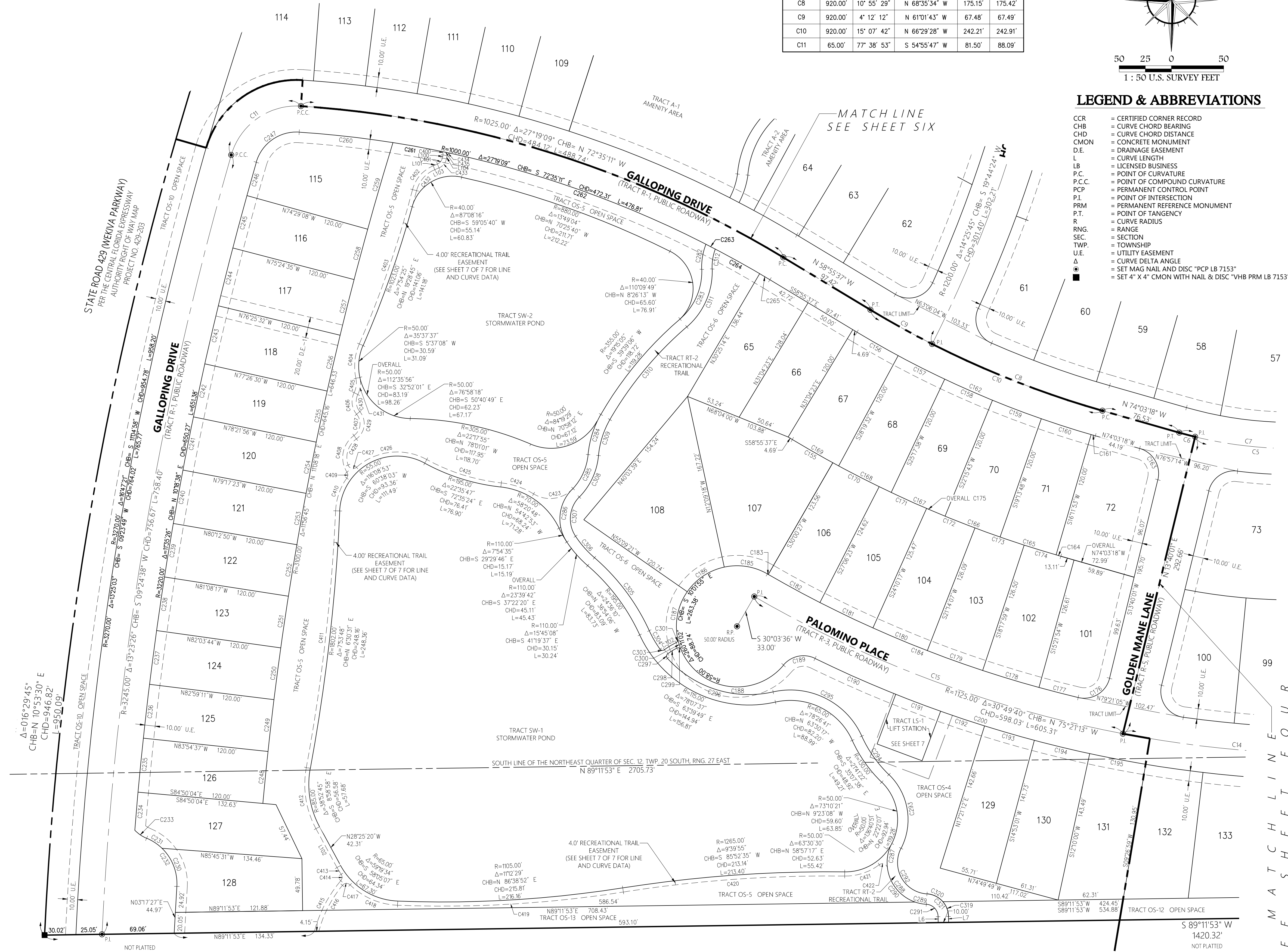
CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C155	1065.00'	2° 24' 19"	S 60°07'46" E	44.71'	44.71'
C156	945.00'	2° 44' 51"	S 60°18'02" E	45.31'	45.32'
C157	945.00'	3° 01' 55"	S 63°11'25" E	50.00'	50.01'
C158	945.00'	3° 01' 55"	S 66°13'20" E	50.00'	50.01'
C159	945.00'	3° 01' 55"	S 69°15'14" E	50.00'	50.01'
C160	945.00'	3° 01' 55"	S 72°17'09" E	50.00'	50.01'
C161	945.00'	0° 15' 12"	S 73°55'42" E	4.18'	4.18'
C162	945.00'	15° 07' 42"	S 66°29'27" E	248.79'	249.52'
C163	25.00'	87° 43' 19"	S 30°11'39" E	34.65'	38.28'
C164	1065.00'	0° 15' 10"	S 73°55'42" E	4.70'	4.70'
C165	1065.00'	3° 01' 55"	S 72°17'09" E	56.35'	56.36'
C166	1065.00'	3° 01' 55"	S 69°15'14" E	56.35'	56.36'
C167	1065.00'	3° 01' 55"	S 66°13'20" E	56.35'	56.36'
C168	1065.00'	3° 01' 55"	S 63°11'25" E	56.35'	56.36'
C169	1065.00'	2° 44' 50"	S 60°18'01" E	51.06'	51.06'
C170	1065.00'	2° 41' 19"	S 62°40'35" E	49.97'	49.98'
C171	1065.00'	2° 41' 15"	S 65°21'52" E	49.95'	49.95'
C172	1065.00'	2° 41' 09"	S 68°03'04" E	49.92'	49.92'
C173	1065.00'	2° 41' 03"	S 70°44'10" E	49.89'	49.89'
C174	1065.00'	1° 58' 37"	S 73°04'00" E	36.74'	36.75'
C175	1065.00'	15° 07' 42"	S 66°29'27" E	280.39'	281.20'
C176	25.00'	89° 39' 05"	S 58°29'33" W	35.25'	39.12'
C177	1100.00'	2° 01' 06"	N 75°40'22" W	38.74'	38.75'
C178	1100.00'	2° 56' 04"	N 73°11'47" W	56.33'	56.34'
C179	1100.00'	2° 56' 08"	N 70°15'41" W	56.35'	56.36'
C180	1100.00'	2° 56' 09"	N 67°19'32" W	56.36'	56.37'
C181	1100.00'	2° 56' 07"	N 64°23'24" W	56.35'	56.35'
C182	1100.00'	2° 55' 48"	N 61°27'27" W	56.24'	56.25'
C183	1100.00'	0° 03' 09"	N 59°57'58" W	1.01'	1.01'
C184	1100.00'	16° 44' 31"	N 68°18'39" W	320.28'	321.42'
C185	58.00'	42° 12' 54"	N 81°02'51" W	41.77'	42.73'
C186	58.00'	43° 00' 04"	S 56°20'41" W	42.52'	43.53'
C187	58.00'	47° 08' 13"	S 11°16'32" W	46.38'	47.72'
C188	58.00'	117° 22' 46"	S 81°26'03" E	99.11'	118.82'
C189	25.00'	76° 11' 34"	N 77°58'21" E	30.85'	33.25'
C190	1150.00'	4° 12' 44"	S 66°02'14" E	84.52'	84.54'
C191	1150.00'	2° 17' 31"	S 69°17'21" E	46.00'	46.00'
C192	1150.00'	2° 12' 41"	S 71°32'27" E	44.38'	44.38'
C193	1150.00'	2° 28' 11"	S 73°52'53" E	49.57'	49.57'
C194	1150.00'	2° 43' 01"	S 76°28'30" E	54.53'	54.53'
C195	1150.00'	2° 43' 01"	S 79°11'30" E	54.53'	54.53'
C200	47.00'	49° 21' 44"	N 21°23'25" W	39.25'	40.49'
C231	47.00'	21° 26' 37"	N 56°47'35" W	17.49'	17.59'
C232	47.00'	70° 48' 21"	N 32°06'43" W	54.46'	58.08'
C233	33.00'	24° 03' 35"	N 55°29'06" W	13.76'	13.86'
C234	3220.00'	0° 39' 00"	N 04°50'26" E	36.53'	36.53'
C235	3220.00'	0° 55' 27"	N 05°37'39" E	51.93'	51.94'
C236	3220.00'	0° 55' 27"	N 06°33'06" E	51.93'	51.94'
C237	3220.00'	0° 55' 27"	N 07°28'33" E	51.93'	51.94'
C238	3220.00'	0° 55' 27"	N 08°24'00" E	51.93'	51.94'
C239	3220.00'	0° 55' 27"	N 09°19'26" E	51.93'	51.94'
C240	3220.00'	0° 55' 27"	N 10°14'53" E	51.93'	51.94'
C241	3220.00'	0° 55' 27"	N 11°10'20" E	51.93'	51.94'
C242	3220.00'	0° 55' 27"	N 12°05'47" E	51.93'	51.94'
C243	3220.00'	1° 00' 57"	N 13°03'59" E	57.09'	57.10'
C244	3220.00'	1° 00' 57"	N 14°04'57" E	57.10'	57.10'
C245	3220.00'	0° 55' 27"	N 15°03'09" E	51.93'	51.94'
C246	3220.00'	0° 35' 29"	N 15°48'37" E	33.23'	33.24'
C247	40.00'	77° 38' 53"	N 54°55'47" E	50.15'	54.21'
C248	3100.00'	0° 55' 27"	N 05°37'39" E	50.00'	50.00'
C249	3100.00'	0° 55' 27"	N 06°33'06" E	50.00'	50.00'
C250	3100.00'	0° 55' 27"	N 07°28'33" E	50.00'	50.00'
C251	3100.00'	0° 55' 27"	N 08°24'00" E	50.00'	50.00'
C252	3100.00'	0° 55' 27"	N 09°19'26" E	50.00'	50.00'
C253	3100.00'	0° 55' 27"	N 10°14'53" E	50.00'	50.00'
C254	3100.00'	0° 55' 27"	N 11°10'20" E	50.00'	50.00'
C255	3100.00'	0° 55' 27"	N 12°05'47" E	50.00'	50.00'
C256	3100.00'	1° 00' 57"	N 13°03'59" E	54.97'	54.97'
C257	3100.00'	1° 00' 57"	N 14°04'57" E	54.97'	54.97'
C258	3100.00'	0° 55' 27"	N 15°03'09" E	50.00'	50.00'
C259	3100.00'	1° 35' 48"	N 16°18'46" E	86.39'	86.39'
C260	1000.00'	5° 10' 41"	N 83°39'26" W	90.34'	90.37'
C265	1000.00'	0° 39' 09"	N 59°15'11" W	11.39'	11.39'
C300	58.00'	10° 27' 06"	S 17°31'07" E	10.57'	10.58'

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C5	395.00'	16° 53' 11"	N 84°46'35" W	116.00'	116.42'
C6	395.00'	2° 16' 41"	S 75°11'39" E	15.70'	15.70'
C7	395.00'	19° 09' 52"	N 83°38'14" W	131.51'	132.12'
C8	920.00'	10° 55' 29"	N 68°35'34" W	175.15'	175.42'
C9	920.00'	4° 12' 12"	N 61°01'43" W	67.48'	67.49'
C10	920.00'	15° 07' 42"	N 66°29'28" W	242.21'	242.91'
C11	65.00'	77° 38' 53"	S 54°55'47" W	81.50'	88.09'



LEGEND & ABBREVIATIONS

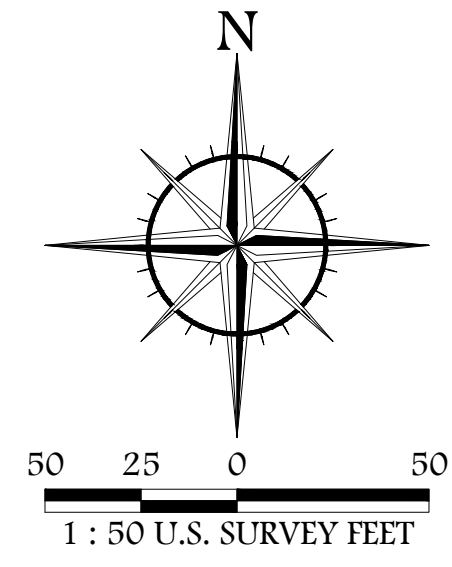
- CCR = CERTIFIED CORNER RECORD
- CHB = CURVE CHORD BEARING
- CHD = CURVE CHORD DISTANCE
- CMON = CONCRETE MONUMENT
- D.E. = DRAINAGE EASEMENT
- L = CURVE LENGTH
- LB = LICENSED BUSINESS
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- PCP = PERMANENT CONTROL POINT
- P.I. = POINT OF INTERSECTION
- PRM = PERMANENT REFERENCE MONUMENT
- P.T. = POINT OF TANGENCY
- R = CURVE RADIUS
- RNG. SEC. = RANGE SECTION
- TWP. = TOWNSHIP
- U.E. = UTILITY EASEMENT
- Δ = CURVE DELTA ANGLE
- ⊙ = SET MAG NAIL AND DISC "PCP LB 7153"
- ⊙ = SET 4" X 4" CMON WITH NAIL & DISC "VHB PRM LB 7153"



SEE A T C H E E T F O R

BRIDLE PATH

A PORTION OF THE EAST HALF OF SECTION 12,
TOWNSHIP 20 SOUTH, RANGE 27 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



LEGEND & ABBREVIATIONS

- CCR = CERTIFIED CORNER RECORD
- CHD = CURVE CHORD DISTANCE
- CMON = CONCRETE MONUMENT
- D.E. = DRAINAGE EASEMENT
- L = CURVE LENGTH
- LB = LICENSED BUSINESS
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- PCP = PERMANENT CONTROL POINT
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- PRM = PERMANENT REFERENCE MONUMENT
- P.T. = POINT OF TANGENCY
- R = CURVE RADIUS
- RNG. SEC. = RANGE
- TWP. = TOWNSHIP
- U.E. = UTILITY EASEMENT
- Δ = CURVE DELTA ANGLE
- = SET MAG NAIL AND DISC "PCP LB 7153"
- = SET 4" X 4" CMON WITH NAIL & DISC "VHB PRM LB 7153"

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C2	235.00'	4° 32' 34"	S 74°41'25" W	18.63'	18.63'
C3	235.00'	9° 49' 08"	S 81°52'16" W	40.22'	40.27'
C4	235.00'	14° 21' 41"	S 79°35'59" W	58.75'	58.90'
C5	395.00'	16° 53' 11"	N 84°46'35" W	116.00'	116.42'
C6	395.00'	2° 16' 41"	S 75°11'39" E	15.70'	15.70'
C7	395.00'	19° 09' 52"	N 83°38'14" W	131.51'	132.12'
C8	920.00'	10° 55' 29"	N 68°35'34" W	175.15'	175.42'
C9	920.00'	4° 12' 12"	N 61°01'43" W	67.48'	67.49'
C10	920.00'	15° 07' 42"	N 66°29'28" W	242.21'	242.91'
C11	65.00'	77° 38' 53"	S 54°55'47" W	81.50'	88.09'
C12	55.00'	81° 52' 14"	S 53°27'39" W	72.07'	78.59'

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C54	80.00'	15° 53' 28"	S 86°27'01" W	22.12'	22.19'
C55	80.00'	36° 20' 11"	S 60°20'12" W	49.89'	50.74'
C56	80.00'	29° 38' 34"	S 27°20'49" W	40.93'	41.39'
C57	80.00'	81° 52' 14"	S 53°27'39" W	104.83'	114.31'
C58	1175.00'	0° 45' 13"	S 12°54'08" W	15.45'	15.45'
C59	1175.00'	2° 41' 42"	S 14°37'35" W	55.26'	55.27'
C60	1175.00'	3° 28' 39"	S 17°42'46" W	71.31'	71.32'
C61	1175.00'	4° 56' 41"	S 21°55'26" W	101.37'	101.40'
C62	1175.00'	11° 52' 15"	S 18°27'39" W	243.01'	243.44'
C63	25.00'	96° 40' 37"	S 72°44'05" W	37.35'	42.18'
C64	1050.00'	2° 35' 13"	N 60°13'14" W	47.41'	47.41'
C65	25.00'	90° 57' 20"	S 20°52'57" E	35.65'	39.69'
C66	1225.00'	4° 28' 20"	N 22°21'33" E	95.59'	95.62'
C67	1225.00'	2° 34' 25"	N 18°50'11" E	55.02'	55.02'
C68	1225.00'	2° 34' 22"	N 16°15'48" E	55.00'	55.00'
C69	1225.00'	2° 27' 05"	N 13°45'04" E	52.41'	52.41'
C70	1225.00'	12° 04' 12"	N 18°33'37" E	257.58'	258.06'
C71	30.00'	81° 52' 14"	S 53°27'39" W	39.31'	42.87'
C72	25.00'	90° 01' 01"	N 40°35'44" W	35.36'	39.28'
C73	1025.00'	1° 38' 27"	S 03°35'33" W	29.35'	29.35'
C74	1025.00'	3° 04' 46"	S 01°13'57" W	55.08'	55.09'
C75	1025.00'	3° 24' 12"	S 02°00'32" E	60.88'	60.88'
C76	1025.00'	5° 23' 35"	S 06°24'26" E	96.44'	96.48'
C77	1025.00'	13° 31' 00"	S 02°20'43" E	241.25'	241.81'
C78	25.00'	98° 22' 24"	N 40°04'59" E	37.84'	42.92'
C79	370.00'	11° 30' 57"	S 84°58'20" E	74.24'	74.37'
C80	370.00'	5° 09' 34"	S 76°38'05" E	33.31'	33.32'
C81	370.00'	16° 40' 31"	S 82°23'34" E	107.30'	107.68'
C82	895.00'	0° 50' 29"	S 73°38'04" E	13.14'	13.14'
C83	895.00'	4° 04' 04"	S 71°04'48" E	63.53'	63.54'
C84	895.00'	2° 47' 09"	S 67°45'11" E	43.51'	43.52'
C85	895.00'	7° 41' 42"	S 70°12'27" E	120.11'	120.20'
C86	441.65'	1° 52' 12"	S 70°44'48" E	14.41'	14.41'
C87	441.65'	5° 38' 46"	S 72°38'05" E	43.50'	43.52'
C88	441.65'	7° 07' 02"	S 79°00'58" E	54.83'	54.86'
C89	441.65'	8° 22' 00"	S 86°45'29" E	64.43'	64.49'
C90	441.65'	19° 15' 36"	S 81°18'41" E	147.76'	148.46'
C91	441.65'	21° 07' 47"	S 80°22'35" E	161.95'	162.87'
C208	1050.00'	0° 52' 36"	N 61°57'08" W	16.07'	16.07'
C209	1050.00'	0° 32' 45"	N 62°39'49" W	10.00'	10.00'
C210	1050.00'	9° 06' 03"	N 67°29'13" W	166.61'	166.78'
C211	1050.00'	2° 43' 43"	N 73°24'06" W	50.00'	50.00'
C212	1050.00'	2° 43' 43"	N 76°07'49" W	50.00'	50.00'
C213	1050.00'	2° 43' 43"	N 78°51'32" W	50.00'	50.00'
C214	1050.00'	2° 43' 43"	N 81°35'15" W	50.00'	50.00'
C215	1050.00'	2° 43' 43"	N 84°18'58" W	50.00'	50.00'
C216	1050.00'	0° 33' 57"	N 85°57'48" W	10.37'	10.37'
C218	90.00'	77° 38' 53"	S 54°55'47" W	112.85'	121.97'
C219	3270.00'	3° 22' 18"	N 17°47'30" E	192.40'	192.43'
C220	210.00'	9° 41' 33"	N 77°34'49" E	35.48'	35.53'
C221	210.00'	11° 19' 38"	N 88°05'25" E	41.45'	41.52'
C222	210.00'	21° 01' 12"	N 83°14'38" E	76.61'	77.04'
C223	1170.00'	0° 33' 57"	S 85°57'48" E	11.55'	11.55'
C224	1170.00'	2° 43' 43"	S 84°18'58" E	55.71'	55.72'
C225	1170.00'	2° 43' 43"	S 81°35'15" E	55.71'	55.72'
C226	1170.00'	2° 43' 43"	S 78°51'32" E	55.71'	55.72'
C227	1170.00'	2° 43' 43"	N 76°07'49" W	55.71'	55.72'
C228	1170.00'	2° 43' 43"	N 73°24'06" W	55.71'	55.72'
C229	1170.00'	14° 12' 32"	N 79°08'30" W	289.41'	290.15'
C266	338.67'	12° 00' 46"	S 11°08'04" W	70.88'	71.01'
C267	238.30'	19° 44' 39"	N 11°07'44" E	81.71'	82.12'
C268	223.99'	2° 17' 12"	N 26°27'05" E	8.94'	8.94'
C269	50.00'	12° 42' 43"	N 34°49'40" E	11.07'	11.09'
C270	828.18'	4° 18' 54"	N 43°20'29" E	62.36'	62.37'
C271	828.18'	0° 49' 40"	N 45°54'46" E	11.97'	11.97'
C272	828.18'	5° 08' 34"	N 43°45'19" E	74.31'	74.34'
C273	95.86'	41° 03' 30"	S 25°37'16" W	67.24'	68.70'
C274	70.00'	19° 42' 36"	N 18°03'12" E	23.96'	24.08'
C275	80.00'	19° 50' 41"	N 17°54'52" E	27.57'	27.71'
C276	85.86'	41° 13' 06"	S 25°31'52" W	60.45'	61.77'
C277	838.18'	5° 08' 30"	N 43°45'17" E	75.19'	75.22'
C278	60.00'	12° 27' 08"	N 34°57'28" E	13.01'	13.04'
C279	233.99'	2° 27' 43"	N 26°26'49" E	10.05'	10.05'
C280	248.30'	19° 45' 05"	N 11°12'43" E	85.17'	85.60'
C281	328.67'	12° 20' 59"	S 11°21'39" W	70.70'	70.84'
C322	90.00'	77° 38' 53"	S 54°55'47" W	112.85'	121.97'

R=3300.00'
Δ=0°00'39" E
CHD=244.28'
L=6.1408'

R=25.00'
Δ=52°54'41"
CHD=6.50'
L=6.51'

R=25.00'
Δ=14°55'44"
CHD=8.937' E
L=12.51'

R=25.00'
Δ=89°37'13"
CHD=20.96'
L=26.62'

R=25.00'
Δ=145°00'00"
CHD=50.00'
L=50.00'

R=25.00'
Δ=81°52'14"
CHD=38.81'
L=45.26'

R=25.00'
Δ=90°47'32"
CHD=35.60'
L=39.62'

R=25.00'
Δ=71°07'30"
CHD=31.03'
L=31.03'

R=25.00'
Δ=52°54'41"
CHD=6.50'
L=6.51'

R=25.00'
Δ=14°55'44"
CHD=8.937' E
L=12.51'

R=25.00'
Δ=89°37'13"
CHD=20.96'
L=26.62'

R=25.00'
Δ=145°00'00"
CHD=50.00'
L=50.00'

R=25.00'
Δ=81°52'14"
CHD=38.81'
L=45.26'

R=25.00'
Δ=90°47'32"
CHD=35.60'
L=39.62'

R=25.00'
Δ=71°07'30"
CHD=31.03'
L=31.03'

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL
REPRODUCTION OF THE SUBDIVISION DESCRIBED HEREIN AND WILL IN NO CIR-
CUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL
FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT
RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS
COUNTY.

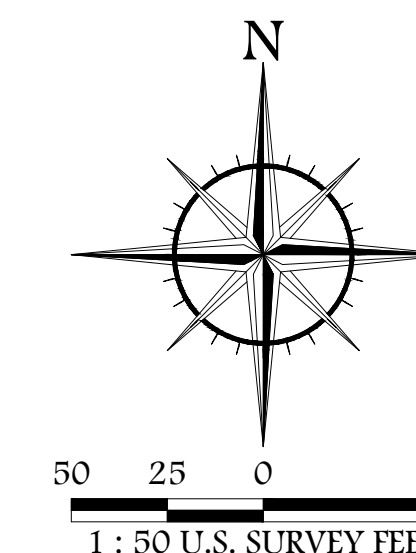
225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #7153

M A T C H L I N E
S E E S H E E T F I V E

S E E S H E E T T H R E E

BRIDLE PATH

A PORTION OF THE EAST HALF OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

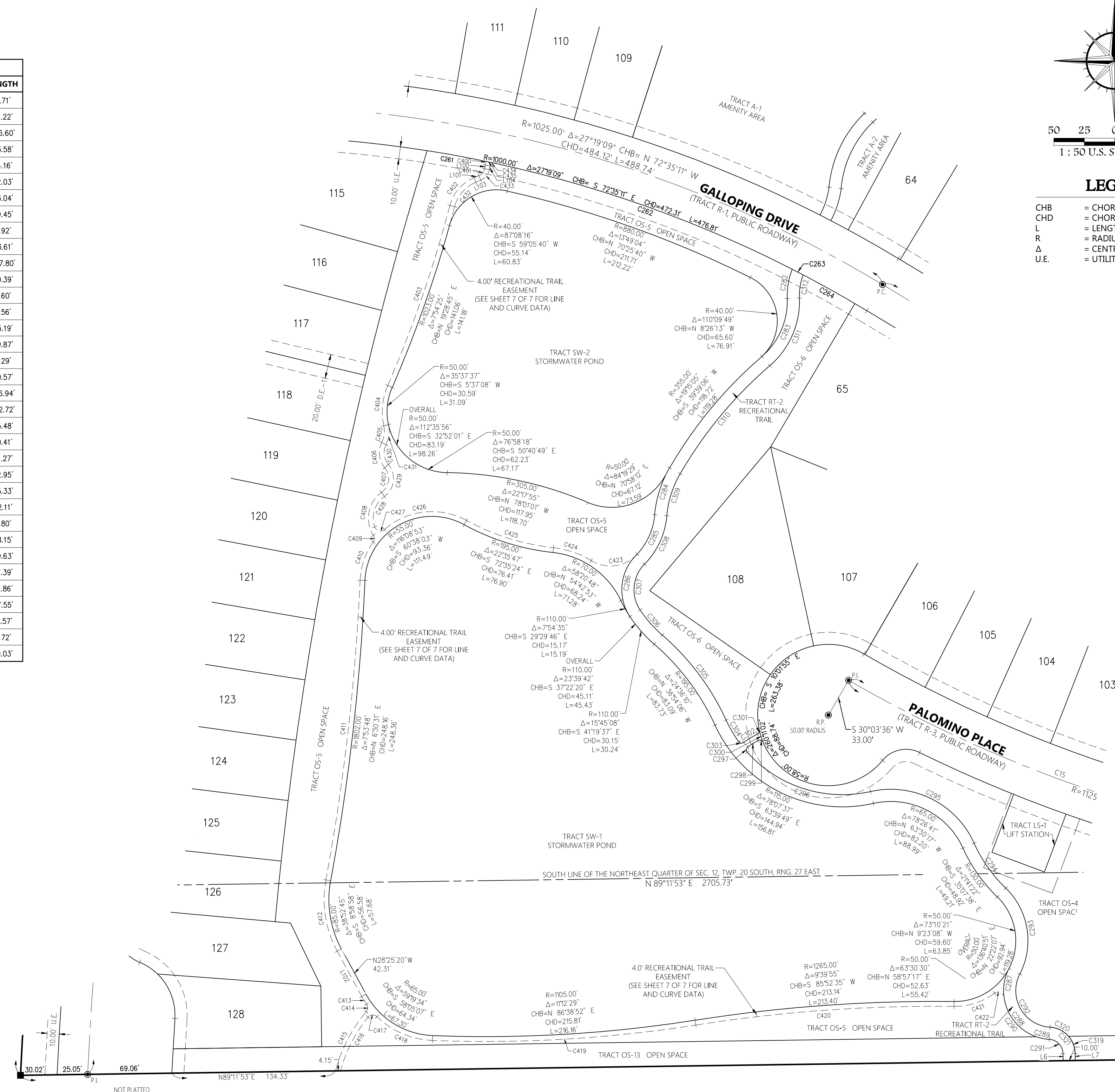


LEGEND

- CHB = CHORD BEARING
- CHD = CHORD DISTANCE
- L = LENGTH
- R = RADIUS
- Δ = CENTRAL ANGLE
- U.E. = UTILITY EASEMENT

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C263	1000.00'	0° 34' 36"	N 62°38'44" W	10.06'	10.06'
C282	60.00'	23° 25' 58"	S 09°42'14" W	24.37'	24.54'
C283	60.00'	51° 17' 24"	N 23°37'56" E	51.94'	53.71'
C284	95.02'	24° 31' 01"	S 17°39'37" W	40.35'	40.66'
C285	55.00'	37° 44' 43"	N 23°55'09" E	35.58'	36.23'
C286	40.00'	77° 53' 42"	S 05°29'47" W	50.29'	54.38'
C287	40.00'	34° 53' 26"	S 09°45'19" W	23.98'	24.36'
C288	40.00'	63° 00' 14"	S 39°11'30" E	41.80'	43.98'
C289	40.00'	15° 40' 45"	S 78°32'00" E	10.91'	10.95'
C290	40.00'	113° 34' 24"	S 29°35'10" E	66.93'	79.29'
C291	12.00'	85° 36' 19"	N 43°34'12" W	16.31'	17.93'
C292	30.00'	113° 34' 24"	S 29°35'10" E	50.20'	59.47'
C293	60.00'	73° 10' 21"	N 09°23'08" W	71.52'	76.63'
C294	120.00'	21° 41' 22"	S 35°07'38" E	45.16'	45.43'
C295	75.00'	78° 26' 41"	N 63°30'17" W	94.85'	102.68'
C296	105.00'	60° 45' 23"	S 72°20'56" E	106.20'	111.34'
C297	3.00'	94° 56' 05"	S 05°29'48" W	4.42'	4.97'
C298	55.05'	10° 33' 18"	S 58°14'29" W	10.13'	10.14'
C299	3.00'	93° 44' 12"	N 69°36'46" W	4.38'	4.91'
C300	58.00'	10° 27' 06"	S 17°31'07" E	10.57'	10.58'
C301	3.00'	77° 23' 06"	N 26°23'59" E	3.75'	4.05'
C302	60.05'	12° 27' 00"	S 58°52'03" W	13.02'	13.05'
C303	3.00'	91° 34' 17"	S 81°34'19" E	4.30'	4.79'
C304	105.00'	11° 11' 09"	S 30°11'35" E	20.47'	20.50'
C305	205.00'	24° 36' 10"	N 36°54'06" W	87.35'	88.03'
C306	100.00'	15° 45' 08"	S 41°19'37" E	27.41'	27.49'
C307	30.00'	77° 53' 42"	S 05°29'47" W	37.72'	40.79'
C308	65.00'	39° 22' 06"	N 24°45'35" E	43.79'	44.66'
C309	85.02'	24° 29' 51"	S 17°40'12" W	36.08'	36.35'
C310	345.00'	19° 14' 59"	S 39°39'09" W	115.37'	115.91'
C311	70.00'	51° 17' 24"	N 23°37'56" E	60.59'	62.66'
C312	50.00'	22° 14' 25"	S 09°06'27" W	19.29'	19.41'
C319	22.00'	40° 31' 04"	N 21°01'35" W	15.24'	15.56'
C320	22.00'	45° 05' 15"	N 63°49'45" W	16.87'	17.31'
C321	22.00'	85° 36' 19"	N 43°34'12" W	29.90'	32.87'
C400	3.00'	90° 24' 08"	N 33°12'49" W	4.26'	4.73'

CURVE TABLE					
NUMBER	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C401	8.00'	55° 15' 07"	N 39°36'49" E	7.42'	7.71'
C402	34.00'	52° 36' 43"	S 40°56'00" W	30.14'	31.22'
C403	1019.00'	8° 48' 18"	N 19°01'48" E	156.44'	156.60'
C404	54.00'	35° 37' 37"	S 05°37'08" W	33.04'	33.58'
C405	21.00'	38° 38' 25"	N 07°07'33" E	13.90'	14.16'
C406	19.00'	66° 26' 10"	S 06°46'20" E	20.82'	22.03'
C407	14.00'	94° 18' 30"	N 07°09'50" E	20.53'	23.04'
C408	26.00'	86° 55' 28"	S 10°51'20" W	35.77'	39.45'
C409	5.00'	67° 48' 32"	N 01°17'52" E	5.58'	5.92'
C410	59.00'	32° 38' 31"	S 18°52'52" W	33.16'	33.61'
C411	1798.00'	7° 53' 48"	N 06°30'31" E	247.61'	247.80'
C412	89.00'	38° 52' 45"	S 08°58'58" E	59.24'	60.39'
C413	69.00'	6° 18' 53"	S 31°34'47" W	7.60'	7.60'
C414	5.00'	75° 07' 16"	N 02°49'25" E	6.10'	6.56'
C415	122.62'	25° 47' 18"	S 27°29'24" W	54.72'	55.19'
C416	118.62'	24° 05' 19"	S 27°10'23" W	49.50'	49.87'
C417	5.00'	95° 01' 26"	S 86°43'46" W	7.37'	8.29'
C418	69.00'	41° 59' 22"	S 66°45'13" E	49.44'	50.57'
C419	1109.00'	11° 12' 29"	N 86°38'52" E	216.60'	216.94'
C420	1261.00'	9° 39' 55"	S 85°52'35" W	212.47'	212.72'
C421	54.00'	37° 38' 30"	N 71°53'17" E	34.84'	35.48'
C422	5.00'	119° 14' 34"	N 67°18'41" W	8.63'	10.41'
C423	30.00'	78° 49' 43"	N 82°12'22" E	38.10'	41.27'
C424	74.00'	25° 30' 31"	N 71°08'02" W	32.67'	32.95'
C425	191.00'	22° 35' 47"	S 72°35'24" E	74.84'	75.33'
C426	59.00'	70° 01' 40"	S 83°41'40" W	67.71'	72.11'
C427	5.00'	112° 19' 44"	S 75°09'18" E	8.31'	9.80'
C428	22.00'	73° 18' 30"	S 17°39'49" W	26.27'	28.15'
C429	18.00'	94° 18' 30"	N 07°09'50" E	26.39'	29.63'
C430	15.00'	66° 26' 10"	S 06°46'20" E	16.43'	17.39'
C431	25.00'	38° 38' 25"	N 07°07'33" E	16.54'	16.86'
C432	30.00'	52° 36' 43"	S 40°56'00" W	26.59'	27.55'
C433	12.00'	55° 15' 07"	N 39°36'49" E	11.13'	11.57'
C434	3.00'	90° 10' 21"	S 57°04'25" W	4.25'	4.72'
C435	1000.00'	0° 34' 29"	N 78°07'39" W	10.03'	10.03'



NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

GENERAL SITE DATA:

Table with columns: DEVELOPMENT PLAN CHART, PARCEL ID NUMBER, FUTURE LAND USE, ZONING, ADJACENT FUTURE LAND USE, ADJACENT ZONING, ACREAGE/SQUARE FOOTAGE, BUILDING HEIGHT, NET DENSITY, BUILDING SETBACKS, PARKING SPACES, NUMBER OF EMPLOYEES, PROPOSED NUMBER OF BEDS, WAIVER REQUEST, VARIANCE REQUEST.

GENERAL ZONING: MIXED-USE INTERCHANGE, NEIGHBORHOOD OVERLAY. PROPOSED SINGLE-FAMILY UNITS (Included in FDP): 152. TOTAL GROSS AREA: 51.09 Ac.

SITE / LOT DATA:

Table with columns: PRODUCT TYPE, NUMBER OF UNITS, MAX. BUILDING HEIGHT, MIN. LOT WIDTH (PROVIDED), MIN. LOT DEPTH (PROVIDED), MIN. LIVING AREA, MAX. LOT COVERAGE, MIN. BUILDING SETBACKS, FRONT, REAR, STREET SIDE, SIDE, PORCH, DRIVEWAYS (CORNER LOTS), WETLAND/ NHWE ELEVATION SETBACK.

NOTES:

- (1) SEE SECTION 3.04.06 (10) (a) (1) FOR FRONT LOADED GARAGE DOORS SETBACKS. (2) MIN. 20' BUILDING SETBACK ASSUMES NO ALLEY. THE MIN. REAR BUILDING SETBACK FOR ALLEYS IS 5'. GARAGES WITH DIRECT ACCESS FROM AN ALLEY SHALL BE SET BACK WITH A MINIMUM OF TEN (10) FEET FROM THE PROPERTY LINE.

PHASING:

THIS PROJECT WILL BE DEVELOPED IN ONE (1) PHASE

MISCELLANEOUS:

POTABLE WATER SERVICE: CITY OF APOPKA. WASTEWATER, RECLAIMED SERVICE: CITY OF APOPKA. ELECTRIC SERVICE: DUKE ENERGY. FIRE PROTECTION: CITY OF APOPKA. SCHOOL AGE POPULATION: 61 (152 UNITS). AVERAGE DAILY TRAFFIC PER ITE 210 (10TH EDITION): 1528. P.M. PEAK HOUR TRIPS: 152.

PUBLIC OPEN SPACE CALCULATIONS:

Table with columns: TOTAL GROSS AREA (51.09 ac.), REQUIRED OPEN SPACE (20%) (10.22 ac.), PROVIDED OPEN SPACE (PRESERVED WETLANDS, UPLAND BUFFERS, OPEN SPACE TRACTS, etc.).

- (1) PER SECTION D OF THE KELLY PARK INTERCHANGE FORM BASED CODE, 20% OF THE TOTAL AREA WITHIN THE NEIGHBORHOOD CHARACTER ZONE SHALL BE PUBLIC OPEN SPACE. (2) PER SECTION 8 OF THE KELLY PARK INTERCHANGE FORM BASED CODE, PUBLIC OPEN SPACE IS DEFINED AS NATURALISTIC OR LANDSCAPED AREAS USED PRIMARILY FOR PASSIVE RECREATION, ACTIVE RECREATION, VISUAL AMENITY, OR FOR PURPOSES OF ENVIRONMENTAL CONSERVATION.

SIGNAGE:

SIGNAGE SHALL COMPLY WITH ARTICLE VIII (SIGNS) OF THE CITY OF APOPKA'S LAND DEVELOPMENT CODE

LIGHTING:

LIGHTING SHALL COMPLY WITH ARTICLE I OF THE CITY OF APOPKA'S LAND DEVELOPMENT CODE

GARBAGE PICKUP:

FRONT LOADED SINGLE-FAMILY UNITS TO BE PICKED UP AT FRONT (RW).

FIRE:

- 1. FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE DESIGN AND CALCULATIONS MEET THE REQUIREMENTS IN THE CITY OF APOPKA CODE OF ORDINANCES AND THE FLORIDA FIRE PREVENTION CODE 98 EDITION (2012). 2. FIRE ACCESS SHALL BE FROM THE FRONT OF THE PROPOSED DWELLING UNITS. ACCESS SHALL BE IN ACCORDANCE WITH CHAPTER 18 NFPA 1 & 101, 2012 EDITION, FPFC 5TH EDITION (2012).

ARCHITECTURE:

ALL STRUCTURES, INCLUDING RESIDENTIAL HOMES, CABANA/POOL AREA AND SUBDIVISION ENTRY SIGNAGE SHALL COMPLY WITH KELLY PARK INTERCHANGE FORM-BASED CODE, SECTION K. BUILDING DESIGN STANDARDS (ADOPTED JUNE 21, 2017).

GREEN BUILDING PRINCIPLES:

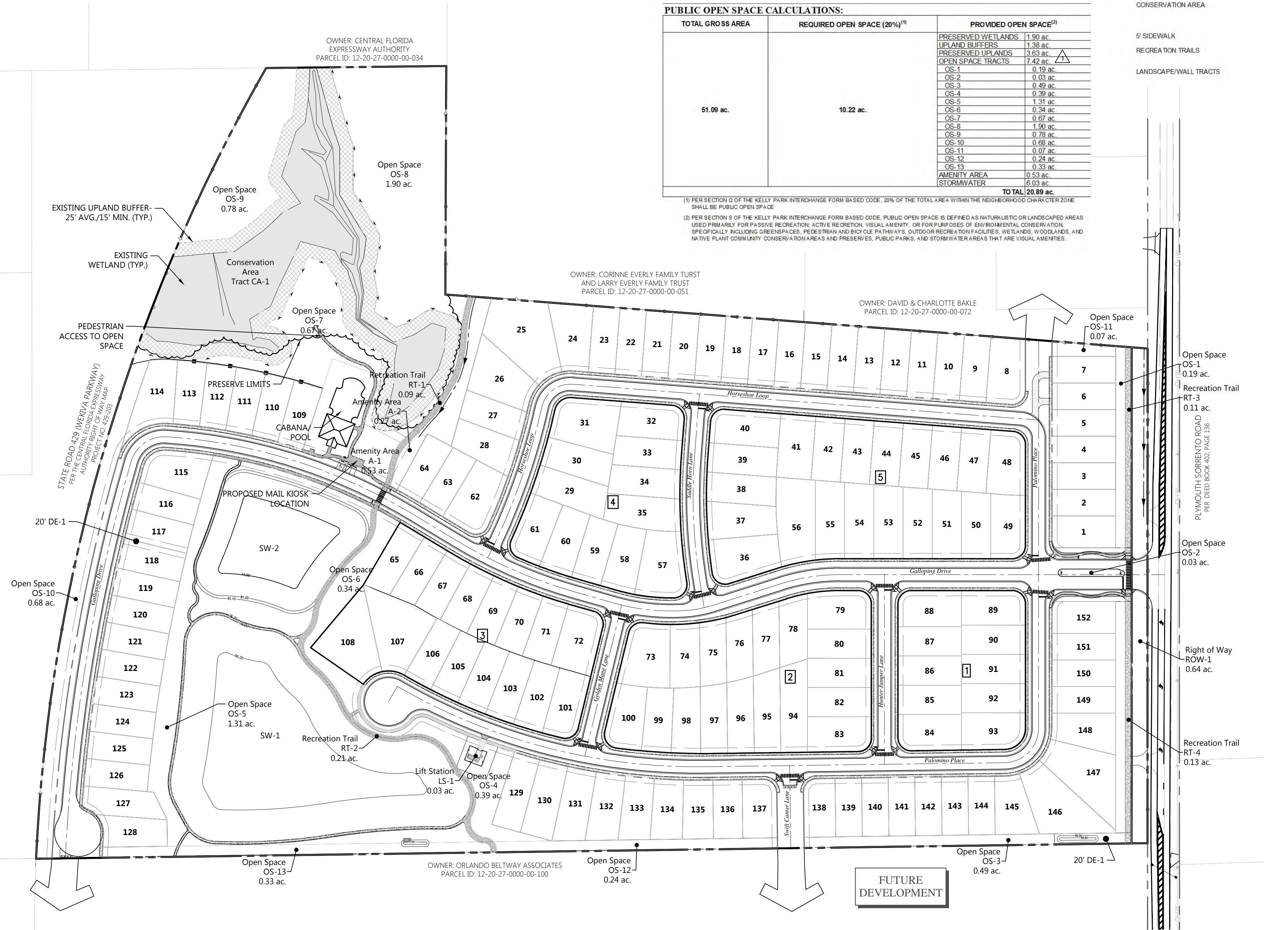
1. GREEN BUILDING PRINCIPLES ARE ENCOURAGED IN ACCORDANCE WITH SECTION K.3 OF THE KELLY PARK INTERCHANGE FORM BASED CODE.

LANDSCAPE:

1. FINAL LANDSCAPE PLANS ARE REQUIRED TO BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO LANDSCAPE CONSTRUCTION. LANDSCAPE PLANS TO BE IN ACCORDANCE WITH THE KELLY PARK INTERCHANGE FORM-BASED CODE AND SEC 8.08.03 OF THE CITY OF APOPKA'S LAND DEVELOPMENT CODE.

OWNERSHIP/MAINTENANCE:

Table listing various infrastructure items like ROADWAYS, STORMWATER TRACTS, DRAINAGE EASEMENTS, UTILITY EASEMENTS, etc., and their ownership/maintenance status.

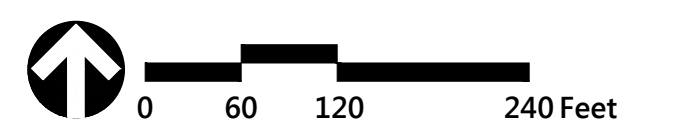


Lot Area Table with columns: Lot Number, Gross Area (Sq.Ft.), Gross Area (Ac.), Nominal Lot Width (ft.). Lists lots 1-152.

Lot Area Table with columns: Lot Number, Gross Area (Sq.Ft.), Gross Area (Ac.), Nominal Lot Width (ft.). Lists lots 77-152.

LEGEND

- PROJECT BOUNDARY (dashed line)
PRESERVED WETLAND (stippled area)
UPLAND BUFFER (dotted area)
BLOCK ID (numbered box)



Bridle Path Mixed KPI

City of Apopka, Florida

Revision table with columns: No., Revision, Date, Apprv. Lists three revisions.

Designed by: CLG. Checked by: LNF.

Construction Plan Approval Vertical Datum NAVD 1988. Issued for: Sept. 11, 2018.

Master Site Plan & Site Data

Drawing Number

C1.05





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Plat

MEETING OF: February 12, 2019
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Plat

SUBJECT: PLAT – MID-FLORIDA LOGISTICS PARK INDUSTRIAL SUBDIVISION

REQUEST: RECOMMEND APPROVAL OF THE PLAT FOR THE MID-FLORIDA LOGISTICS PARK INDUSTRIAL SUBDIVISION

SUMMARY:

OWNERS: Mid-Florida Freezer Warehouses LTD, Florida Express Trucking, Inc., Eagles Landing at Ocoee, LLC.

APPLICANT: Dave Schmitt Engineering, Inc. c/o Dave Schmitt, P.E.

LOCATION: West side of SR 429, south of General Electric Road, and east of Hermit Smith Road

PARCEL ID NUMBERS: 01-21-27-0000-00-060; 06-21-28-7172-12-020; 06-21-28-7172-12-041; 06-21-28-7172-12-060; 01-21-27-0000-00-030; 06-21-28-7172-13-000; 12-21-27-0000-00-010; 12-21-27-0000-00-018; 12-21-27-0000-00-015; 12-21-27-0000-00-017; 12-21-27-0000-00-021

EXISTING USE: Vacant

FLUM DESIGNATION: Industrial

ZONING: Planned Unit Development (PUD)

PROPOSED DEVELOPMENT: 2,342,566 square feet industrial buildings; developed in multiple phases

TRACT SIZE: 189.00 +/- acres

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial (max FAR 0.60)	I-1	Transport/freight uses, Copart
East (City)	None assigned	N/A	SR 429 right-of-way
South (County)	Orange County Rural	AG	Vacant property
West (City)	Orange County Rural	AG	Lake Apopka Restoration Area

PROJECT INFORMATION: The applicant is requesting approval of a Plat for a five (5) lot industrial subdivision located west of SR 429, south of General Electric Road and east of Hermit Smith Road. The plat is consistent with the PUD Master Plan, Preliminary Development Plan, and Preliminary Development Plan which details the development of the property as a 2,342,566 square foot industrial subdivision.

Project Use: The Plat proposes the creation of a five industrial lot subdivision on 188.893 acres of property. The surrounding properties consist primarily of industrial uses. The plat is consistent with the approved lot sizes in the Mid-Florida Logistics Park PUD Master Plan, Preliminary Development Plan, and Preliminary Development Plan.

Access: Access to the site is proposed via an ingress/egress point on Hermit Smith Road, two ingress/egress points on General Electric Road, and a yet to be constructed road that is dedicated to the public that is referred to as Shelby Industrial Drive, which is proposed to be constructed in a north-south configuration. An unimproved platted right-of-way known as Peterson Road currently bisects the property from east to west. This right-of-way will be vacated via the recording of the plat, and the plat details the right-of-way of Peterson Road being relocated to the south to allow access to the property owners located to the south of the subdivision. The new right-of-way of Peterson Road is proposed at 80-feet in width on the plat, and will be dedicated to the public. Shelby Industrial Drive will terminate at Lot 5, and will intersect with Peterson Road, which is proposed to run in an east-west direction. Peterson Road will extend to the east and will cross under SR 429, which will facilitate roadway connections to properties located on the east side of SR 429. The plat details the dedication of 25-feet of public right-of-way to the east of Lot 5 to allow future access to the properties to the south. In addition, three railroad spurs are proposed to lead into Lots 1, 2, and 3. The railroad spurs will be located along the right-of-way of Shelby Industrial Drive, and will be in 40-foot easements that are owned and maintained by the property owners association.

Stormwater: Consistent with the PUD Master Plan, Preliminary Development Plan, and Preliminary Development Plan, four stormwater retention areas are proposed within the subdivision that are in tracts that are owned and maintained by a property owners association.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of plat application for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

February 12, 2019 - Planning Commission (5:30 pm)
February 20, 2019 – City Council (7:00 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Mid-Florida Logistics Park Final Plat, finding it consistent with the Master Plan\ Preliminary Development Plan.

Recommended Motion: Find the proposed Final Plat consistent with the Land Development Code and PUD Master Plan, Preliminary Development Plan, and Preliminary Site Plan, and recommend approval of the Mid-Florida Logistics Park subdivision plat, subject to final review by the City Surveyor and City Engineer prior to recording the plat.

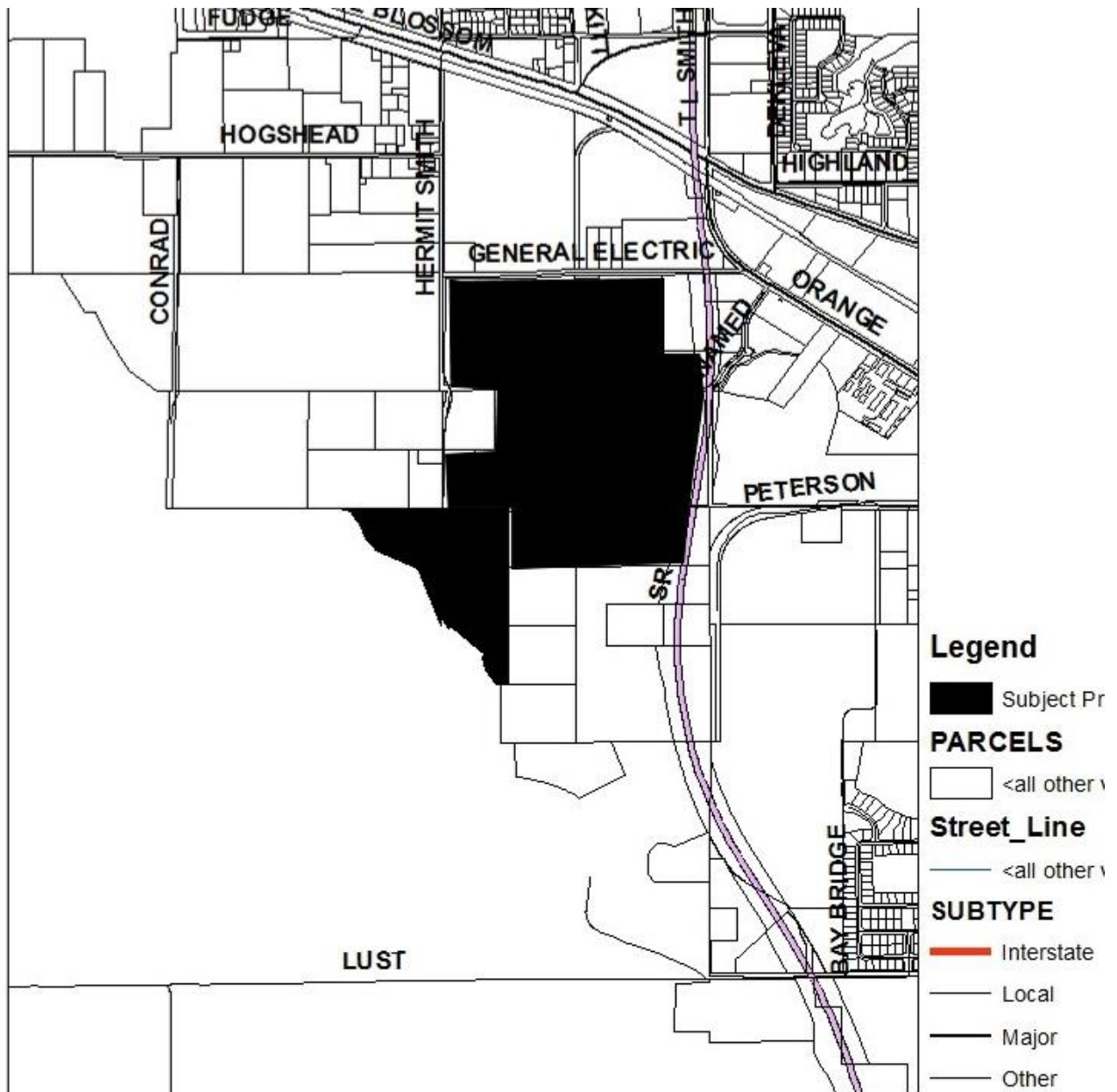
Planning Commission role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny the Final Plat based on consistency with the Comprehensive Plan and Land Development Code, and the PUD Master Plan, Preliminary Development Plan, and Preliminary Site Plan.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project: MID-FLORIDA LOGISTICS PARK
Owned by: Mid-Florida Freezer Warehouses, LTD, Eagles Landing at Ocoee, LLC
Located: East side of Hermit Smith Road, South of General Electric Road, west of SR 429
Parcel ID#s: 01-21-27-0000-00-060; 06-21-28-7172-12-020; 06-21-28-7172-12-041;
06-21-28-7172-12-060; 01-21-27-0000-00-030; 06-21-28-7172-13-000;
12-21-27-0000-00-010; 12-21-27-0000-00-018; 12-21-27-0000-00-015;
12-21-27-0000-00-017; 12-21-27-0000-00-021

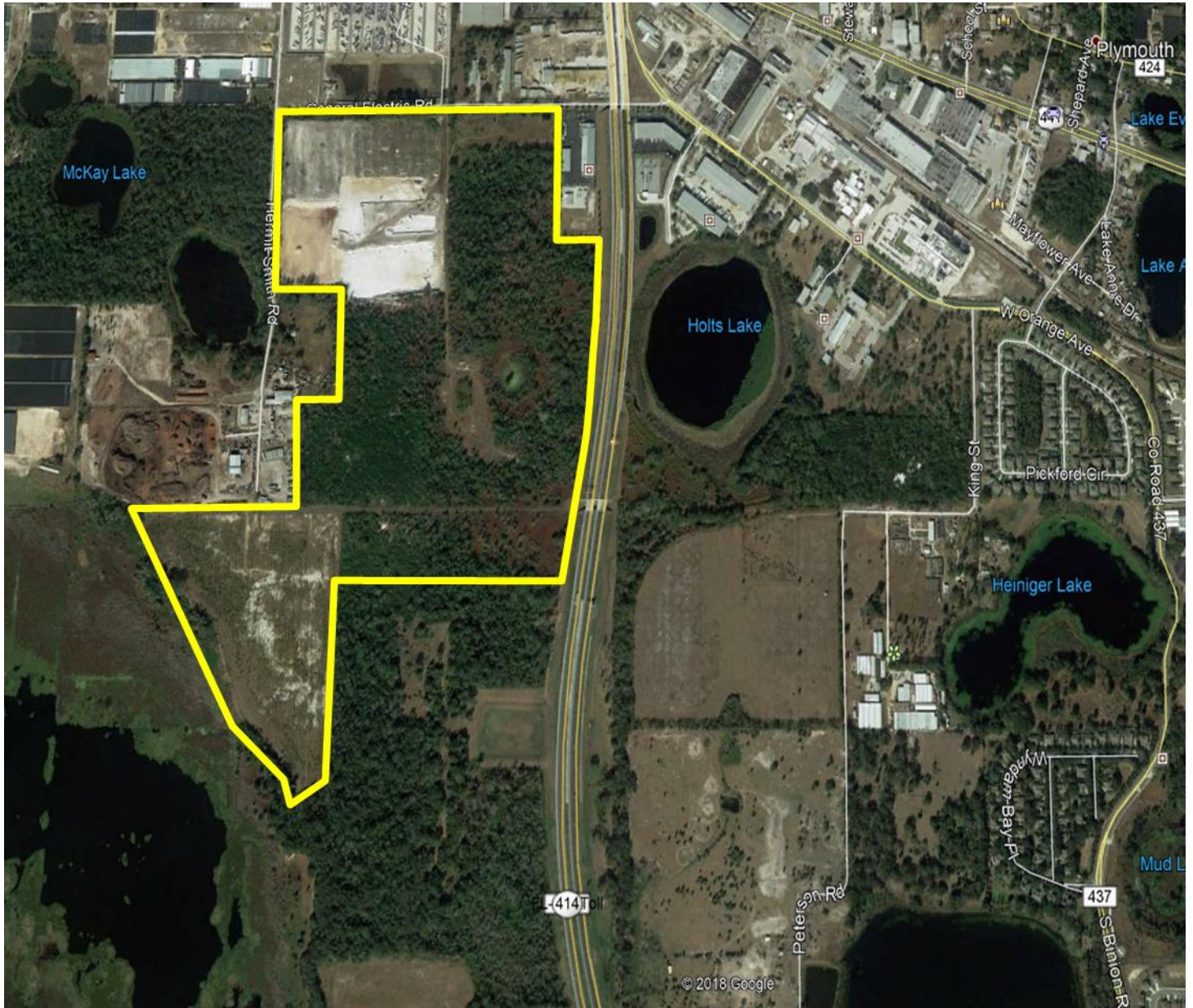


VICINITY MAP





ADJACENT USES



MID-FLORIDA LOGISTICS PARK

A PART OF SECTIONS 1 AND 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, AND BEING A PARTIAL REPLAT OF BLOCKS L AND M, TOWN OF PLYMOUTH, AS RECORDED PLAT IN PLAT BOOK B, PAGES 17-18 CITY OF APOPKA, ORANGE COUNTY, FLORIDA

PLAT BOOK PAGE
MID-FLORIDA LOGISTICS PARK (REPLAT) DEDICATION

MID-FLORIDA LOGISTICS PARK (REPLAT) DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT THE LIMITED LIABILITY COMPANY NAMED BELOW, BEING THE OWNER IN FEE SIMPLE OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT, HEREBY DEDICATES SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DEDICATES SHELBY INDUSTRIAL DRIVE, PETERSON ROAD, TRACT D, TRACT E AND THE UTILITY EASEMENTS SHOWN HEREON TO THE PERPETUAL USE OF THE PUBLIC, UNLESS OTHERWISE NOTED.

IN WITNESS WHEREOF, HAS CAUSED THESE PRESENTS TO BE SIGNED AND ATTESTED TO BY THE OFFICER NAMED BELOW AND ITS CORPORATE SEAL TO BE AFFIXED HERETO ON _____.

MID FLORIDA FREEZER WAREHOUSES LTD
400 HARBOR DRIVE
CAPE CANAVERAL, FLORIDA 32920

BY: _____

SIGNED AND SEALED IN THE PRESENCE OF:

PRINT NAME: _____ PRINT NAME: _____

STATE OF _____
COUNTY OF _____

THIS IS TO CERTIFY, THAT ON _____, BEFORE ME, AN OFFICER AUTHORIZED TO TAKE ACKNOWLEDGMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED PARTRICK T. LEE, AS MANAGING MEMBER MID FLORIDA FREEZER WAREHOUSES LTD, WHO DID NOT TAKE AN OATH AND WHO IS PERSONALLY KNOWN BY ME TO BE THE INDIVIDUAL AND OFFICER DESCRIBED IN AND WHO EXECUTED THE FOREGOING DEDICATION AND ACKNOWLEDGED THE EXECUTION THEREOF TO BE HIS FREE ACT AND DEED AS SUCH OFFICER THEREUNTO DULY AUTHORIZED.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

QUALIFICATION AND STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING A PROFESSIONAL SURVEYOR AND MAPPER CERTIFIES THAT I HAVE PREPARED THE FOREGOING PLAT AND IT WAS MADE UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL OF THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES; AND THAT SAID LAND IS LOCATED IN THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA.

Dated: _____ Signed: _____

BISHMAN SURVEYING AND MAPPING, INC. ARON D. BISHMAN, P.S.M.
32 WEST PLANT STREET Florida Registration No. 5668
WINTER GARDEN, FLORIDA 34787 Licensed Business No. 7274

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, THAT ON _____, THE CITY COUNCIL THE CITY OF APOPKA APPROVED THE FOREGOING PLAT. ATTEST:

BRYAN NELSON, MAYOR CITY CLERK

CERTIFICATE OF APPROVAL BY CITY ENGINEER

THIS IS TO CERTIFY, THAT ON _____, THE FOREGOING PLAT WAS EXAMINED AND APPROVED BY _____

RICHARD EARP, CITY ENGINEER

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

THIS IS TO CERTIFY, THAT ON _____, THE FOREGOING PLAT WAS APPROVED BY THE APOPKA PLANNING COMMISSION OF THE CITY OF APOPKA.

CHAIRMAN _____ DATE _____

CERTIFICATE OF APPROVAL BY REVIEWING SURVEYOR

PURSUANT TO SECTION 177.081, FLORIDA STATUTES, I HAVE REVIEWED THIS PLAT FOR CONFORMITY TO CHAPTER 177 PART 1 OF THE FLORIDA STATUTES AND THAT SAID PLAT COMPLIES WITH THE TECHNICAL REQUIREMENTS OF THAT CHAPTER; PROVIDED HOWEVER, THAT MY REVIEW DOES NOT INCLUDE FIELD VERIFICATION OF ANY OF THE COORDINATES, POINTS OR MEASUREMENTS SHOWN ON THIS PLAT.

RALPH A. NIETO, P.S.M. DATE _____

NIETO WHITTAKER SURVEYING, LLC
REGISTRATION NO. 6025

CERTIFICATE OF APPROVAL BY THE COUNTY COMPTROLLER

I HEREBY CERTIFY THAT THE FOREGOING PLAT WAS RECORDED IN THE ORANGE COUNTY OFFICIAL RECORDS ON _____ AS FILE NO. _____ COUNTY COMPTROLLER IN AND FOR ORANGE COUNTY, FLORIDA BY _____.

DESCRIPTION:
THAT PART OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST AND THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 1; THENCE RUN S0074°22'W ALONG THE WEST LINE OF SAID SOUTHEAST 1/4, 60.00 FEET TO A POINT 60.00 FEET SOUTH OF, WHEN MEASURED PERPENDICULAR TO, THE NORTH LINE OF SAID SOUTHEAST 1/4; THENCE RUN N89°59'32"E PARALLEL WITH SAID NORTH LINE, 30.00 FEET TO THE EAST RIGHT OF WAY LINE OF HERMIT SMITH ROAD BEING THE EAST LINE OF A 30.00 RIGHT OF WAY RECORDED IN DEED BOOK 633, PAGE 385, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, FOR THE POINT OF BEGINNING; THENCE CONTINUE N89°59'32"E ALONG THE SOUTH RIGHT OF WAY LINE OF GENERAL ELECTRIC ROAD, AS RECORDED IN DEED BOOK 966, PAGE 424, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, 800.00 FEET; THENCE CONTINUE ALONG SAID SOUTH RIGHT OF WAY LINE N86°30'41"E, 494.11 FEET TO THE NORTHWEST CORNER OF LOT 4, BLOCK "L", MAP OF PLYMOUTH, AS RECORDED IN PLAT BOOK B, PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N89°59'32"E ALONG THE NORTH LINE OF SAID BLOCK "L", 872.00 FEET TO THE NORTHWEST CORNER OF LOT 1 OF SAID BLOCK "L"; THENCE RUN S00°09'04"E ALONG THE WEST LINE OF LOT 1 AND LOT 8 OF SAID BLOCK "L", 852.07 FEET TO THE NORTHWEST CORNER OF LOT 9 OF SAID BLOCK "L"; THENCE RUN N89°59'14"E ALONG THE NORTH LINE OF SAID LOT 9, 305.56 FEET TO THE WEST RIGHT OF WAY LINE OF STATE ROAD 429 (WESTERN BELTWAY); THENCE RUN THE FOLLOWING SIX (6) COURSES ALONG SAID WEST RIGHT OF WAY LINE S03°11'39"E, 222.83 FEET TO A CURVE CONCAVE TO THE WEST; THENCE RUN SOUTHERLY ALONG SAID CURVE HAVING A CENTRAL ANGLE OF 06°55'43", A RADIUS OF 7850.00 FEET, AN ARC LENGTH OF 949.26 FEET, A CHORD BEARING OF S04°57'27"W AND A CHORD DISTANCE OF 948.68 FEET; S08°25'18"W, 432.58 FEET; S12°48'38"W, 196.00 FEET; S07°57'36"W, 604.02 FEET; S15°57'29"W, 30.55 FEET TO THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 12; THENCE RUN S89°58'43"W ALONG SAID SOUTH LINE AND THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 12, 1583.51 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4; THENCE RUN S00°26'22"W ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 12, 1316.77 FEET TO THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4; THENCE RUN S89°53'17"W ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4, 124.64 FEET TO THE EASTERN BOUNDARY OF LANDS DEDICATED TO ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT PROPERTY PER OFFICIAL RECORDS BOOK 7711, PAGE 4081, OFFICIAL RECORDS BOOK 7786, PAGE 3958, AND OFFICIAL RECORDS BOOK 5586, PAGE 2510; THENCE RUN THE FOLLOWING FIFTEEN (15) COURSES ALONG SAID EASTERN BOUNDARY OF LANDS DEDICATED TO ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT; N34°51'34"W, 185.69 FEET; N09°14'28"W, 154.82 FEET; N57°52'23"E, 35.05 FEET; N47°21'45"W, 206.75 FEET; N46°03'10"W, 257.06 FEET; S64°40'44"W, 30.12 FEET; N33°59'32"W, 130.01 FEET; S00°32'05"W, 79.45 FEET; N19°49'43"W, 869.98 FEET; N63°05'41"W, 470.00 FEET; N00°32'05"E, 19.26 FEET; N38°59'11"W, 151.57 FEET; N20°58'44"W, 140.91 FEET; N32°02'37"W, 141.62 FEET; N24°49'10"W, 65.79 FEET; N77°14'37"W, 124.93 FEET TO THE NORTH LINE OF AFORESAID NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 12; THENCE RUN S89°54'33"E ALONG SAID NORTH LINE, 1028.15 FEET TO THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 12; THENCE RUN S89°58'53"E ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 12, 333.31 FEET TO THE WEST LINE OF THE EAST 3/4 OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN N00°11'01"E ALONG THE WEST LINE OF SAID EAST 3/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, 659.17 FEET TO THE SOUTH LINE OF THE NORTH 660.00 FEET OF SAID EAST 3/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN S89°59'40"E, PARALLEL WITH SAID SOUTH LINE, 200.00 FEET TO A LINE 200.00 FEET EAST OF THE WEST LINE OF SAID EAST 3/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN N00°11'01"E PARALLEL WITH SAID WEST LINE, 720.00 FEET TO A LINE 30.00 FEET NORTH OF, WHEN MEASURED PERPENDICULAR TO, THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 1, BEING THE NORTH LINE OF A 60.00 FOOT RIGHT OF WAY RECORDED IN OFFICIAL RECORDS BOOK 889, PAGE 331, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N89°59'40"W ALONG SAID NORTH LINE OF RIGHT OF WAY, 601.97 FEET TO A LINE 30.00 FEET EAST OF, WHEN MEASURED PERPENDICULAR TO, THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4, BEING THE EAST LINE OF A 30.00 RIGHT OF WAY RECORDED IN DEED BOOK 633, PAGE 385, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N00°14'22"E ALONG SAID EAST RIGHT OF WAY LINE, 1199.11 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 188.893 ACRES MORE OR LESS.

NOTES:

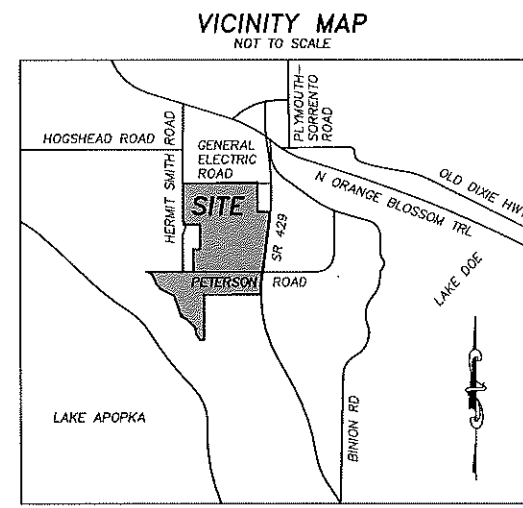
- BEARINGS SHOWN HEREON ARE BASED ON THE THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST, AS BEING S89°58'53"E (ASSUMED).
- LOT LINES ARE NON-RADIAL UNLESS NOTED WITH (R) FOR RADIAL.
- TRACT A, B AND C (RETENTION TRACTS), SHALL BE CONVEYED TO AND MAINTAINED BY MID-FLORIDA LOGISTICS PARK PROPERTY OWNERS ASSOCIATION, SAID TRACT IS SUBJECT TO A DRAINAGE EASEMENT IN FAVOR OF THE CITY OF APOPKA, OVER THE ENTIRE TRACT.
- TRACT D (LEFT STATION TRACT), TRACT E (RIGHT OF WAY TRACT) AND TRACT G (ADDITIONAL RIGHT OF WAY FOR GENERAL ELECTRIC ROAD) IS HEREBY DEDICATED TO THE CITY OF APOPKA.
- TRACT F (INGRESS/EGRESS EASEMENT) IS HEREBY RESERVED FOR FUTURE RIGHT OF WAY AND SHALL BE OWNED AND MAINTAINED BY THE OWNER/DEVELOPER AND IS SUBJECT TO A 25' INGRESS/EGRESS EASEMENT IN FAVOR OF "C" AS RECORDED IN OFFICIAL RECORDS BOOK 10014, PAGE 4283, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- ALL UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IN WHICH CASE THE CABLE TELEVISION COMPANY SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES.
- THE 40.00' RAILROAD SPUR EASEMENT SHALL BE DEDICATED TO AND MAINTAINED BY MID-FLORIDA LOGISTICS PARK PROPERTY OWNERS ASSOCIATION.
- THE 24.00' INGRESS/EGRESS EASEMENT SHALL BE DEDICATED TO AND MAINTAINED BY MID-FLORIDA LOGISTICS PARK PROPERTY OWNERS ASSOCIATION.
- THERE ARE 5 LOTS AND 6 TRACTS IN THIS SUBDIVISION.

LEGEND

- Δ CENTRAL ANGLE
- R RADIUS LENGTH
- L ARC LENGTH
- T TANGENT LENGTH
- CB CHORD BEARING
- CH CHORD LENGTH
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PRC POINT OF REVERSE CURVE
- PCC POINT OF COMPOUND CURVE
- RP RADIUS POINT
- PI POINT OF INTERSECTION
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- (R) RADIAL
- O.R. OFFICIAL RECORDS BOOK
- P.G. PAGE
- P.B. PLAT BOOK
- CL CENTERLINE
- L.B. LICENSED BUSINESS
- D.E. DRAINAGE EASEMENT
- U.E. UTILITY EASEMENT
- D.U.E. DRAINAGE & UTILITY EASEMENT
- L.E. LANDSCAPE EASEMENT
- (TYP.) TYPICAL
- R/W RIGHT OF WAY
- PCP PERMANENT CONTROL POINT
- PRM PERMANENT REFERENCE MONUMENT
- DENOTES CHANGE IN DIRECTION

NOTES:

- DENOTES RECOVERED 5/8" IRON ROD AND CAP "LB 5336", REPLACED WITH A 4"x4" CONCRETE MONUMENT "PRM LB 7274"
- DENOTES SET PERMANENT REFERENCE MONUMENT, A 4"x4" CONCRETE MONUMENT "PRM LB 7274", UNLESS NOTED OTHERWISE.
- ⊙ DENOTES SET PERMANENT CONTROL POINT, A NAIL AND DISC "PCP LB 7274", UNLESS NOTED OTHERWISE.



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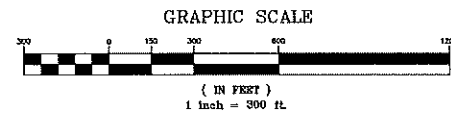
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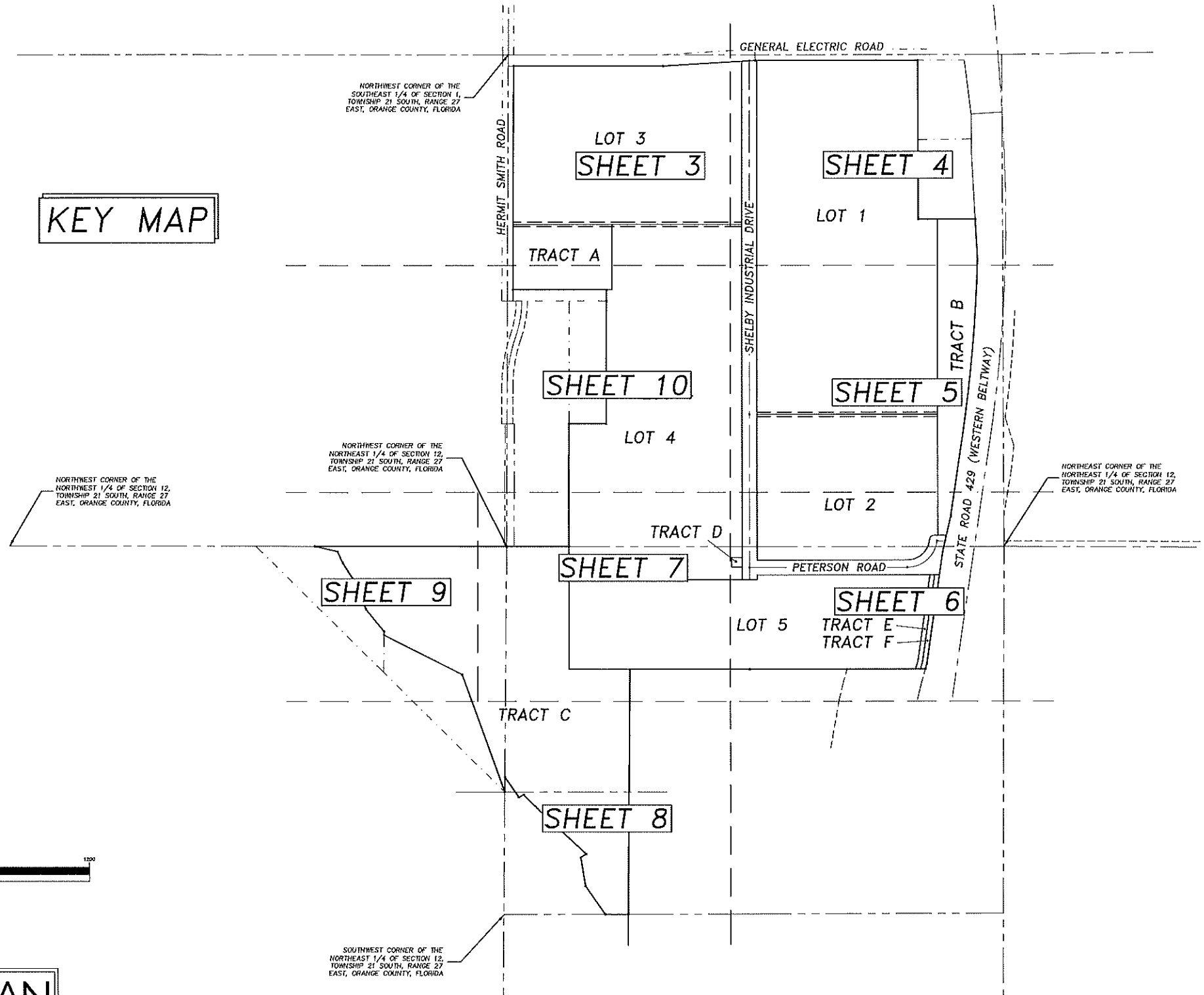
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KEY MAP



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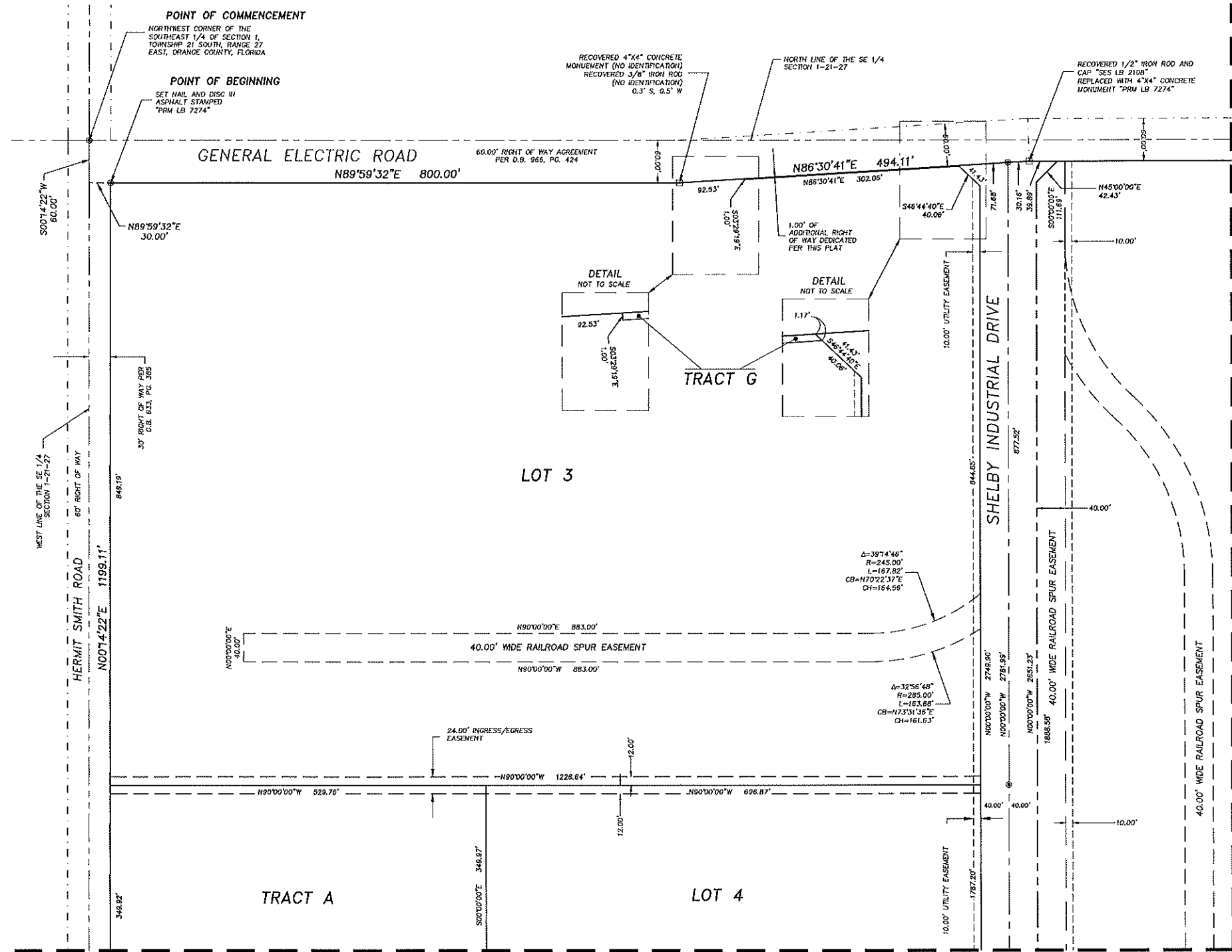
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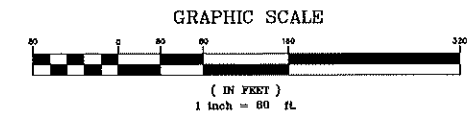
SEE SHEET 4 OF 10

SEE SHEET 9 OF 10



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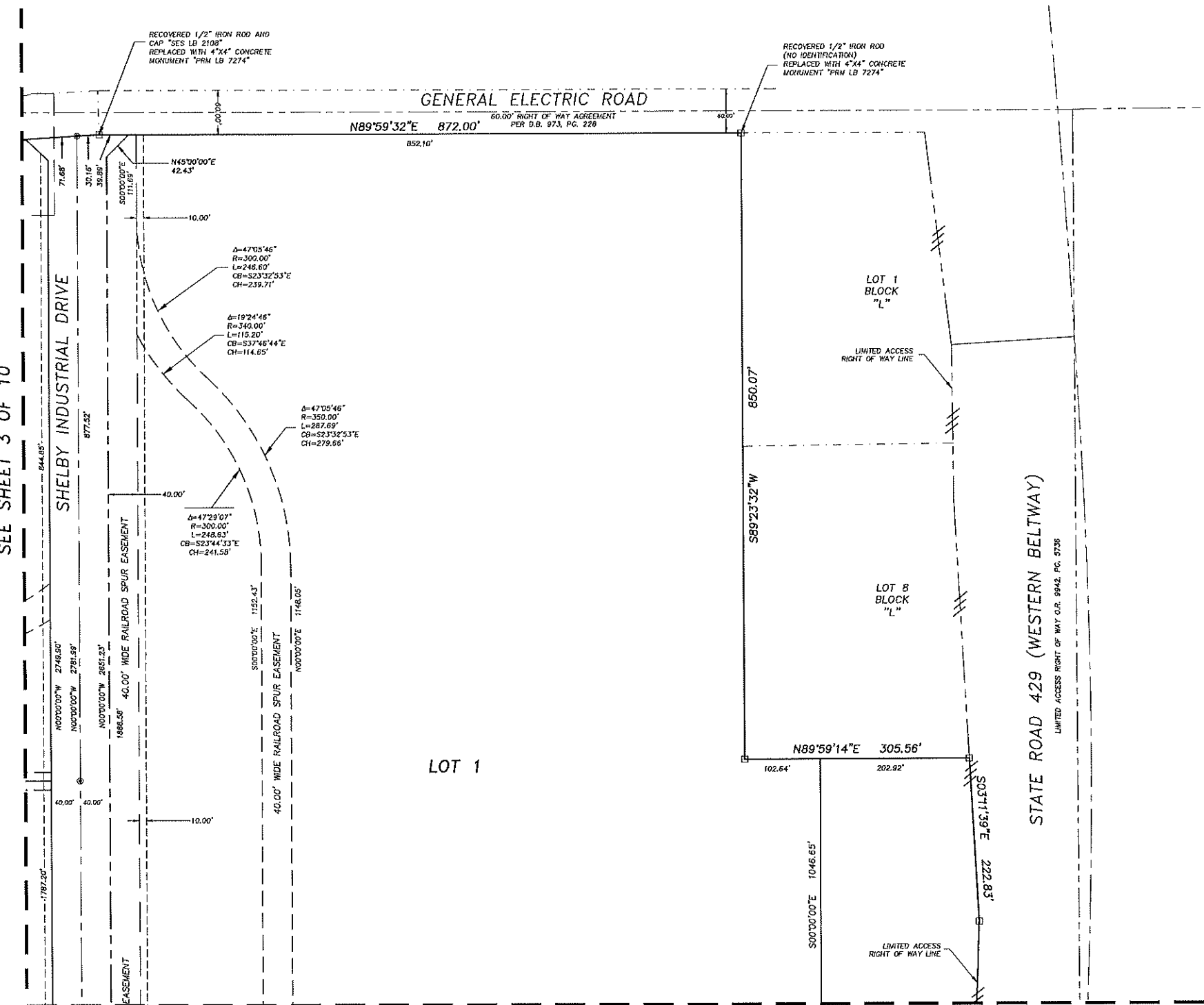
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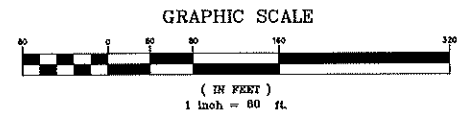


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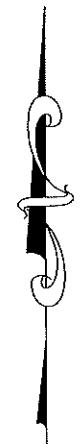
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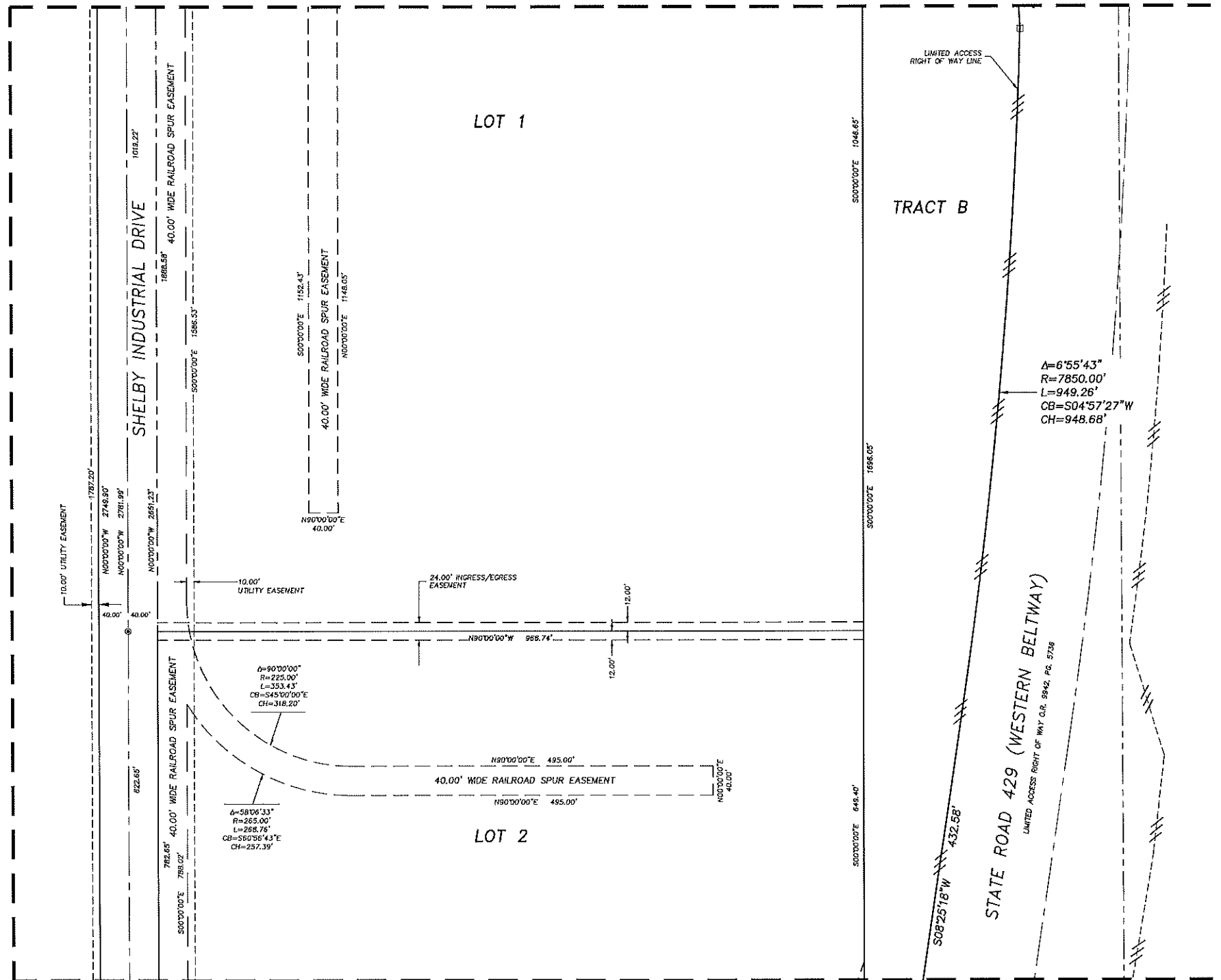
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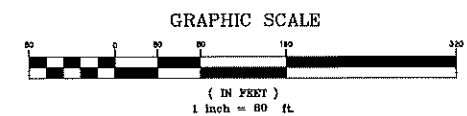


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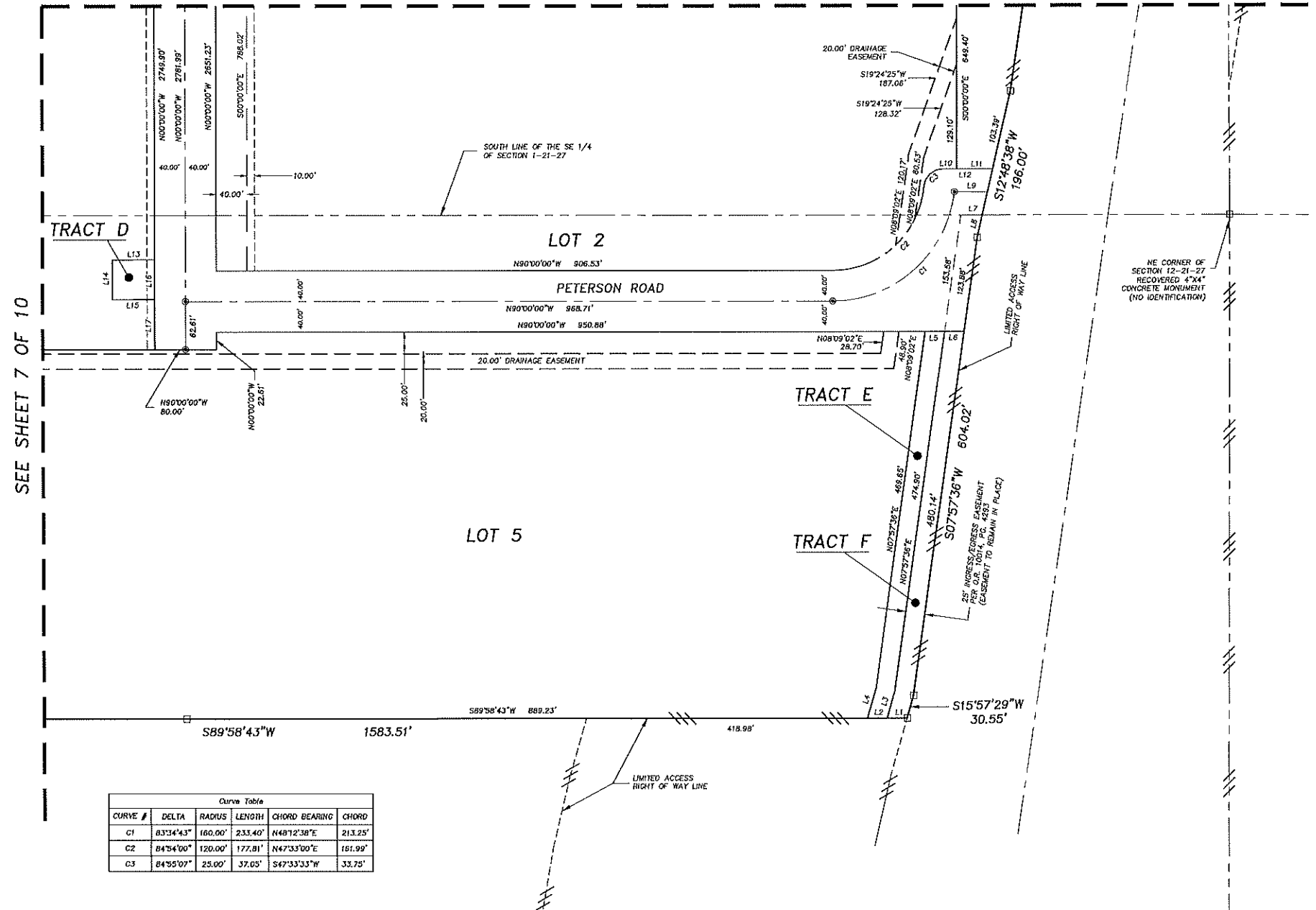
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SEE SHEET 5 OF 10



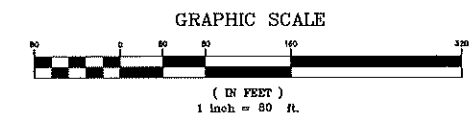
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L2	S89°58'43"W	28.00'
L3	N15°57'29"E	35.98'
L4	N15°57'29"E	41.37'
L5	N90°00'00"E	25.24'
L6	N90°00'00"E	25.24'
L7	S89°58'53"E	27.82'
L8	S12°48'38"W	30.18'
L9	S89°58'53"E	43.07'
L10	S89°58'53"E	17.58'
L11	S89°58'53"E	46.87'
L12	S89°58'53"E	64.45'
L13	S89°54'21"W	55.00'
L14	S00°00'00"E	52.00'
L15	N89°54'14"E	55.00'
L16	N00°00'00"E	52.00'
L17	S00°00'00"E	65.27'

CURVE #	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	83°34'43"	160.00'	233.40'	N48°12'38"E	213.25'
C2	84°54'00"	120.00'	177.81'	N47°33'00"E	161.99'
C3	84°55'07"	25.00'	37.05'	S47°33'33"W	33.75'



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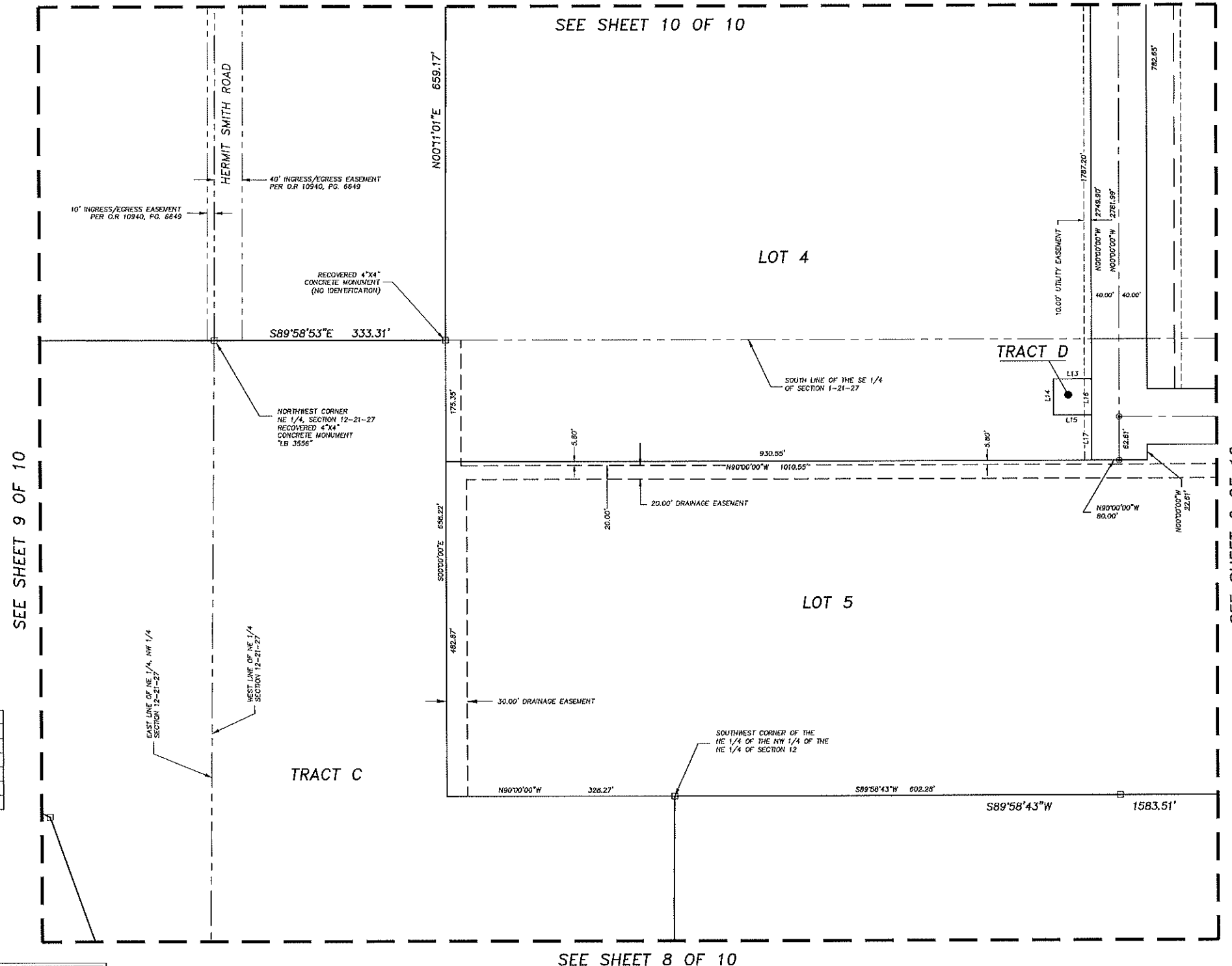
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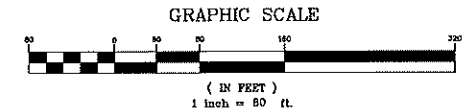
Line Table

LINE #	DIRECTION	LENGTH
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L14	S00°00'00"E	52.00'
L15	N89°54'14"E	55.00'
L16	N00°00'00"E	52.00'
L17	S00°00'00"E	65.27'



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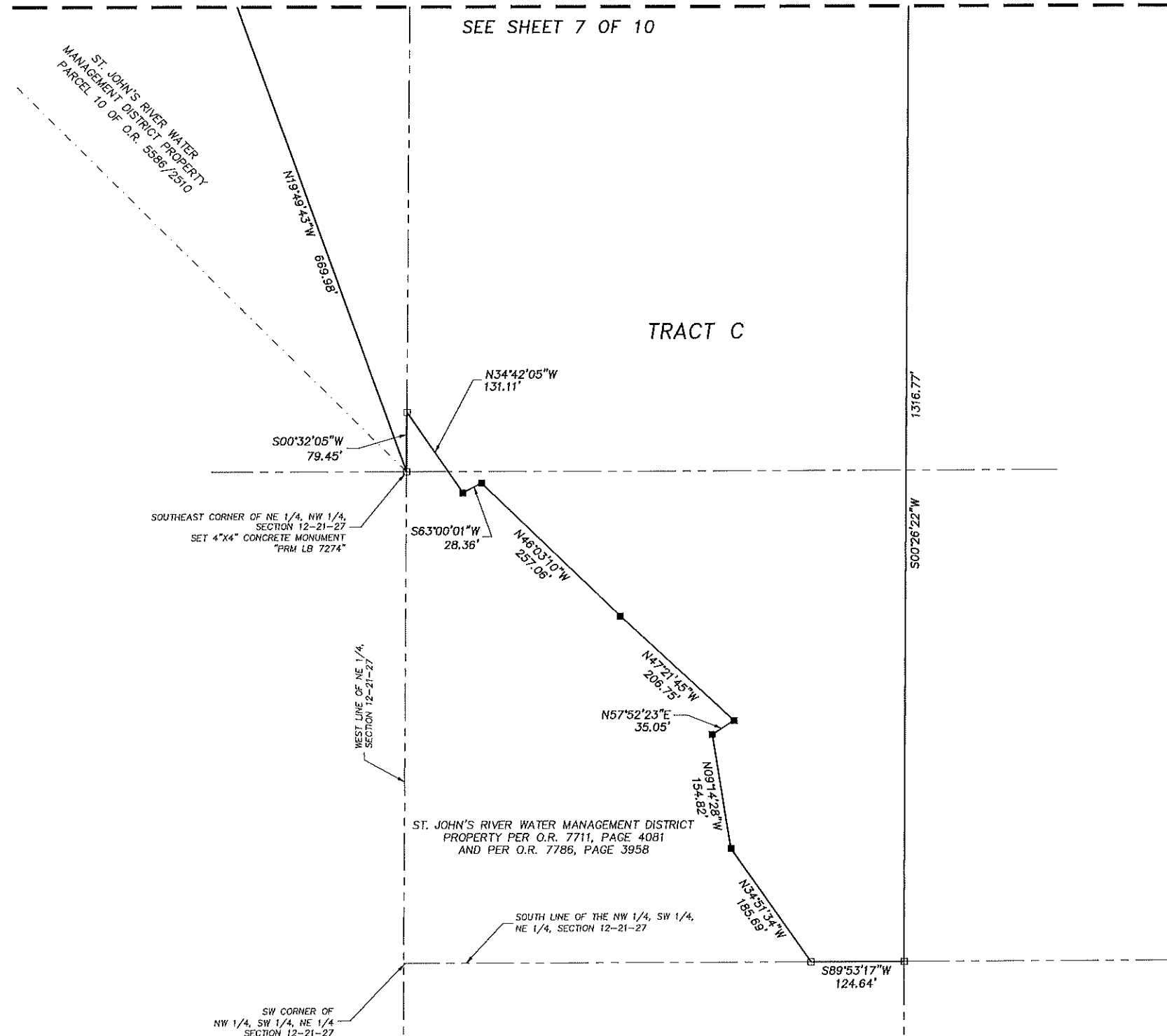
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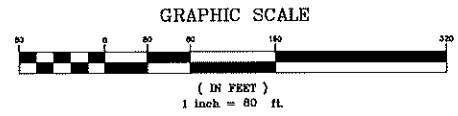
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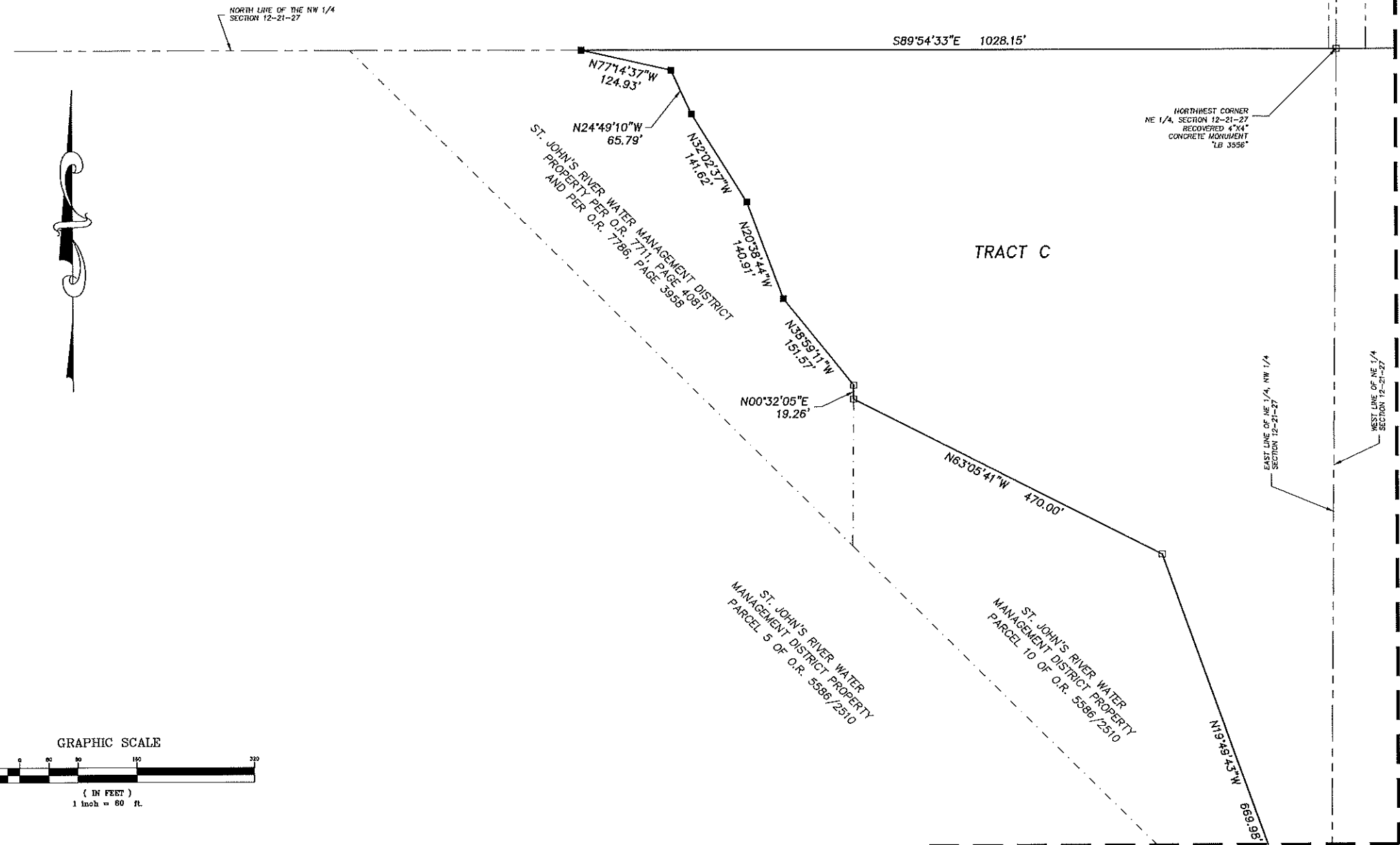
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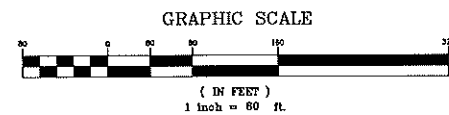
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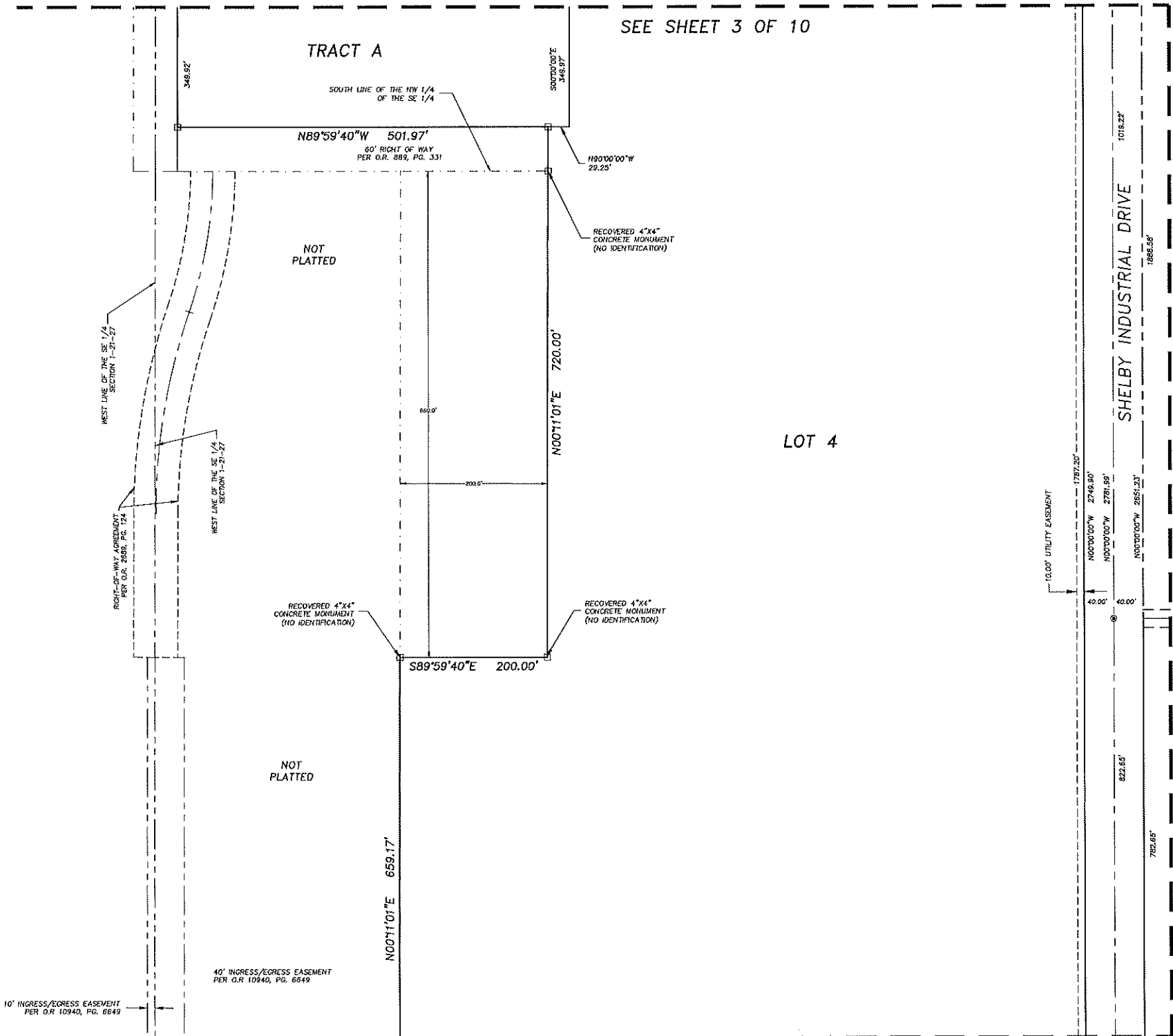
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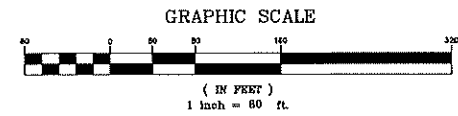
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SEE SHEET 5 OF 10



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	February 12, 2019
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Final Development Plan		Aerial Map
		Final Development Plan
		Ordinance No. 2630

SUBJECT: **GATEWAY PLAZA – MASTER PLAN/PRELIMINARY
DEVELOPMENT PLAN**

REQUEST: **RECOMMEND APPROVAL OF THE MASTER PLAN/PRELIMINARY
DEVELOPMENT PLAN FOR GATEWAY PLAZA**

SUMMARY:

OWNER/APPLICANT: VBRO Enterprises LLC c/o Ashish Kapadia

ENGINEER: Burkett Engineering, Inc. c/o William E. Burkett, P.E.

LOCATION: 2006, 2014, 2022, 2030 and 2038 Rock Springs Road; 41 East Lester Road

PARCEL ID NUMBERS: 28-20-28-0000-00-018, 28-20-28-0220-00-010, 28-20-28-0220-00-020, 28-20-28-0220-00-030, 28-20-28-0220-00-040 and 28-20-28-0220-00-050

FUTURE LAND USE: Commercial

ZONING: PUD (Planned Unit Development)

EXISTING USE: Vacant

PROPOSED USE(S): General Business/Restaurant/Multitenant Commercial Center

TRACT SIZE: 3.36 +/- acres; 146,476 +/- square feet

BUILDING SIZE: 32,430 square feet

FLOOR AREA RATIO Proposed 0.22; Maximum 0.25

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Low Density Residential	County A-1	Single Family Residence
East (County)	ROW	ROW	Rock Springs Road
South (County)	ROW	ROW	Lester Road
West (County)	Low Density Residential	County A-1	Single Family Residence

PROJECT SUMMARY: The Gateway Plaza Master Plan/Preliminary Development Plan is a site plan proposing a four buildings for a total of 32,430 square feet of general business, restaurant and commercial uses on a total of 3.36 acres. Buildings 1, 2 and 4 have proposed uses of general commercial businesses. Building 1, on the northwest corner of Rock Springs Road and Lester Road, is intended for restaurant use with an outdoor seating area/patio. Two additional patios are placed Building 2, adjacent to Rock Springs Road. This project is subject to the standards set forth in PUD Ordinance No. 2630.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front	50' from Centerline of ROW/ 10' from the property line
Side	10'
Rear	10'

PARKING: A total of 179 parking spaces are proposed including six ADA-compliant and van accessible spaces while 173 are required.

ACCESS: Access to the site will be provided on both Rock Springs Road and Lester Road. The access on Rock Springs Road will be a full access driveway located approximately 300 feet north of Lester Road. The access on Lester Road will be a full access driveway located approximately 300 feet west of Lester Road.

TRANSPORTATION IMPACTS: A Transportation Impact Analysis (TIA) was conducted for this project to assess its impacts on the surrounding roadway segments and intersections within a one-mile radius of the project per the City’s adopted TIA methodology. The study evaluated the project assuming 33,600 square feet of development that includes a mixture of retail development and restaurants. Roadways analyzed in the study included segments of Rock Springs Road, Lester Road, Vick Road and Welch Road. Intersections analyzed were Rock Springs Road and Ponkan Road; Rock Springs Road and Lester Road; Rock Springs Road and Welch Road; Vick Road and Lester Road; and the site entrances on Rock Springs Road and Lester Road. Right and left turn lane warrant studies for both site entrances were also conducted.

The project will generate 5,738 daily and 300 P.M. Peak Hour Net New trips. The addition of these project trips to the study roadways will not cause the Level of Service (LOS) to fall below the City’s adopted LOS standard.

Right and left turn warrant analyses were conducted for the site entrances on Rock Springs Road and Lester Road. These analyses concluded that a right turn deceleration lanes are not warranted at either site entrance or a left turn deceleration lane is not warranted at the Lester Road site entrance. Rock Springs Road is a five lane segment adjacent to the project and the center lane serves as a left turn lane.

The study intersections were analyzed with and without the addition of project traffic. The intersection of Vick Road and Lester Road will experience additional delay and the overall conditions will degrade from “D”, the City’s adopted Level of Service standard, to “E”. **To address the impacts of this project, the applicant is required to construct a northbound left turn lane on Vick Road.** Design and engineering of the intersection improvement and construction schedule for the intersection improvement will be determined at the time of the Final Development Plan application.

STORMWATER: The stormwater management system includes an on-site retention area, on the northern most portion of the site. The stormwater pond design meets the City’s Land Development.

LANDSCAPING/BUFFER:

- a. Along Rock Springs Road and Lester Road – A ten-foot wide landscape buffer with a mixture of Live Oaks, Magnolias, Elms, Crepe Mytles and Cabbage Palms adjacent to the right-of-ways.
- b. North boundary line abutting residential zoning districts – A six-foot-high masonry wall within a ten-foot landscaped bufferyard.that includes Elms and Magnolias.
- c. Internal Parking Areas –Elms and Live Oaks are sprinkled on the parking landscape islands, with one tree per island.
- d. Retention/Stormwater Pond – Elms, Lives Oaks and Magnolias are placed on the perimeter.
- e. Monument Sign – A landscaped island shall be provided around the base of the sign at least ten feet in width to include shrubs three feet on center and at least 36 inches tall at time of planting.

CONDITION OF APPROVAL: Developer shall construct a northbound left turn lane on Vick Road at Lester Road. Design and engineering of the intersection improvement, and construction schedule for the intersection improvement will be determined at the time of the Final Development Plan application

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the site plan review for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

February 12, 2019 - Planning Commission, 5:30 p.m.

March 6, 2019 - City Council, 1:30 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Gateway Plaza Master Plan/Preliminary Development Plan subject to Ordinance No. 2630 and the findings of this staff report.

The **City Council**, at its meeting on March 7, 2018, adopted Ordinance No. 2630, changing the zoning to Planned Unit Development (PUD) for the Gateway Plaza.

Recommended Motion: Find the Gateway Plaza Master Plan/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Master Plan/Preliminary Development Plan, subject to Ordinance No. 2630 subject to the Conditions of Approval and findings of this staff report.

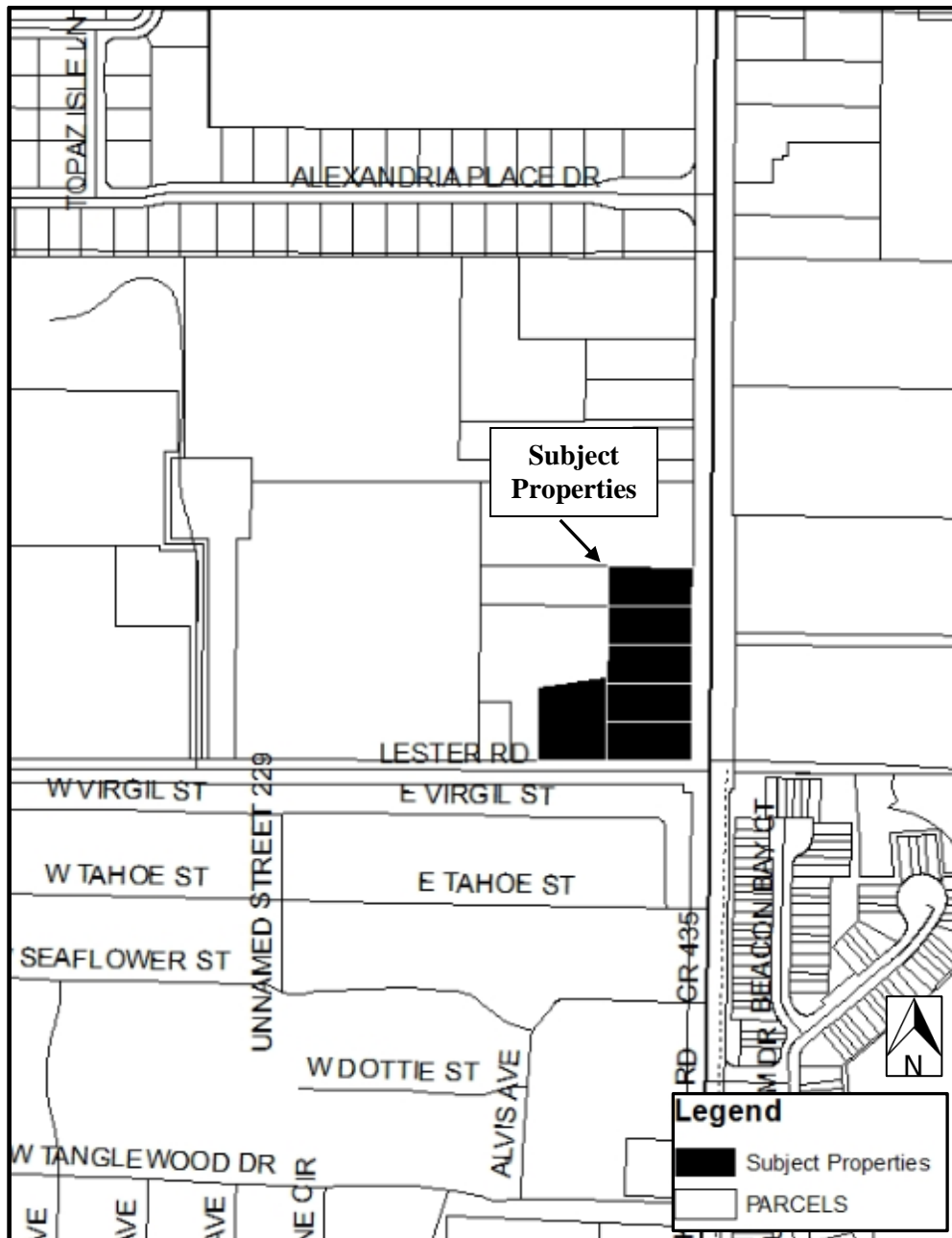
Planning Commission Role: To advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be

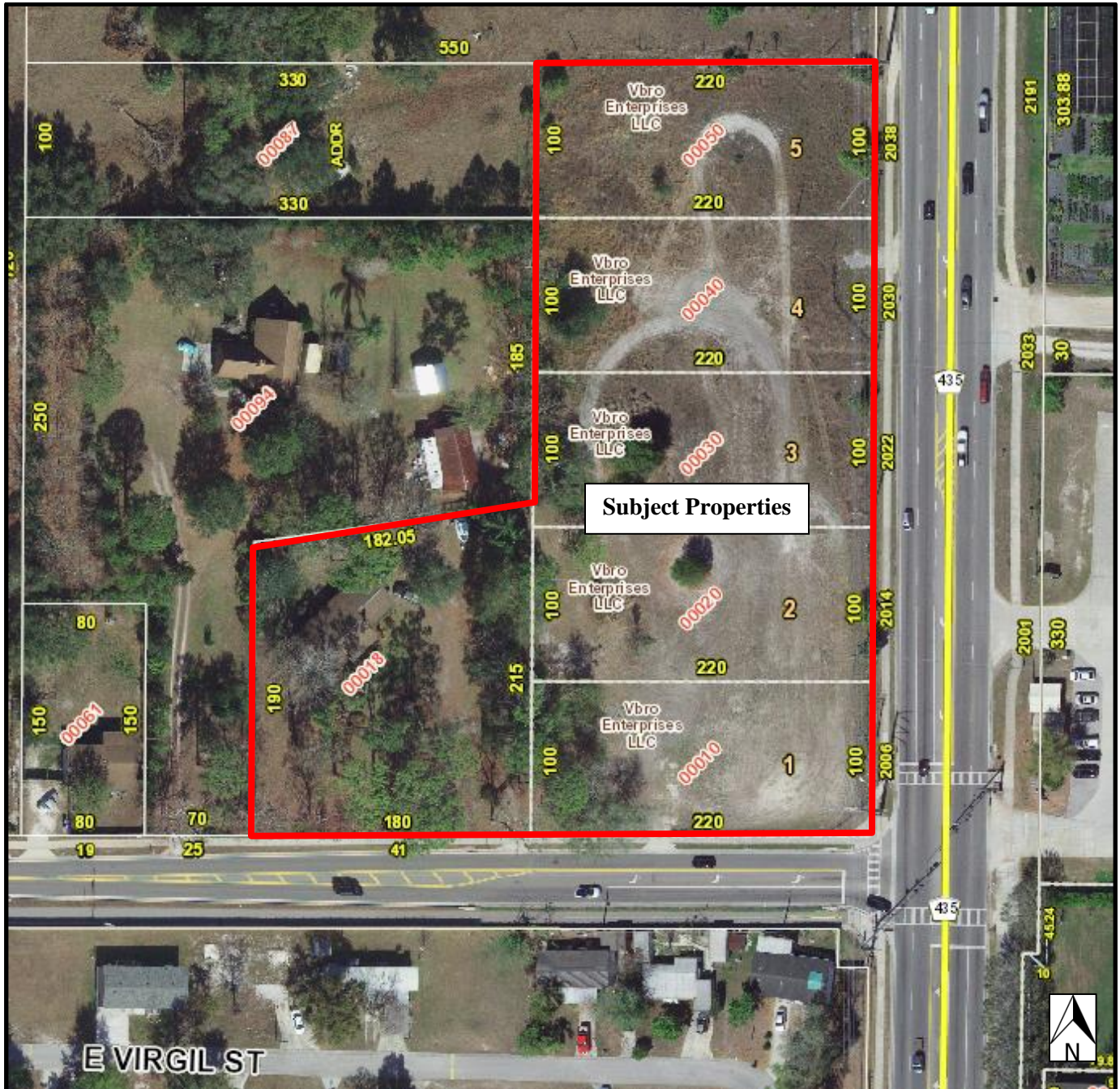
incorporated into and made a part of the minutes of this meeting.

Project Name: Gateway Plaza Master Plan/PDP
Owner: VBRO Enterprises, LLC
Engineer: William E. Burkett, P.E.
Parcel I.D. Nos.: 28-20-28-0000-00-018, 28-20-28-0220-00-010, 28-20-28-0220-00-020, 28-20-28-0220-00-030, 28-20-28-0220-00-040 and 28-20-28-0220-00-050
Addresses: 2006, 2014, 2022, 2030 and 2038 Rock Springs Road; 41 East Lester Road
Total Acreage: 3.36 +/- acres

VICINITY MAP



AERIAL MAP



GATEWAY PLAZA

PRELIMINARY DEVELOPMENT PLAN/ MASTER PLAN FOR VBRO GROUP

320 WEST SABAL PALM PLACE
SUITE 300
LONGWOOD, FL 32779

THIS PROJECT IS SUBJECT TO
PUD ORDINANCE NO. 2630

TAX PARCEL ID NUMBERS:
28-20-28-0000-00-018
28-20-28-0220-00-010
28-20-28-0220-00-020
28-20-28-0220-00-030
28-20-28-0220-00-040
28-20-28-0220-00-050

Burkett | CIVIL ENGINEERING
engineering CONSULTANTS

105 E. Robinson Street, Suite 501 Orlando, Florida 32801
(407) 246-1260 Fax (407) 246-0423
www.burkettengineering.com

WILLIAM E. BURKETT, PE
wburkett@burkettengineering.com

City of Apopka, Florida
August 2018

PRELIMINARY NOT FOR CONSTRUCTION

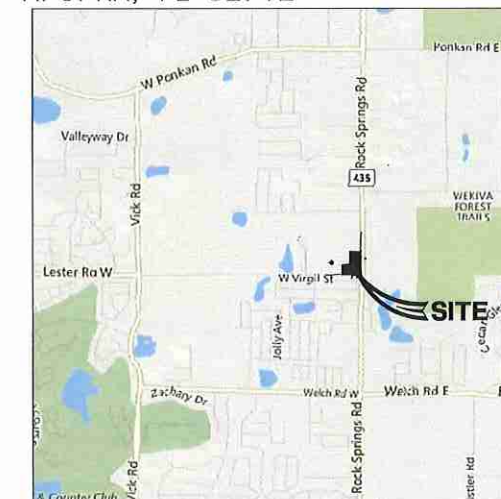
SHEET INDEX

- 1 COVER SHEET
 - 2 SYMBOLS AND ABBREVIATIONS
 - 3 NOTES SHEET
 - 4 SITE PLAN
 - 5 SIGNAGE AND MARKING PLAN
 - 6 LINE OF SIGHT PLAN
 - 7 UTILITY PLAN
 - 8 GRADING AND DRAINAGE PLAN
 - 9 STORMWATER POLLUTION PREVENTION PLAN
 - 10 PAVING AND DRAINAGE DETAILS
 - A-0.1 ARCHITECTURAL SITE PLAN WITH
SIGNAGE AND DUMPSTER DETAILS
 - A-1.0 ARCHITECTURAL ELEVATIONS
 - A-2.0 ARCHITECTURAL PERSPECTIVE VIEWS
 - EL1 PHOTOMETRIC
 - L1 LANDSCAPE PLAN
- BOUNDARY AND TOPOGRAPHIC SURVEY

NO.	DATE	DESCRIPTION

LOCATION MAP

2006, 2014, 2022, 2030 & 2038
ROCK SPRINGS RD.
APOPKA, FL 32712
41 E LESTER RD.
APOPKA, FL 32712



S28 T20S R28E
GRAPHIC SCALE



REG. BURKETT ENGINEERING, INC.
CERT. OF AUTH. NO. 7105

ABBREVIATIONS

EXISTING SYMBOLS

PROPOSED SYMBOLS

A	AREA
AB	ANCHOR BOLT
ABD	ABANDON(ED)
AC	ACRE(S)
AC-FT	ACRE FOOT/FEET
ACP	ASBESTOS CEMENT PIPE
ADDL	ADDITIONAL
ADT	AVERAGE DAILY TRAFFIC
AL	ALUMINUM
ALT	ALTERNATE
AM	BEFORE NOON
AMP	AMPERE(S)
APPROX	APPROXIMATE
ARY	AIR RELEASE VALVE
ARYV	AIR RELEASE VACUUM VALVE
ASPH	ASPHALT
ASSY	ASSEMBLY
AVE	AVENUE
AVG	AVERAGE
AZ	AZIMUTH

B	BACKFLOW PREVENTER
BL	BASELINE
BLDG	BUILDING
BLVD	BOULEVARD
BM	BENCH MARK
BND	BOUNDARY
BO	BLOWOFF
BOC	BACK OF CURB
BOT	BOTTOM
BOW	BOTTOM OF WALL
BRG	BEARING
BS	BOTTOM OF SLOPE
BV	BUTTERFLY VALVE
BVC	BEGIN VERTICAL CURVE

C	CAPACITY
CB	CATCH BASIN
CC	CENTER TO CENTER
CEM	CEMENT
CF	CUBIC FEET
CFM	CUBIC FEET PER MINUTE
CFS	CUBIC FEET PER SECOND
C&G	CURB AND GUTTER
CI	CAST IRON
CIP	CAST IRON PIPE
CJ	CONSTRUCTION JOINT
C/L	CENTER LINE
CLP	CONCRETE LIGHT POLE
CLR	CLEAR/CLEARANCE
CLS	CLASS
CM	CONCRETE MONUMENT
CMP	CORRUGATED METAL PIPE
CMPA	CORRUGATED METAL PIPE ARCH
CND	CONDUIT
CO.	COUNTY
COO	CLEANOUT
COL	COLUMN
COMP	COMPLETE
CONC	CONCRETE
CONN	CONNECTION
CONN	CONNECTION
CONST	CONSTRUCT(ION)
CONT	CONTINUOUS
COORD	COORDINATE(S)
COR	CORNER
CPLG	COUPLING
CPP	CONCRETE POWER POLE
CS	CONTROL STRUCTURE
CSTOP	CORPORATION STOP
CTG	COATING
CTR	CENTER
CTV	CABLE TELEVISION
CULV	CULVERT
CV	CHECK VALVE
CY	CUBIC YARD
CYL	CYLINDER

D	DOUBLE
DBL	DIAMETER AT BREAST HEIGHT
DEG	DEGREE
DEFL	DEFLECTION(ION)
DEPT	DEPARTMENT
DET	DETAIL
DH&L	DESIGN HIGH WATER LEVEL
DI	DUCTILE IRON
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIP	DUCTILE IRON PIPE
DISCH	DISCHARGE
DIST	DISTANCE
DMH	DROP MANHOLE
DN	DOWN
DRN	DRAIN
DWG	DRAWING
DWY	DRIVEWAY

E	EAST
EA	EACH
EC	EDGE OF CONCRETE
ED	ENERGY DISSIPATOR
EFF	EACH FACE
EFF	EFFLUENT
EG	EXISTING GRADE
E/L	EASEMENT LINE
ELB	ELBOW
ELEC	ELECTRIC
ELEV	ELEVATION
ELLIP	ELLIPSE/ELLIPTICAL
ENC	ENCASEMENT
ENG	ENGINEER(ING)
EQ	EDGE OF PAVEMENT
EQU	EQUAL/EQUATION
EQUIP	EQUIPMENT
ESMT	EASEMENT
EST	ESTIMATE
EVC	END VERTICAL CURVE
EW	EACH WAY
EWL	ENDWALL
EXC	EXCAVATE
EXIST	EXISTING
EXP	EXPAND/EXPANSION
EXT	EXTEND/EXTENSION

F	FINISHED GRADE
FB	FIRE HYDRANT
F&I	FURNISH AND INSTALL
FIG	FIGURE
FIN	FINISHED
FIN	FITTING
FL	FENCE LINE
FLR	FLOOR
FLEX	FLEXIBLE
FNG	FLANGE
FM	FORCE MAIN
FND	FOUND
FPH	FEET PER HOUR
FPM	FEET PER MINUTE
FPS	FEET PER SECOND
FT	FEET/FOOT
FTG	FOOTING

G	GAUGE
GAL	GALLON
GALV	GALVANIZED
GI	GREASE INTERCEPTOR
GM	GAS MAIN
GPD	GALLONS PER DAY
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
GPS	GALLONS PER SECOND
GR	GUARD RAIL
GRD	GROUND/GRADE
GSP	GALVANIZED STEEL PIPE
GV	GATE VALVE
GV&B	GATE VALVE AND BOX
GW	GUY WIRE
GWT	GROUND WATER TABLE

H	HOSE BIBB
HDW	HARDWARE
HDP	HIGH DENSITY POLYETHYLENE PIPE
HOA	HOME OWNERS ASSOCIATION
HORIZ	HORIZONTAL
HP	HORSEPOWER
HR	HOUR
HT	HEIGHT
HW	HEADWALL
HWL	HIGH WATER LEVEL
HWY	HIGHWAY
HYD	HYDRANT

I	INTERSTATE HIGHWAY
I-4	INTERSECTION ANGLE
IA	INSIDE DIAMETER
ID	INSIDE FACE
IF	INCHES
INL	INLET
INS	INSERT
INST	INSTALL
IP	IRON PIPE
IR	IRON ROD
IRR	IRRIGATION
INT	INTERSECTION
INV	INVERT

J	JUNCTION BOX
JB	JUNCTION
JCT	JOIST
JST	JOINT
JT	JOINT
JT	JOINT
LAT	LATITUDE
LATL	LATERAL
LB	POUND
LF	LINEAR FEET/FOOT
LG	LONGITUDE
LIM	LIMIT(S)
LP	LIGHT POLE
LS	LIFT STATION
LT	LEFT
LWL	LOW WATER LEVEL

M	MAINTENANCE
MAINT	MAINTENANCE
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MER	MITERED END SECTION
MFR	MANUFACTURER
MGD	MILLION GALLONS PER DAY
MH	MANHOLE
MHC	MANHOLE COVER
MHWL	MEAN HIGH WATER LEVEL
MIN	MINIMUM
MISC	MISCELLANEOUS
MJ	MECHANICAL JOINT
MLP	METAL LIGHT POLE
MLWL	MEAN LOW WATER LEVEL
MON	MONUMENT
MOT	MAINTENANCE OF TRAFFIC
MPH	MILES PER HOUR
MSL	MEAN SEA LEVEL
MTG	MOUNTING

N	NORTH
NA	NOT APPLICABLE
NCL	NORMAL CONTROL LEVEL
NE	NORTHEAST
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO OR #	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
NW	NORTHWEST
NHWE	NORMAL HIGH WATER ELEVATION
NWL	NORMAL WATER LEVEL

O	ON CENTER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OE	OR EQUAL
OPNG	OPENING
OPP	OPPOSITE
ORCP	OVVAL REINFORCED CONCRETE PIPE
OS	OUTFALL STRUCTURE
OVFL	OVERFLOW
OVRD	OVERHEAD

P	POINT OF CURVATURE
PC	POINT OF COMPOUND CURVATURE
PCC	POLYETHYLENE PIPE
PEP	POINT OF INTERSECTION
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
P/L	PROPERTY LINE
POB	POINT OF BEGINNING
POJ	PUSH ON JOINT

P	POINT OF SERVICE
POS	POINT OF SERVICE
PP	POWER POLE
PR	PHONE RISER
PRC	POINT OF REVERSE CURVATURE
PRESS	PRESSURE
PROJ	PROPOSED
PROJ	PROPOSED
PROP	PROPOSED
PRV	PRESSURE REDUCING VALV
PRVC	POINT OF REVERSE VERTICAL CURVE
PS	PUMPING STATION
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
PV	FLUID VALVE
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
PWR	POWER

Q	FLOW RATE
Q	FLOW RATE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPA	REINFORCED CONCRETE PIPE ARCH
RD	ROAD
RDY	ROADWAY
RED	REDUCER
REF	REFERENCE
REINF	REINFORCE(D)
REQD	REQUIRED
REV	REVISE/REVISION
RP	RADIAL POINT
RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
RPM	REVOLUTIONS PER MINUTE
RR	RAILROAD
RT	RIGHT
RV	RELIEF VALVE
R/W	RIGHT-OF-WAY
RWM	REUSE WATER MAIN

S	SOUTH
SAN	SANITARY SEWER
SB	SPLASH BLOCK
SCH	SCHEDULE
SD	SIDE DRAIN
SE	SOUTH
SE	SOUTHEAST
SEC	SECTION
SECT	SECTION
SF	SQUARE FEET
SH	SHEET
SHTG	SHEETING
SHWL	SEASONAL HIGH WATER LINE
SIM	SIMILAR
S/L	SETRACK LINE
SLOPE	SLOPE
SM	SHEET METAL SPECIFICATIONS
SPEC	SPECIFICATIONS
SQ	SQUARE
SO IN	SQUARE INCHES
SQ YD	SQUARE YARDS
SR	STATE ROAD
SS	STAINLESS STEEL
ST	STREET
STA	STATION
STD	STANDARD
STL	STEEL
STR	STRUCTURE
STS	STORM SEWER
SUP	SUPPORT
SUSP	SUSPEND/SUSPENSION
SVC	SERVICE
SW	SOUTHWEST
SWK	SIDEWALK
SYM	SYMMETRIC(S)
SYMM	SYMMETRICAL
SYS	SYSTEM

T	TANGENT
T	TANGENT
TB	TURFBLOCK
T&B	TOP AND BOTTOM
TBM	TEMPORARY BENCH MARK
TC	TIME OF CONCENTRATION
TD	TRENCH DRAIN
TDH	TOTAL DYNAMIC HEAD
TE	TOP ELEVATION
TECH	TECHNICIAN/TECHNICAL
TEMP	TEMPORARY
TL	TERMINAL LAMPPOLE
TOB	TOP OF BANK
TOC	TOP OF CURB
TOS	TOP OF SLOPE
TOT	TOTAL
TOW	TOP OF WALL
TS	TOP OF SLOPE
TS&V	TAPPING SLEEVE & VALVE
TWP	TOWNSHIP
TYP	TYPICAL

U	UNDERDRAIN
UD	UNDERDRAIN
UG	UNDERGROUND
UTC	UNDERGROUND TELEPHONE CABLE
V	VALVE BOX
VB	VALVE BOX
VC	VERTICAL CURVE
VCP	VITRIFIED CLAY PIPE
VERT	VERTICAL
VPC	VERTICAL POINT OF CURVE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY
VOLTS	VOLTS

W	**WEST**

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STATEMENT OF INTENDED USE
THE VBRO GROUP INTENDS TO BRING COMMERCIAL RETAIL AND RESTAURANTS TO AN UP AND COMING SECTION OF THE CITY OF APOPKA. POSSIBLE USES ARE: ADULT DAY CARE, FLORAL SHOPS, BEAUTY PARLOR, BARBER SHOP, USES ALLOWED IN THE C-1 ZONING.

SITE DATA	
PARCEL ID NUMBERS:	28-20-28-0000-00-018 28-20-28-0220-00-010 28-20-28-0220-00-020 28-20-28-0220-00-030 28-20-28-0220-00-040 28-20-28-0220-00-050
FUTURE LAND USE:	COMMERCIAL
ZONING:	PUD
ACREAGE/SQUARE FOOTAGE:	3.36± AC/146,476 SF
MINIMUM SITE AREA:	7,500 SF
MINIMUM LOT WIDTH:	75'
LOT WIDTH PROVIDED:	500'
OPEN SPACE:	0.29
BUILDING HEIGHT:	PROPOSED: MAX: 35'
FLOOR AREA RATIO:	PROPOSED: 0.22 MAX: 0.25
PHASING:	THIS PROJECT WILL BE COMPLETED IN ONE PHASE

BUILDING AND STRUCTURES	
INTENDED USE:	COMMERCIAL/RETAIL/RESTAURANT
NUMBER OF STORIES:	1
NUMBER OF VEHICLES KEPT ON SITE:	N/A
GROSS SQUARE FOOTAGE:	32,430 SF
TYPE OF CONSTRUCTION:	

BUILDING SETBACKS	
FRONT	10'
REAR	10'
SIDE	10'
CORNER	15'
LESTER ROAD	50' FROM ☐
ROCK SPRINGS ROAD	55' FROM ☐

DENSITY CALCULATIONS	
EXISTING	PROPOSED
IMPERVIOUS: 1,724 SF/1.2%	IMPERVIOUS: 104,234 SF/71.1%
PERVIOUS: 144,752 SF/98.8%	PERVIOUS: 42,242 SF/28.9%
TOTAL: 146,476 SF	TOTAL: 146,476 SF

SOILS INFORMATION		
SOIL NO.	SOIL DESCRIPTION	SOIL TYPE
34	POWELLO FINE SAND, 0 TO 5 PERCENT SLOPES	A

LANDSCAPE BUFFER
REQUIRED 10'
PROVIDED 10' (MIN)

PARKING
GENERAL BUSINESS FOR BLDGS 1, 2 & 4:
(2,103 SF x 1) SPACES/300 SF 91
RESTAURANT PARKING REQUIRED FOR BLDG 3:
PARKING REQUIRED: 91
SPACE/4 FIXED SEATS FOR PATRON USE
(1 SPACE PER 200 SEATS/4) 50
(1 SPACE/75 SF FLOOR AREA FOR PATRON USE WITHOUT FIXED SEATS
(1 SPACE PER 2,400 SF NON FIXED SEATS/75 SF-32) 82
PARKING REQUIRED: 173
TOTAL PARKING REQUIRED: 173

PARKING REQUIRED IS AN ESTIMATE FOR ASSUMED FUTURE RESTAURANT.

FIRE PROTECTION
POTABLE WATER AVAILABLE TO THE SITE. FIRE HYDRANTS TO BE INSTALLED.

VEGETATION
1831 - RURAL OPEN

POTABLE WATER & WASTEWATER
TO BE PROVIDED BY CITY OF APOPKA.

REUSE WATER
TO BE PROVIDED BY CITY OF APOPKA.

FLOODPLAIN
THIS PROJECT IS IN AN AREA OF MINIMAL FLOOD HAZARD PER FEMA FIRM PANEL 12095C110F DATED 9/25/2009.

STORMWATER
PROVIDE ATTENUATION FOR THE PREDEVELOPMENT TO POST-DEVELOPMENT DIFFERENCE IN STORMWATER RUNOFF FOR THE 100 YEAR, 24 HOUR STORM.

GENERAL NOTES

- EACH HANDICAPPED PARKING SPACE SHALL BE STRIPED AND SIGNED PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD AS SHOWN ON SHEET.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE BURKETT ENGINEERING, INC. WITH CONSTRUCTION SCHEDULE FOR VARIOUS STORMWATER ELEMENTS SO THAT PERIODIC SITE VISITS MAY BE COORDINATED TO ALLOW TIMELY CERTIFICATION OF CONSTRUCTION TO AGENCIES AND TO AVOID DELAYS IN ISSUANCE OF CERTIFICATES OF OCCUPANCY.
- REGULATORY STRIPING AND SIGNS SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS. STANDARD STRIPING WIDTH SHALL BE 6".
- ALL SIDEWALKS SHALL BE GRADED AT A SLOPE OF 1:12 OR FLATTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA LICENSED LAND SURVEYOR SELECTED BY THE OWNER AT CONTRACTOR'S EXPENSE.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS AND THE FIELD CONDITIONS.
- ALL MEDIANS AND ISLANDS SHALL BE FILLED WITH CLEAN SOIL.
- ALL DISTURBED AREAS, SIGNAGE, AND LIGHTING SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
- ALL PAVEMENT MARKERS, STRIPING, SIGNAGE, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED BY CONTRACTOR PER CITY OF APOPKA AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
- SITE NORTHING AND EASTING COORDINATES ARE BASED UPON AN ASSUMED DATUM.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING A SAFE AND SECURE CONSTRUCTION SITE. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL SAFETY CODES AND REQUIREMENTS TO INSURE THAT WORKERS, MATERIALS, ONSITE AND OFFSITE PROPERTY, AND ALL OTHER AFFECTED PERSONS ARE SAFE. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO INSURE THAT THE SITE IS SECURE AND NOT ACCESSIBLE TO UNAUTHORIZED PERSONS.
- THE BOUNDARY SURVEY INFORMATION SHOWN WAS PROVIDED BY HLSM, LLC AND IS NOT CERTIFIED BY BURKETT ENGINEERING, INC.
- THE BOUNDARY AND TOPOGRAPHIC SURVEY IS ATTACHED AND SHOULD BE REFERENCED FOR INFORMATION REGARDING EXISTING CONDITIONS.
- DUMPSTER ENCLOSURE WALLS TO BE DESIGNED WITH MASONRY BRICK OR STONE FINISH WITH MASONRY GATES.

LEGAL DESCRIPTION

PARCEL 1:
LOTS 1 THROUGH 8, APOPKA NORTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 11, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

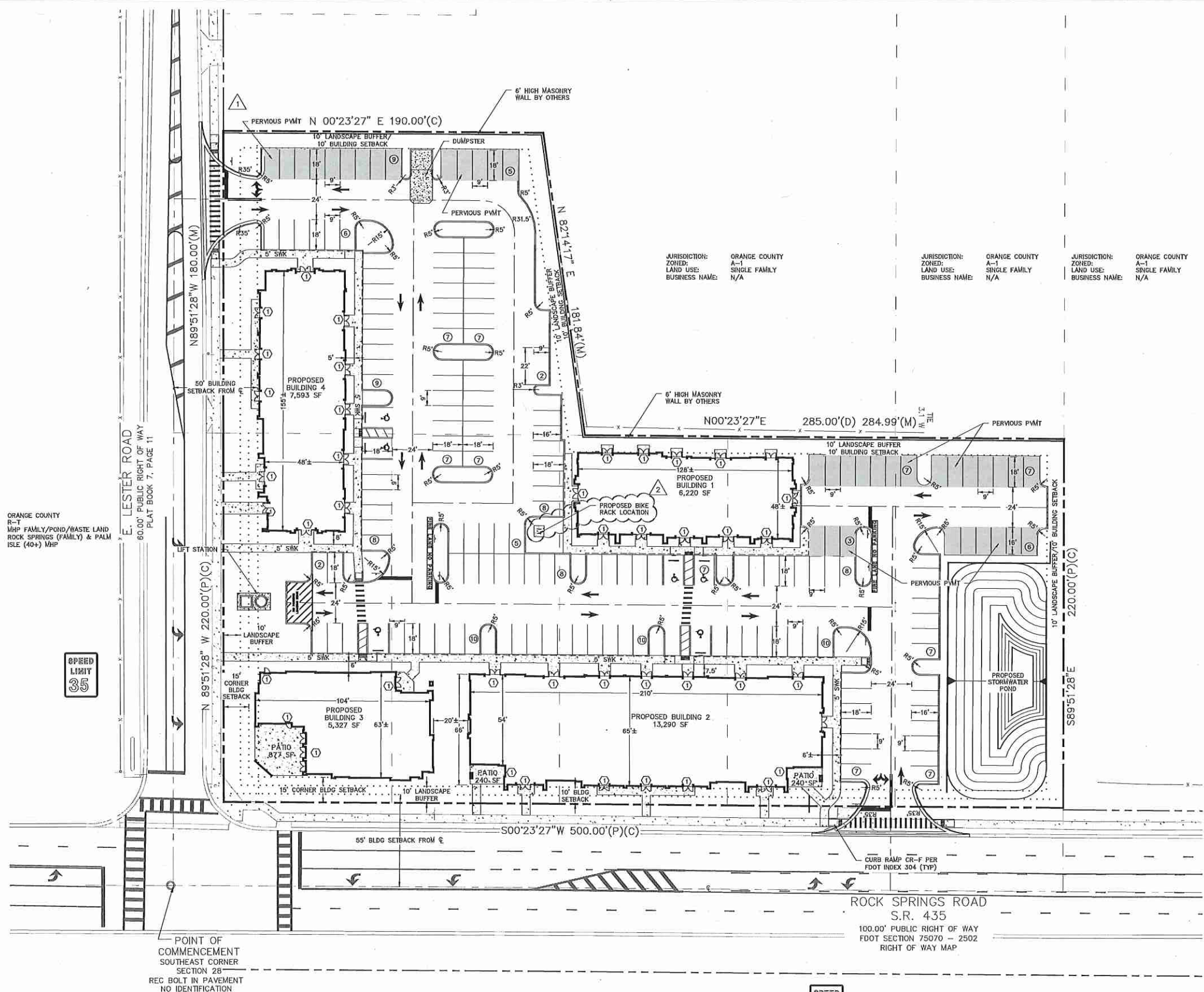
PARCEL 2:
COMMENCE AT THE SOUTHEAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN SOUTH 87 DEGREES 59 MINUTES 49 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION 28 FOR A DISTANCE OF 270.00 FEET TO A POINT THENCE RUN NORTH 01 DEGREES 46 MINUTES 18 SECONDS WEST, FOR A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 87 DEGREES 59 MINUTES 49 SECONDS WEST, ALONG THE NORTH LINE OF WEST LESTER ROAD, A DISTANCE OF 180.00 FEET TO A POINT; THENCE RUN NORTH 01 DEGREES 46 MINUTES 18 SECONDS WEST FOR A DISTANCE OF 190.00 FEET TO A POINT; THENCE RUN NORTH 40 DEGREES 05 MINUTES 34 SECONDS EAST FOR A DISTANCE OF 182.00 FEET TO A POINT; THENCE RUN SOUTH 01 DEGREES 45 MINUTES 16 SECONDS EAST FOR A DISTANCE OF 215 FEET TO THE POINT OF BEGINNING AND TO CLOSE; BEING A POINT ON THE NORTH RIGHT OF WAY OF WEST LESTER ROAD, ALL OF SAID PARCEL LIES IN SOUTHEAST QUARTER OF SAID SECTION 28.

PAVING & DRAINAGE NOTES

- CONTRACTOR IS ADVISED THAT PRIOR TO BEGINNING WORK THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) REQUIRES THE FILING OF A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES CONSTRUCTION GENERAL PERMIT. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FILE THE NOI AND FORWARD COPIES TO BURKETT ENGINEERING AND THE LOCAL MS4 OPERATOR, IF APPLICABLE. CONTACT FDEP NPDES STORMWATER NOTICES CENTER AT 866-336-6312 FOR MORE INFORMATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- SITE GRADING, PAVING, AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO CITY OF APOPKA DEVELOPMENT STANDARDS AND SPECIFICATIONS AND FOOT ROADWAY DESIGN STANDARDS AND SPECIFICATIONS.
- FOR STORMWATER POLLUTION PREVENTION PLAN, SEE SHEET B.
- ELEVATIONS AT CURB ARE EDGE OF PAVEMENT, TOP OF CURB SHALL BE 6" ABOVE EDGE OF PAVEMENT.
- MINIMUM GRADE OF SODDED AREA SHALL BE 1%.
- CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PARKING AND DRIVEWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE RESULT FROM THE ADJUSTMENTS DESCRIBED, THE CONTRACTOR SHALL NOTIFY THE SITE SUPERINTENDENT AND THE ENGINEER PRIOR TO PLACING BASE SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
- FOR GEOTECHNICAL RECOMMENDATIONS AND FINDINGS, REFER TO THE GEOTECHNICAL INVESTIGATION PREPARED BY.
- ALL DISTURBED AREAS ONSITE AND OFFSITE SHALL BE RETURNED TO ORIGINAL CONDITIONS OR BETTER, SOO ALL DISTURBED AREAS.
- A SMOOTH FINISHED TRANSITION SHALL BE MADE AT ALL CURB TERMINATIONS (TYPICAL 2 FOOT TAPER) UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY SHOWN WAS PROVIDED BY HLSM, LLC AND IS NOT CERTIFIED BY BURKETT ENGINEERING, INC.
- STORMWATER STRUCTURES SHALL BE CONSTRUCTED TO A TOLERANCE OF 0.2 FOOT VERTICALLY AND 0.5 FOOT HORIZONTALLY.
- THE CONTRACTOR SHALL PROVIDE BURKETT ENGINEERING WITH COMPLETE STORMWATER AS-BUILTS INCLUDING CONTROL STRUCTURES, INLETS AND PIPES, SPREADER SWALES (IF ANY), AND POND CONTOURS, DIMENSIONS, AND SLOPES. THE AS-BUILT DRAWINGS SHALL BE PREPARED AND CERTIFIED BY A PROFESSIONAL LAND SURVEYOR AND PROVIDED TO THE ENGINEER IN AUTOCAD FORMAT.
- AFTER THE COMPLETION OF THE STORMWATER FEATURES, INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT PERMIT.
- ALL HIGH-DENSITY POLYETHYLENE (HDPE) PIPE USED FOR STORM DRAIN APPLICATIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM M294 CURRENT EDITION AND BE CERTIFIED THROUGH THE PLASTIC PIPE INSTITUTE (PPI) THIRD PARTY CERTIFICATION PROGRAM. ALL HDPE PIPE DELIVERED AND USED SHALL BEAR THE THIRD PARTY ADMINISTERED PPI SEAL. ALL HDPE JOINTS SHALL BE WATER TIGHT AND CERTIFIED TO MEET A MINIMUM LAB TEST OF 10.8 PSI PER ASTM D3212.
- THE FOLLOWING CONSTRUCTION PROCEDURES ARE RECOMMENDED FOR THE DRY POND(S), PER ST. JOHNS RIVER WATER MANAGEMENT DISTRICT:
 - INITIALLY CONSTRUCT THE RETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY APPROXIMATELY 12 INCHES.
 - AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHOULD BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL SHOULD BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SALTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHOULD BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
 - ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM SHOULD BE DEEP RAKED AND LOOSENESED FOR OPTIMAL INFILTRATION.
 - FINALLY, THE BASIN SHOULD BE STABILIZED WITH PERVIOUS MATERIAL OR PERMANENT VEGETATIVE COVER. TO PROVIDE PROPER TREATMENT OF THE RUNOFF IN VERY PERMEABLE SOILS, PERMANENT VEGETATIVE COVER MUST BE UTILIZED WHEN U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE (SCS) HYDROLOGIC GROUP "A" SOILS UNDERLIE THE RETENTION BASIN.

UTILITY NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND CITY OF APOPKA STANDARDS AND SPECIFICATIONS. IN CASE OF A CONFLICT THE MORE STRINGENT RULE SHALL APPLY.
- GRAVITY SEWER MAIN PIPE SHALL BE PVC EXCEPT AS NOTED AND SHALL MEET ASTM D3034 (SDR 35). JOINTS SHALL CONFORM TO ASTM D3212 AND F477.
- GRAVITY SEWER MAIN SHALL BE TESTED PER CITY OF APOPKA AND FDEP STANDARDS. PIPE SHALL BE LAMPED FOR ALIGNMENT, SLOPE TRUTHNESS, INFILTRATION, STANDING WATER, AND CLEANLINESS BY A CITY OF APOPKA INSPECTOR AND BURKETT ENGINEERING REPRESENTATIVE. THE APPROPRIATE DEFLECTION TESTS SHALL ALSO BE PERFORMED PER ASTM STANDARDS. LEAKAGE TESTING SHALL BE PERFORMED PER ASTM F-1417.
- THE ENGINEER AND CITY OF APOPKA INSPECTOR SHALL BE NOTIFIED AT LEAST 5 DAYS PRIOR TO ANY TESTING. FAILURE TO DO SO WILL RESULT IN RETESTING AT THE CONTRACTOR'S EXPENSE.
- SANITARY STRUCTURES SHALL BE CONSTRUCTED TO A TOLERANCE OF 0.1 FOOT VERTICALLY AND 0.5 FOOT HORIZONTALLY.
- COMPLETE AS-BUILT DRAWINGS PREPARED AND CERTIFIED BY A PROFESSIONAL LAND SURVEYOR SHALL BE PROVIDED TO THE ENGINEER IN AUTOCAD FORMAT IMMEDIATELY AFTER COMPLETION OF THE WATER AND SEWER IMPROVEMENTS. AS-BUILTS SHALL INCLUDE MANHOLE LOCATION WITH TOP AND INVERT ELEVATIONS, LOCATION OF VALVES, FITTINGS, AND OTHER APPURTENANCES, LENGTHS OF PIPE, TOP OF WATER MAIN ELEVATIONS, SIZE AND MATERIAL OF PIPE, SEPARATION DISTANCES AT PIPE CROSSINGS AND SHALL MEET CITY OF APOPKA REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY UTILITIES AND SUNSHINE STATE ONE CALL PRIOR TO CONSTRUCTION FOR FLAGGING/LOCATION OF EXISTING UTILITY LINES. EXISTING UTILITY LOCATIONS SHOWN ARE ONLY APPROXIMATE AS PROVIDED BY SHANNON SURVEYING.
- ALL SEWER PIPE SHALL BE BURED WITH IDENTIFICATION TAPE ABOVE THE TOP OF THE PIPE. THE TAPE SHALL INDICATE THE PRESENCE OF SANITARY SEWERS, WASTEWATER FORCE MAIN, OR RECLAIMED WATER MAINS. TAPE SHALL BE DETECTABLE BY STANDARD METAL DETECTION EQUIPMENT.
- ALL NONMETALLIC WATER MAINS SHALL BE INSTALLED WITH CONTINUOUS, INSULATED TO GAUGE COPPER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES. ALL PIPE AND PIPE FITTINGS SHALL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-505.320 (2) (B) 3, F.A.C., USING BLUE AS A PREDOMINANT COLOR.
- NEW WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST:
 - THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, OR RECLAIMED WATER MAIN;
 - SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER; IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER THE HORIZONTAL DISTANCE MAY BE REDUCED TO THREE FEET;
 - SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR RECLAIMED WATER MAIN; AND
 - TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED ON-SITE SEWER TREATMENT AND DISPOSE SYSTEMS OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE.
- AT PIPE CROSSINGS NEW WATER MAINS SHALL BE LAID TO PROVIDE A VERTICAL DISTANCE OF AT LEAST:
 - SIX INCHES ABOVE OR 12 INCHES BELOW ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER; AND
 - THREE INCHES ABOVE OR BELOW ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR RECLAIMED WATER MAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPROPRIATE CONSTRUCTION, DISINFECTION AND TESTING BEYOND THE WATER METER TO ASSURE POTABILITY AT THE POINT OF USE.
- POTABLE WATER PIPES SHALL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH SPECIFICATION NUMBERS C600 AND C605/M33 FOR DUCTILE IRON AND PVC PIPES RESPECTIVELY AND WITNESSED BY CITY APOPKA INSPECTOR AND BURKETT ENGINEERING REPRESENTATIVE. CHLORINATION AND BACTERIOLOGICAL TESTING SHALL BE PERFORMED PER AWWA C651 AND WITNESSED BY CITY OF APOPKA INSPECTOR. IT IS RECOMMENDED THAT BACTERIOLOGICAL TESTING BE PERFORMED AFTER BURKETT ENGINEERING HAS COMPLETED THE WATER SYSTEM AS-BUILTS ARE SUFFICIENT.
- POTABLE WATER PIPES MUST BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - DUCTILE IRON PIPE (3 INCHES TO 54 INCHES) - AWWA C160/C151;
 - PVC (WITH NATIONAL SANITATION FOUNDATION SEAL) (1) AWWA C900/ASTM 1784 (4 INCHES TO 12 INCHES) WITH DR25 MINIMUM (2) AWWA C905 (14 INCHES TO 36 INCHES); (3) ASTM 1785 OR AWWA C905 (LESS THAN 4 INCHES) SCHEDULES 40, 60, AND 120 OR ASTM 2241 (SDR 21 MINIMUM); OR
 - POLYETHYLENE PIPE - AWWA C901 WITH VALVES AND FITTINGS (AWWA C800).
- IF CONNECTION TO THE WATER MAIN WILL RESULT IN A DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR:
 - PRECAUTIONARY BOIL WATER NOTICES MUST BE ISSUED IN CASE OF PLANNED DISTRIBUTION INTERRUPTIONS, WHICH ARE DEEMED AN IMMINENT PUBLIC HEALTH THREAT BY THE DEPT. CENTRAL DISTRICT OR WILL AFFECT THE BACTERIOLOGICAL QUALITY OF THE DRINKING WATER UNLESS THE PUBLIC WATER SYSTEM CAN DEMONSTRATE, BY SOUND ENGINEERING JUDGEMENT, THAT THE INTEGRITY OF THE WATER SYSTEM HAS BEEN MAINTAINED; OR
 - IN CASES OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR AND NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.
- ALL AIR/VACUUM RELIEF VALVES MUST END IN A DOWN-TURNED ELBOW AT LEAST 12 INCHES ABOVE THE SURROUNDING GRADE SUCH VALVES SHALL BE PLACED AT HIGH POINTS IN THE WATER MAIN AND FORCE MAIN.
- FILLING OF PROPOSED WATER MAINS FROM EXISTING WATER MAINS WILL BE DONE IN ACCORDANCE WITH AWWA SPECIFICATION C651.
- PROPOSED GATE VALVES AT POINTS OF CONNECTION SHALL BE CLOSED AND REMAIN LOCKED UNTIL LINE IS CLEARED, CITY OF APOPKA PUBLIC UTILITIES SHALL LOCK VALVE AND RETAIN KEY. VALVE SHALL BE OPERATED BY CITY OF APOPKA PERSONNEL ONLY.
- MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED PIPES, EXCEPT AS SPECIFICALLY SHOWN ON THESE PLANS. WATER MAINS SHALL BE SUFFICIENTLY DEEP TO PROVIDE CLEARANCE WITH STORM AND SANITARY SEWER LINES.
- ON-SITE WATER DISTRIBUTION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED BY COPART.
- ON-SITE WASTEWATER COLLECTION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED BY COPART.
- WATER MAIN SHALL NOT COME IN CONTACT WITH OR PASS THROUGH ANY SANITARY OR STORM SEWER MANHOLE OR STRUCTURE.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES AND POINTS OF CONNECTION, IF ANY DISCREPANCIES WITH PIPE, FITTING, VALVE OR STRUCTURE LOCATIONS ARE DISCOVERED DURING STAKEOUT, CONTRACTOR SHALL CONTACT BURKETT ENGINEERING FOR CLARIFICATION.
- FIRE HYDRANTS SHALL BE CENTERED WITHIN PROPOSED ISLANDS, APPROXIMATELY THREE FEET FROM THE BACK OF CURB. PUMPER NOZZLE SHALL FACE PARKING LOT.
- ALL PVC PIPE SHALL BEAR THE NATIONAL SANITATION FOUNDATION (NSF) SEAL.
- CHAPTER 77-163 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATING. PLANS SHOW ONLY THE APPROXIMATE LOCATION OF GAS MAINS OR SERVICES LINES. THE ONLY SAFE AND PROPER WAY TO LOCATE GAS FACILITIES IS BY AN ON-SITE INSPECTION BY PEOPLES GAS SYSTEM PERSONNEL. THEREFORE, EXCAVATORS ARE INSTRUCTED TO TELEPHONE SUNSHINE STATE ONE CALL AT 1-800-432-4770 TWO WORKING DAYS BEFORE DIGGING IN A CONSTRUCTION AREA.
- FORCEMANS BETWEEN 4 INCHES AND 12 INCHES SHALL BE PVC C900/DR25. FORCEMANS GREATER THAN 12 INCHES SHALL BE PVC C905 AND HAVE AN APPROPRIATE DR DESIGNATION. LEAKAGE TESTING SHALL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY A BURKETT ENGINEERING REPRESENTATIVE.
- WATER SYSTEM JOINTS SHALL BE INTEGRAL BELL PUSH ON TYPE AND CONFORM TO ASTM 3139.
- CONTRACTOR SHALL MEET ALL CONDITIONS OF THE FDEP PERMITS, IF PERMITS ARE REQUIRED.
- ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED UNDER THIS PROJECT SHALL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
- ALL MANHOLES SHALL BE INSPECTED AND TESTED FOR WATER TIGHTNESS AND DAMAGE BY THE CONTRACTOR PRIOR TO PLACING THE MANHOLES INTO SERVICE.
- ALL WATER MAIN TEES, BENDS, PLUGS AND HYDRANTS SHALL BE PROVIDED WITH THRUST BLOCKS OR RESTRAINED JOINTS TO PREVENT MOVEMENT.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF APOPKA 48-HOURS PRIOR TO ANY UTILITIES CONSTRUCTION.
- THE CONSTRUCTION OF ALL UTILITIES CONNECTING TO CITY OF APOPKA UTILITY SYSTEMS SHALL CONFORM TO CITY OF APOPKA'S STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
- IF THE SERVICE IS 2" OR SMALLER, INSTALLATION BY CITY OF APOPKA, LARGER THAN 2" INSTALLED BY CONTRACTOR.
- ALL POWER SERVICES WILL HAVE TO BE PROVIDED UNDERGROUND, NO OVERHEAD SERVICE WILL BE ALLOWED.
- ALL ROADWAYS, WATER LINE INFRASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.



JURISDICTION: ORANGE COUNTY
 ZONED: R-1
 LAND USE: MHP FAMILY/POND/WASTE LAND
 BUSINESS NAME: ROCK SPRINGS (FAMILY) & PALM ISLE (40+) MHP

JURISDICTION: ORANGE COUNTY
 ZONED: A-1
 LAND USE: SINGLE FAMILY
 BUSINESS NAME: N/A

JURISDICTION: ORANGE COUNTY
 ZONED: A-1
 LAND USE: SINGLE FAMILY
 BUSINESS NAME: N/A

JURISDICTION: ORANGE COUNTY
 ZONED: A-1
 LAND USE: SINGLE FAMILY
 BUSINESS NAME: N/A

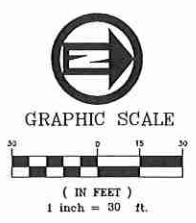
JURISDICTION: CITY OF APOPKA
 ZONED: PUD
 LAND USE: VACANT H.O.A.
 BUSINESS NAME: WEKIVA PARK TOWNHOMES
 61/72 TRACT A (OPEN SPACE)

JURISDICTION: CITY OF APOPKA
 ZONED: AG
 LAND USE: WAREHOUSING
 BUSINESS NAME: TRADER MAE'S

JURISDICTION: CITY OF APOPKA
 ZONED: AG
 LAND USE: NON-AG ACREAGE
 BUSINESS NAME: WEKIVA FARMS

KEY NOTES
 ① BUILDING ENTRANCE

LEGEND



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NO.	DATE	DESCRIPTION
1	8/28/18	PRELIMINARY DEVELOPMENT PLAN/MASTER PLAN FOR VBRO ENTERPRISES, LLC
2	8/28/18	REVISED CITY COMMENTS
3	8/28/18	REVISED CITY COMMENTS
4	8/28/18	REVISED CITY COMMENTS
5	8/28/18	REVISED CITY COMMENTS
6	8/28/18	REVISED CITY COMMENTS
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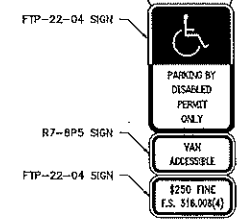
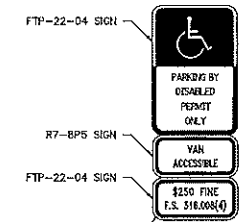
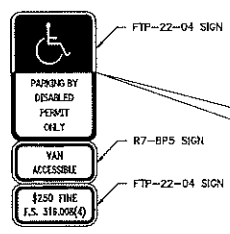
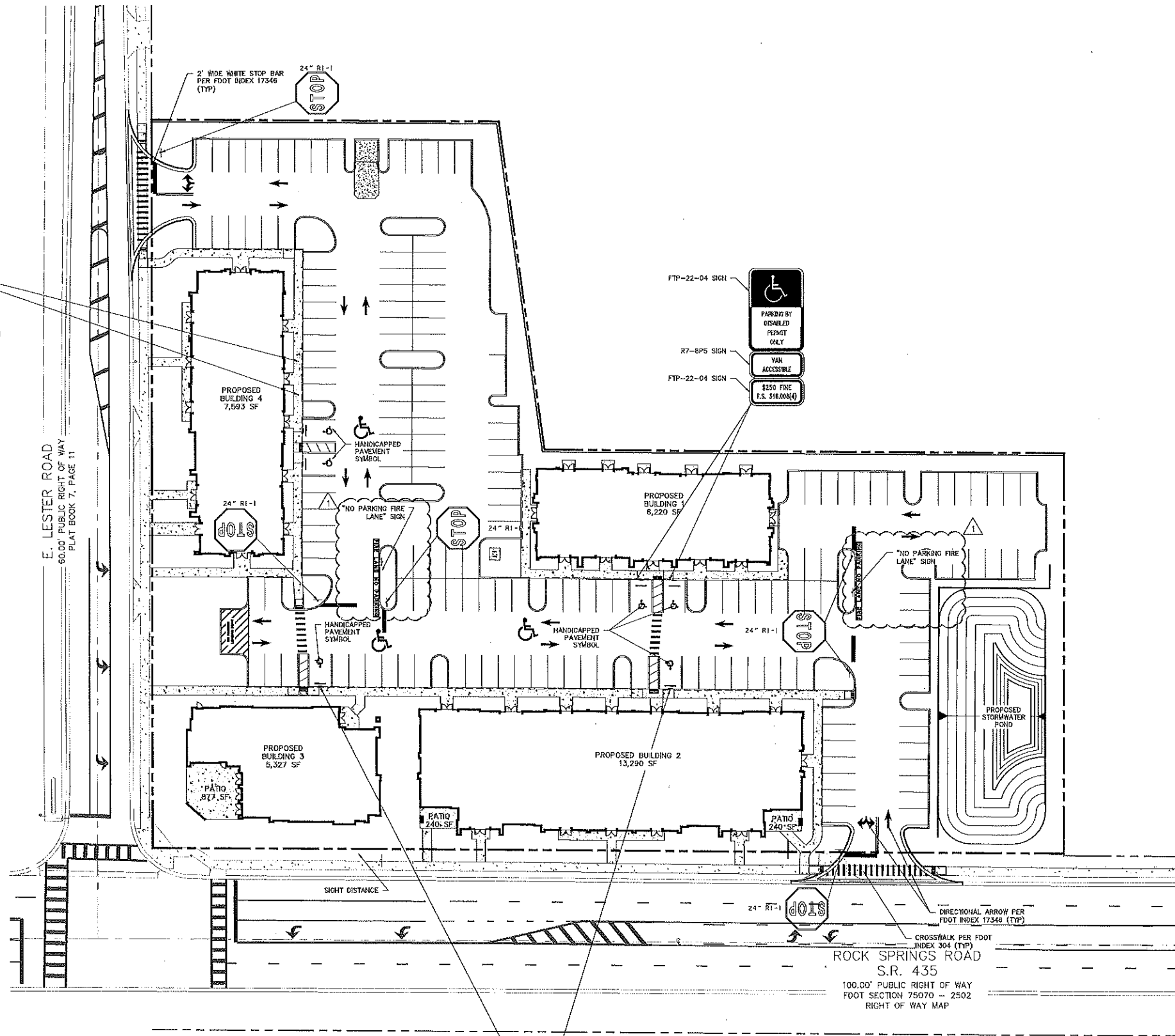
GATEWAY PLAZA
 PRELIMINARY DEVELOPMENT PLAN/MASTER PLAN
 FOR VBRO ENTERPRISES, LLC
 SITE PLAN

DATE: 8/28/18
 PROJECT NO.: 1720.12
 DRAWN BY: JCM
 DESIGNED BY: WEB
 CHECKED BY: WEB



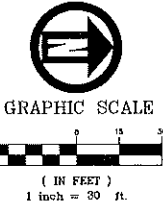
RECORDED & RETURNED TO:
 BURKETT ENGINEERING, INC.
 CERT. OF AUTHORITY NO. 7195

SHEET NO. **4**
 OF: 16



KEY NOTES

LEGEND



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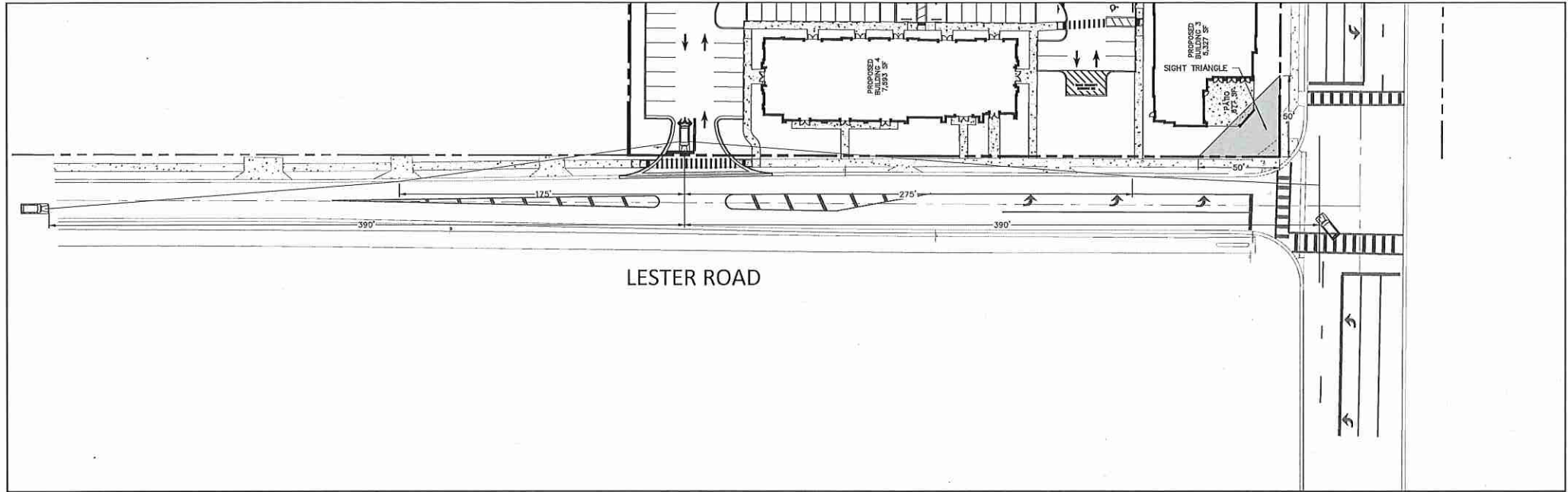
NO.	DATE	DESCRIPTION

GATEWAY PLAZA
 PRELIMINARY DEVELOPMENT PLAN/MASTER PLAN
 FOR VBRO ENTERPRISES, LLC
 SIGNAGE AND MARKING PLAN

DATE: 8/28/18
 PROJECT NO.: 1720.12
 DRAWN BY: JCM
 DESIGNED BY: WEB
 CHECKED BY: WEB



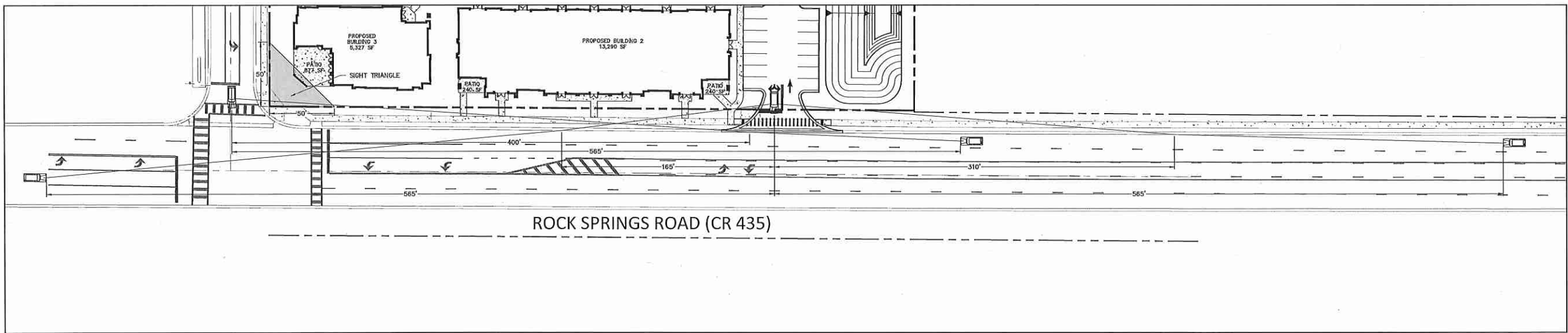
SHEET NO. **5**
 OF: 16



LESTER ROAD



GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft.



ROCK SPRINGS ROAD (CR 435)



GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft.

NO.	DATE	DESCRIPTION

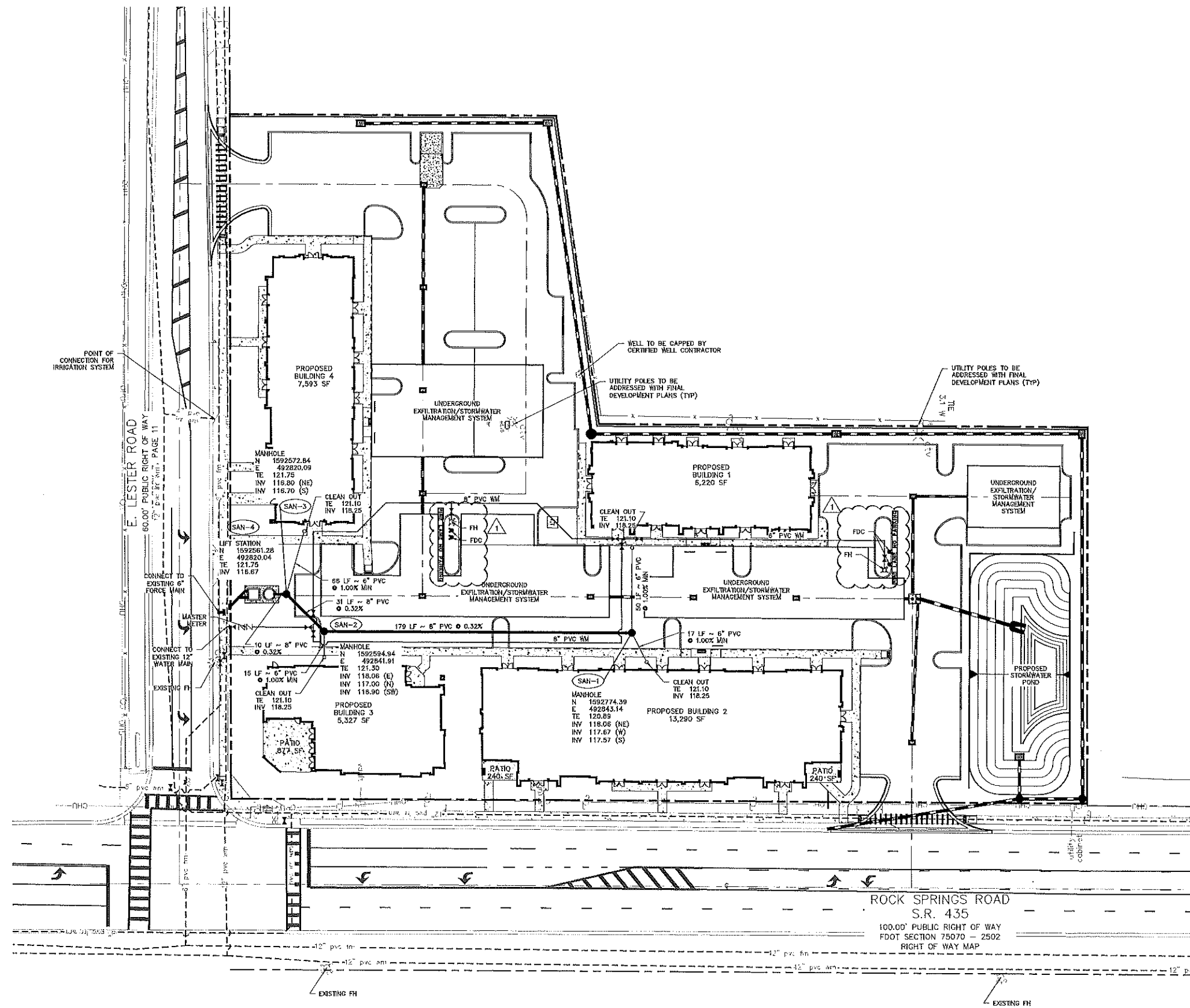
GATEWAY PLAZA
 PRELIMINARY DEVELOPMENT PLAN/MASTER PLAN
 FOR VBRO ENTERPRISES, LLC
 LINE OF SIGHT PLAN

DATE: 8/28/18
 PROJECT NO.: 1720.12
 DRAWN BY: JCM
 DESIGNED BY: WEB
 CHECKED BY: WEB



BURKETT ENGINEERING, INC.
 CERT. OF QUALITY NO. 7105

SHEET NO.
6
 OF: 16



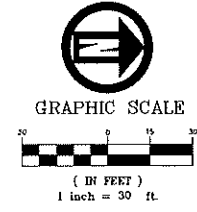
NO.	DATE	DESCRIPTION

GATEWAY PLAZA
PRELIMINARY DEVELOPMENT PLAN/MASTER PLAN
FOR VBRO ENTERPRISES, LLC
UTILITY PLAN

DATE: 8/28/18
 PROJECT NO.: 1720.12
 DRAWN BY: JCM
 DESIGNED BY: WEB
 CHECKED BY: WEB



SHEET NO. **7**
 OF: 16

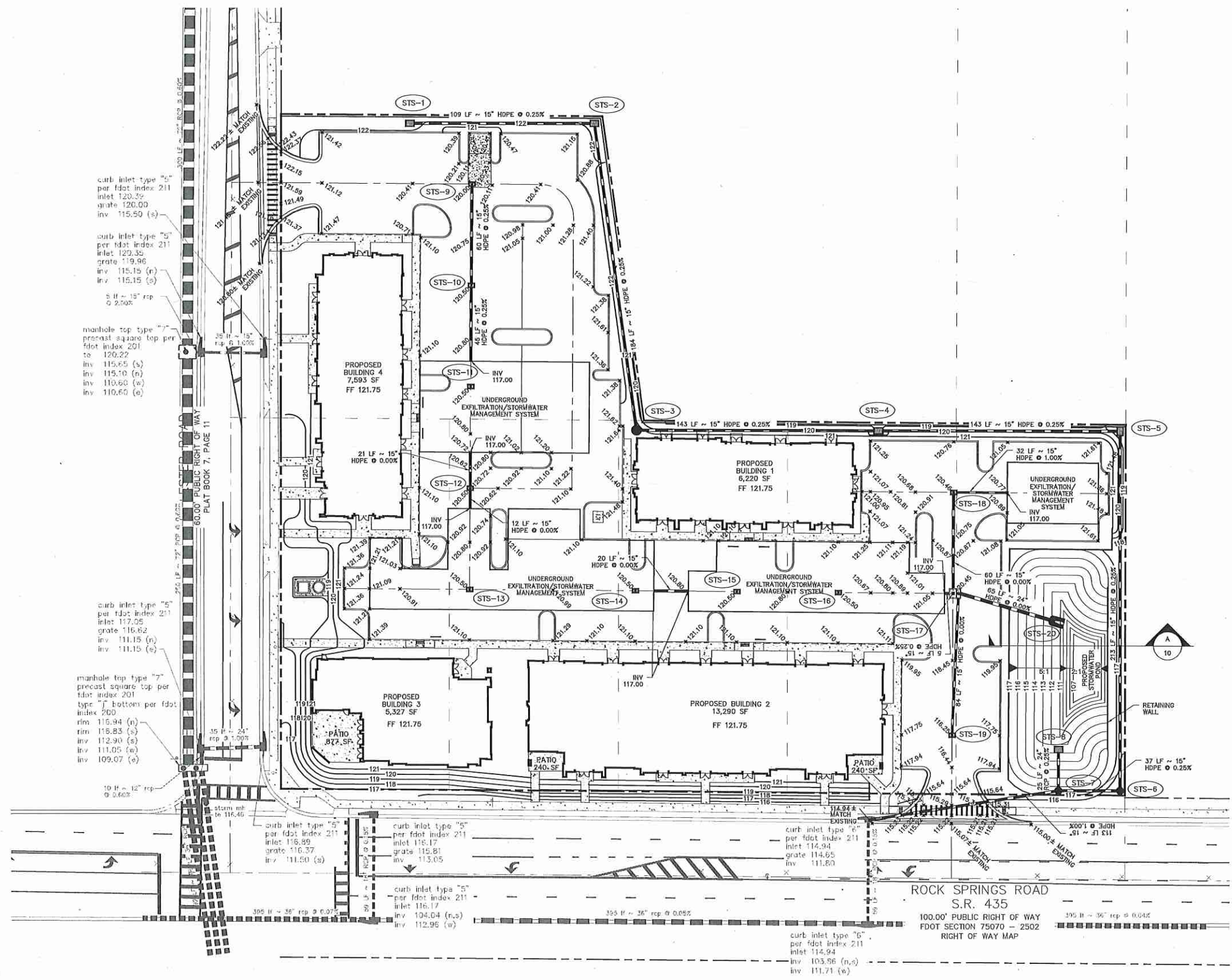


PAVING & DRAINAGE NOTES

1. STORMWATER SYSTEM TO BE DESIGNED PER CITY OF APOPKA LAND DEVELOPMENT CODE SECTION 6.05.00.

STRUCTURE DATA

STS-1	STS-2	STS-3
TYPE E INLET PER FDOT INDEX 425-052	TYPE E INLET PER FDOT INDEX 425-052	MANHOLE PER FDOT INDEX 425-010, 425-001
N -	N -	N -
E -	E -	E -
TE 121.50	TE 121.50	TE 121.25
INV 115.01	INV 114.74	INV 114.28
STS-4	STS-5	STS-6
TYPE E INLET PER FDOT INDEX 425-052	TYPE E INLET PER FDOT INDEX 425-052	MANHOLE PER FDOT INDEX 425-010, 425-001
N -	N -	N -
E -	E -	E -
TE 119.00	TE 119.00	TE 116.00
INV 113.42	INV 113.57	INV 113.03
STS-7	STS-8	STS-9
MANHOLE PER FDOT INDEX 425-010, 425-001	TYPE E INLET PER FDOT INDEX 425-052	TYPE C INLET PER FDOT INDEX 425-052
N -	N -	N -
E -	E -	E -
TE 116.50	TE 115.00	TE 120.00
INV 112.94	INV 113.00	INV 117.29
STS-10	STS-11	STS-12
TYPE C INLET PER FDOT INDEX 425-052	TYPE C INLET PER FDOT INDEX 425-052	TYPE C INLET PER FDOT INDEX 425-052
N -	N -	N -
E -	E -	E -
TE 120.50	TE 120.50	TE 120.50
INV 117.11	INV 117.00	INV 117.00
STS-13	STS-14	STS-15
TYPE C INLET PER FDOT INDEX 425-052	TYPE C INLET PER FDOT INDEX 425-052	TYPE C INLET PER FDOT INDEX 425-052
N -	N -	N -
E -	E -	E -
TE 120.50	TE 120.50	TE 120.50
INV 117.10	INV 117.00	INV 117.00
STS-16	STS-17	STS-18
TYPE C INLET PER FDOT INDEX 425-052	CONTROL STRUCTURE SEE DETAIL G, SHEET 10	TYPE C INLET PER FDOT INDEX 425-052
N -	N -	N -
E -	TE 120.45	E -
TE 120.50	INV 113.00 (H)	TE 120.45
INV 117.00	INV 116.98 (S)	TE 120.45
STS-19	STS-20	
TYPE C INLET PER FDOT INDEX 425-052	MITERED END SECTION PER FDOT INDEX 430-010	
N -	N -	
E -	E -	
TE 116.25	INV 113.00	
INV 113.00		



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NO.	DATE	DESCRIPTION

GATEWAY PLAZA
 PRELIMINARY DEVELOPMENT PLAN/MASTER PLAN
 FOR VBRO ENTERPRISES, LLC
 GRADING AND DRAINAGE PLAN

DATE: 8/28/18
 PROJECT NO.: 1720.12
 DRAWN BY: JCM
 DESIGNED BY: WEB
 CHECKED BY: WEB
 ENGINEER/IN CHARGE: WILSON F. PUGH, P.E.
 LICENSE NO. 35043
 REGISTERED PROFESSIONAL ENGINEER
 BURKETT ENGINEERING, INC.
 CERT. OF AGENCY NO. 7105

SHEET NO. 8 OF 16

DESCRIPTION OF PROJECT

THIS PROJECT WILL INCLUDE CONSTRUCTION OF FOUR BUILDINGS WITH ADJACENT PARKING FACILITIES. SOIL DISTURBING ACTIVITIES WILL INCLUDE: DEMOLITION OF AN EXISTING STRUCTURE, REMOVAL OF EXISTING ON-SITE UTILITIES, CLEARING AND GRUBBING, INSTALLING A STABILIZED CONSTRUCTION ENTRANCE PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS, GRADING, EXCAVATION FOR THE STORMWATER POND AND EXFILTRATION SYSTEM, STORM SEWER, UTILITIES, AND BUILDING FOUNDATIONS; CONSTRUCTION OF CURB AND GUTTER, AND PARKING AREAS; AND PREPARATION FOR FINAL PLANTING AND SEEDING. THE STORMWATER FROM THIS SITE DISCHARGES TO THE PROPOSED STORMWATER SYSTEM.

SEQUENCE OF ACTIVITIES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE
2. INSTALL DOWNSLOPE AND SIDESLOPE PERIMETER CONTROLS (E.G., SILT FENCE)
3. DEMOLITION AND REMOVAL OF EXISTING STRUCTURE AND UTILITIES
4. CONDUCT CLEARING AND GRUBBING
5. CONDUCT EXCAVATION AND STOCKPILING ACTIVITIES
6. STABILIZE EXCAVATED AREAS AND STOCKPILES WITHIN 14 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA
7. ROUGH GRADING AND INSTALLATION OF UTILITIES, STORM SEWER, AND CURB AND GUTTER
8. FINAL OR FINISH GRADING
9. CONSTRUCT BUILDINGS
10. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING
11. COMPLETE FINAL PAVING
12. REMOVE ACCUMULATED SEDIMENT FROM INLETS
13. REMOVE DOWNSLOPE AND SIDESLOPE PERIMETER CONTROLS AFTER ALL UPSTREAM AREAS ARE STABILIZED

STORMWATER POLLUTION PREVENTION AND SOIL EROSION & SEDIMENT CONTROL NOTES

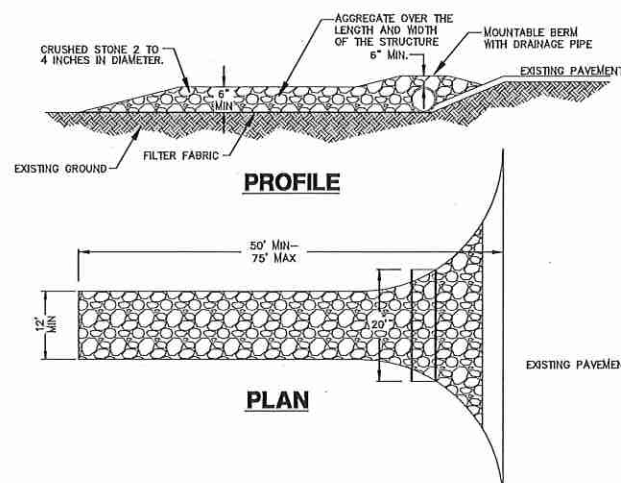
1. THIS PLAN SHALL BE AVAILABLE ON-SITE AT ALL TIMES DURING THE SITEWORK CONSTRUCTION.
2. THE "LIMITS OF DISTURBANCE" LINE SHOWN ON THIS PLAN INDICATES THE POINT BEYOND WHICH THE EXISTING VEGETATION SHOULD NOT BE IMPACTED.
3. STORMWATER POLLUTION PREVENTION MEASURES SHOWN HEREIN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ERECTING AND MAINTAINING AN EROSION AND SEDIMENT CONTROL SYSTEM TO MEET CITY OF APOPKA, ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT, FDEP, AND NPDES REQUIREMENTS.
4. MEANS AND METHODS IN ACCORDANCE WITH STANDARD PRACTICE PER USDA-SCS-NRCS RECOMMENDED GUIDELINES AND AS AUGMENTED BY THE AFOREMENTIONED REGULATORY AUTHORITIES ARE THE CONTRACTORS RESPONSIBILITY FOR IMPLEMENTATION AND NPDES COMPLIANCE.
5. EACH AREA OF THE SITE SHALL NOT BE DISTURBED UNTIL IT IS NECESSARY FOR CONSTRUCTION TO PROCEED. DISTURBED AREAS SHALL BE COVERED OR STABILIZED AS SOON AS POSSIBLE.
6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE AREA THEY PROTECT HAS BEEN SOODED, PAVEMENT HAS BEEN PLACED, OR THE AREA IS OTHERWISE COMPLETELY STABILIZED.
7. ALL DISTURBED AREAS OF THE SITE SHALL BE INSPECTED BY QUALIFIED PERSONNEL OF THE RESPONSIBLE CONTRACTOR EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT OF 0.5 INCHES OR MORE TO ASSESS THE INTEGRITY OF THE EROSION AND SEDIMENT CONTROLS. THE INSPECTOR SHALL NOTE ANY DAMAGE OR DEFICIENCIES IN THE CONTROL MEASURES IN AN INSPECTION REPORT. PROBLEM AREAS SHALL BE CORRECTED BY THE RESPONSIBLE CONTRACTOR WITHIN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION.
8. THE CONTRACTOR SHALL KEEP A RECORD OF CONSTRUCTION ACTIVITIES INCLUDING DATES WHEN MAJOR GRADING ACTIVITIES OCCUR IN A PARTICULAR AREA, DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA, WHETHER TEMPORARILY OR PERMANENTLY, AND DATES WHEN AN AREA IS STABILIZED.
9. IF A CHANGE IN CONSTRUCTION SCHEDULE OCCURS OR THIS PLAN PROVES, THROUGH REGULAR INSPECTIONS, TO BE LACKING, BURKETT ENGINEERING SHALL BE NOTIFIED SO THAT PLAN MODIFICATIONS CAN BE MADE. NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO ALLOW RAINFALL RUNOFF DIRECTLY FROM THE PROJECT SITE.
11. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT-LADEN STORMWATER RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
12. IF, AFTER FOURTEEN DAYS, GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% GOOD GRASS COVER, THOSE AREAS SHALL BE REWORKED AND ADDITIONAL SEED OR SOO APPLIED TO ESTABLISH THE DESIRED VEGETATIVE COVER.
13. FOR WET STORMWATER PONDS, THE POND SLOPES SHALL BE SOLID SOODED TO THE NORMAL CONTROL ELEVATION.
14. ALL EXPOSED AREAS WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE SOLID SOODED, OTHER NON-POND AREAS WITH SLOPES STEEPER THAN 4:1 SHALL BE SOODED AND STAKED AS NECESSARY.
15. TURF REINFORCEMENT MATS SHALL BE INSTALLED WHERE STORMWATER PIPES OUTFALL AT GRADE OR IN SPREADER SWALES.
16. IF CONSTRUCTION OCCURS ALONG A WATER BODY, TURBIDITY BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX 103.
17. A NOTICE OF TERMINATION FOR THE NPDES CONSTRUCTION GENERAL PERMIT SHALL BE SUBMITTED TO THE FDEP NPDES STORMWATER NOTICES CENTER WITHIN 14 DAYS OF THE DATE WHEN ALL AREAS OF THE SITE NOT OTHERWISE COVERED BY A PERMANENT PAVEMENT OR STRUCTURE HAVE BEEN STABILIZED WITH A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OR GREATER.
18. SILTSACK CATCH BASIN SILT FILTERING SYSTEM BY ACF ENVIRONMENTAL (800) 448-3636, OR APPROVED EQUAL SHALL BE USED.

CONTRACTOR'S CERTIFICATION

ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED ON THIS PLAN SHALL SIGN THE CERTIFICATION BELOW BEFORE CONDUCTING ANY PROFESSIONAL SERVICE IDENTIFIED IN THE STORMWATER POLLUTION PREVENTION PLAN:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

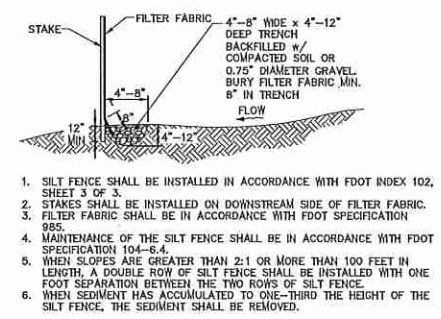
SIGNATURE & DATE	NAME & TITLE	COMPANY ADDRESS & PHONE NUMBER	RESPONSIBLE FOR:
			TEMPORARY AND PERMANENT STABILIZATION
			STABILIZED CONSTRUCTION ENTRANCE
			WASTE DISPOSAL
			APPLICATION OF FERTILIZERS, HERBICIDES, & PESTICIDES
			STORAGE, APPLICATION, GENERATION, AND MIGRATION OF ALL TOXIC SUBSTANCES



- DESIGN CRITERIA:**
1. A STABILIZED CONSTRUCTION ENTRANCE (SCE) IS APPROPRIATE IN THE FOLLOWING LOCATIONS:
 - A. WHEREVER VEHICLES ARE LEAVING A CONSTRUCTION SITE AND ENTER ONTO A PUBLIC ROAD.
 - B. AT ANY UNPAVED ENTRANCE/EXIT LOCATION WHERE THERE IS RISK OF TRANSPORTING MUD OR SEDIMENT ONTO PAVED ROADS.
 2. THE WIDTH SHOULD BE AT LEAST 10 FEET TO 12 FEET OR AS WIDE AS THE ENTIRE WIDTH OF THE ACCESS. AT SITES WHERE TRAFFIC VOLUME IS HIGH, THE ENTRANCE SHOULD BE WIDE ENOUGH FOR TWO VEHICLES TO PASS SAFELY.
 3. RUNOFF FROM A STABILIZED CONSTRUCTION ENTRANCE SHOULD DRAIN TO A SEDIMENT TRAP OR SEDIMENT BASIN.
 4. PRIOR TO PLACING GEOTEXTILE (FILTER FABRIC) MAKE SURE THAT THE ENTRANCE IS PROPERLY GRADED AND COMPACTED.
 5. INSPECT THE STABILIZED CONSTRUCTION ENTRANCE ON A REGULAR BASIS AND AFTER THERE HAS BEEN A HIGH VOLUME OF TRAFFIC OR STORM EVENT. APPLY ADDITIONAL STONE PERIODICALLY AND WHEN REPAIR IS REQUIRED.
 6. IMMEDIATELY REMOVE SEDIMENTS OR ANY OTHER MATERIALS TRACKED ONTO THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ENTRANCE

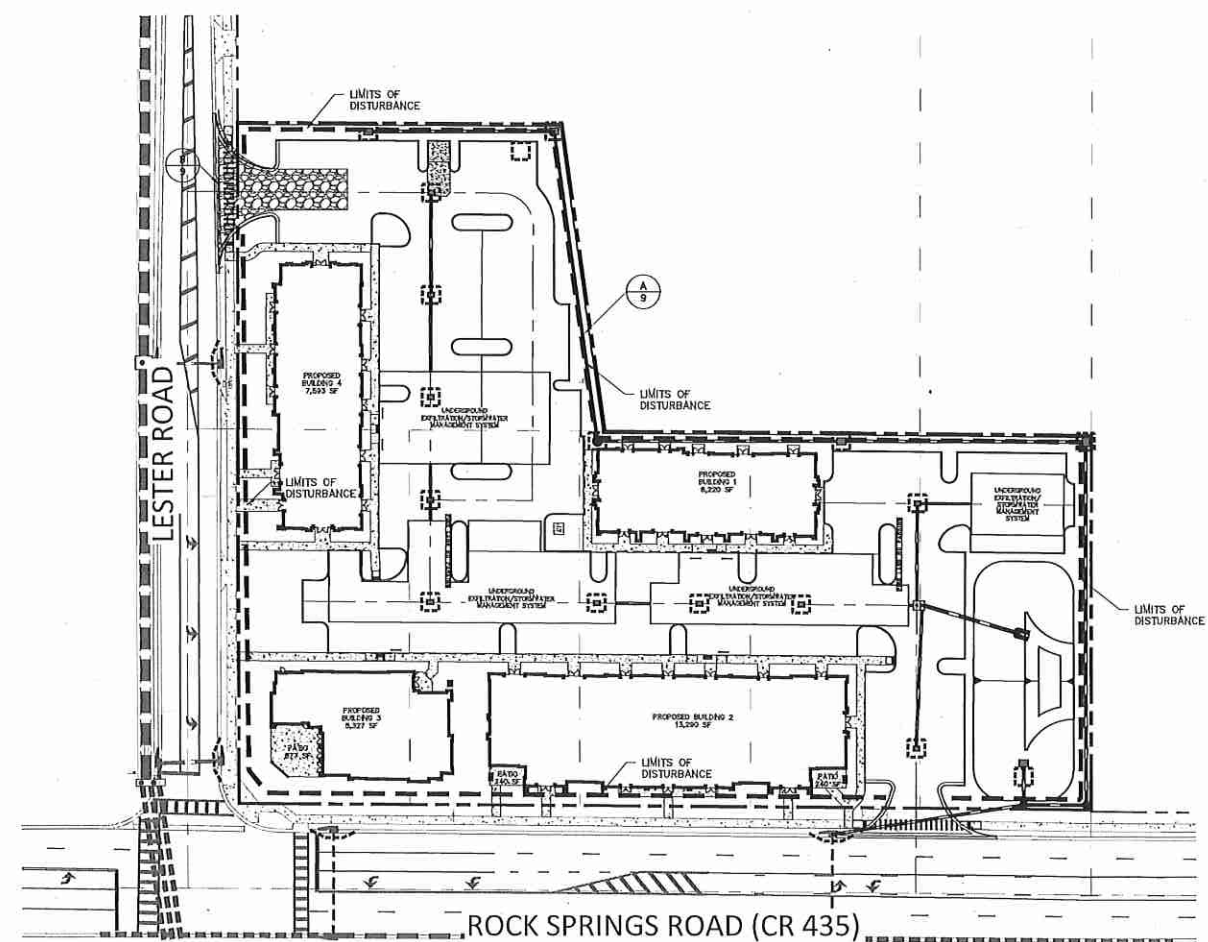
(B) NOT TO SCALE



SILT FENCE

(A) NOT TO SCALE

1. SILT FENCE SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX 102, SHEET 3 OF 3.
2. STAKES SHALL BE INSTALLED ON DOWNSLOPE SIDE OF FILTER FABRIC.
3. FILTER FABRIC SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATION 955.
4. MAINTENANCE OF THE SILT FENCE SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATION 104-6.4.
5. WHEN SLOPES ARE GREATER THAN 2:1 OR MORE THAN 100 FEET IN LENGTH, A DOUBLE ROW OF SILT FENCE SHALL BE INSTALLED WITH ONE FOOT SEPARATION BETWEEN THE TWO ROWS OF SILT FENCE.
6. WHEN SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE HEIGHT OF THE SILT FENCE, THE SEDIMENT SHALL BE REMOVED.



KEY NOTES

- (1) X
- (2) X
- (3) X
- (4) X
- (5) X
- (6) X
- (7) X
- (8) X
- (9) X
- (10) X

LEGEND



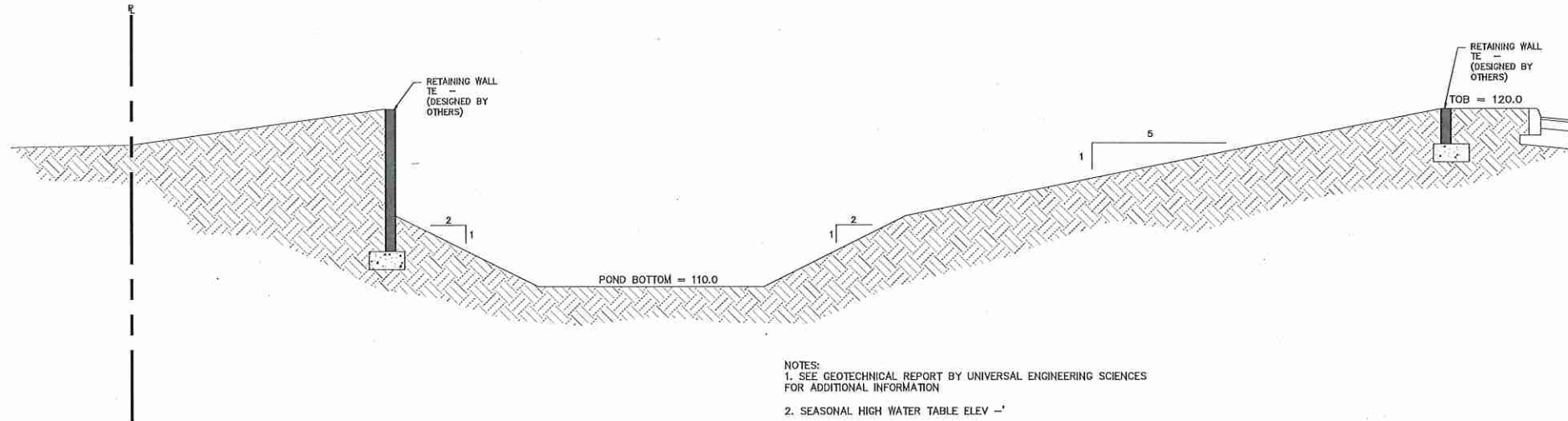
Burkett
 engineering
 CIVIL ENGINEERING CONSULTANTS
 105 E. Robinson Street, Suite 501 Orlando, Florida 32801
 (407) 246-1860 Fax (407) 246-0423
 www.burkettengineering.com

GATEWAY PLAZA
 PRELIMINARY DEVELOPMENT PLAN/MASTER PLAN
 FOR VBRO ENTERPRISES, LLC
 STORMWATER POLLUTION PREVENTION PLAN

DATE: 8/28/18
 PROJECT NO.: 1720.12
 DRAWN BY: JCM
 DESIGNED BY: WEB
 CHECKED BY: WEB



SHEET NO. **9**
 OF: 16

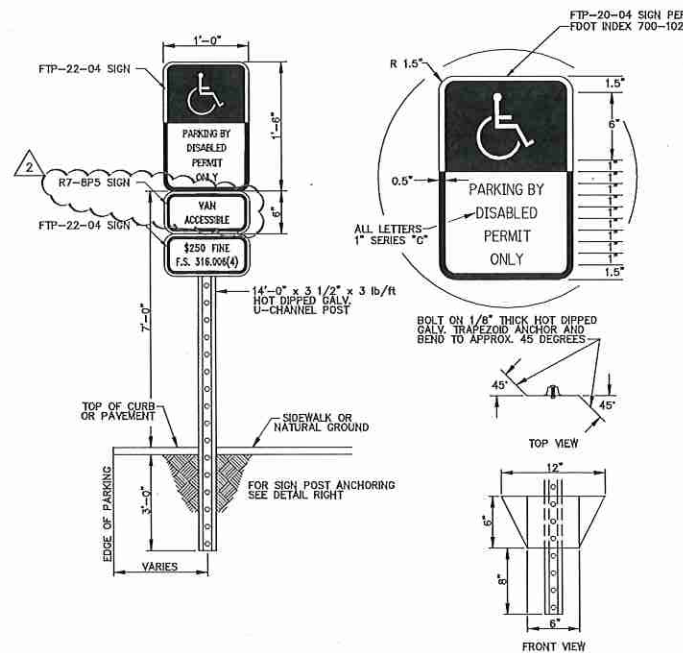


NOTES:
 1. SEE GEOTECHNICAL REPORT BY UNIVERSAL ENGINEERING SCIENCES FOR ADDITIONAL INFORMATION
 2. SEASONAL HIGH WATER TABLE ELEV -'

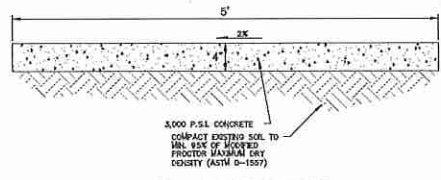
2 DRY RETENTION POND SECTION
 NOT TO SCALE

- (A)** 1 1/4" ASPHALT TYPE SP-9.5 COMPACTED TO AN AVERAGE FIELD DENSITY OF 93% OF THE LABORATORY MAXIMUM DENSITY.
- (B)** 6" BASE COURSE, LIMEROCK @ MINIMUM LBR OF 100% COMPACTED TO A MINIMUM DRY DENSITY OF 98% OF THE MODIFIED PROCTOR MAX. DRY DENSITY (SEE GEOTECHNICAL REPORT FOR ANY ADDITIONAL SPECIFICATIONS).
- (C)** 12" STABILIZED SUBGRADE COMPACTED TO A MINIMUM FLORIDA BEARING VALUE (FBV) 75 PSI AS AN ALTERNATE FOR THE FBV. MATERIALS CAN HAVE A LIMEROCK BEARING RATIO (LBR) OF 40% COMPACTED TO 98% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.

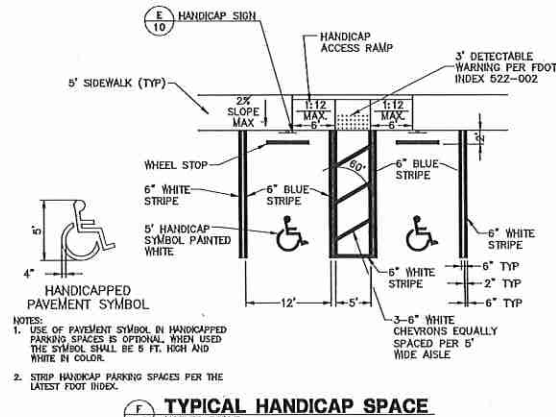
(A) PAVING DETAIL
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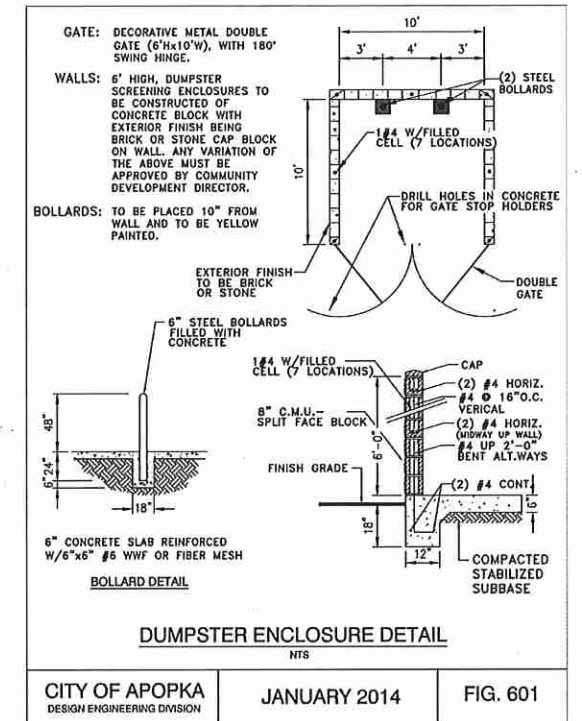
(E) HANDICAP SIGN DETAIL
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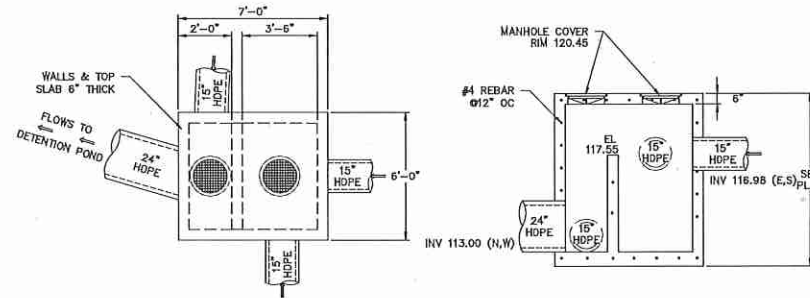
(B) SIDEWALK DETAIL
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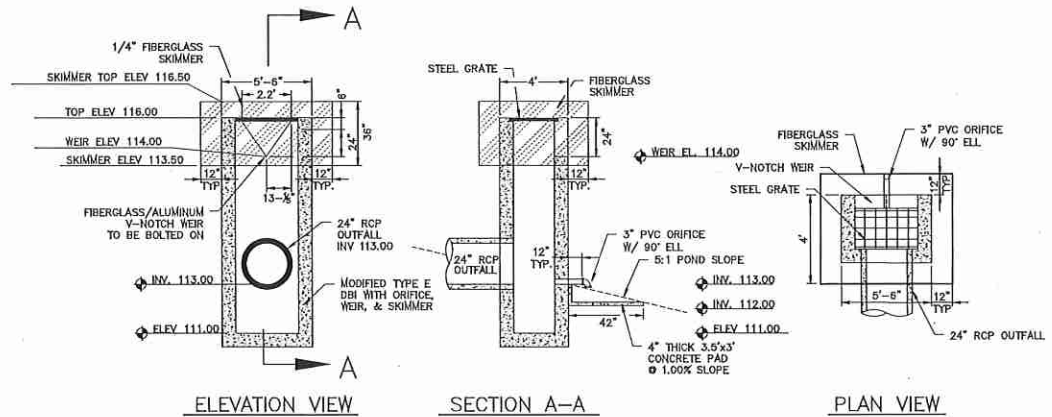
(F) TYPICAL HANDICAP SPACE
 NOT TO SCALE



(D) BOLLARD DETAIL
(C) DUMPSTER ENCLOSURE DETAIL
 NTS



(G) CONTROL STRUCTURE
 NOT TO SCALE



(H) CONTROL STRUCTURE
 NOT TO SCALE

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 CIVIL ENGINEERING
 CONSULTANTS
 engineering

105 E. Robinson Street, Suite 501, Orlando, Florida 32801
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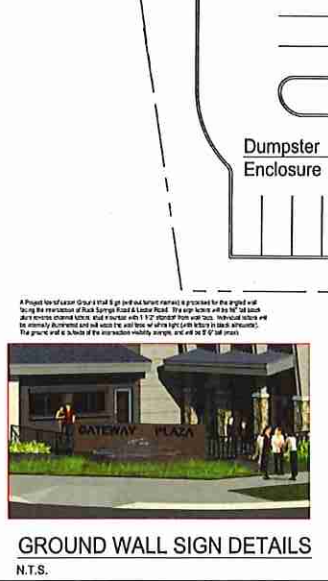
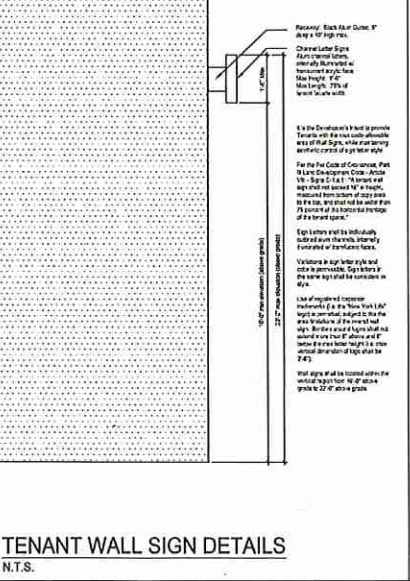
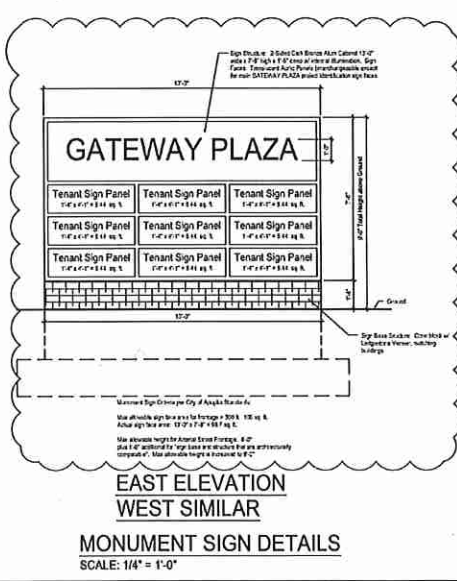
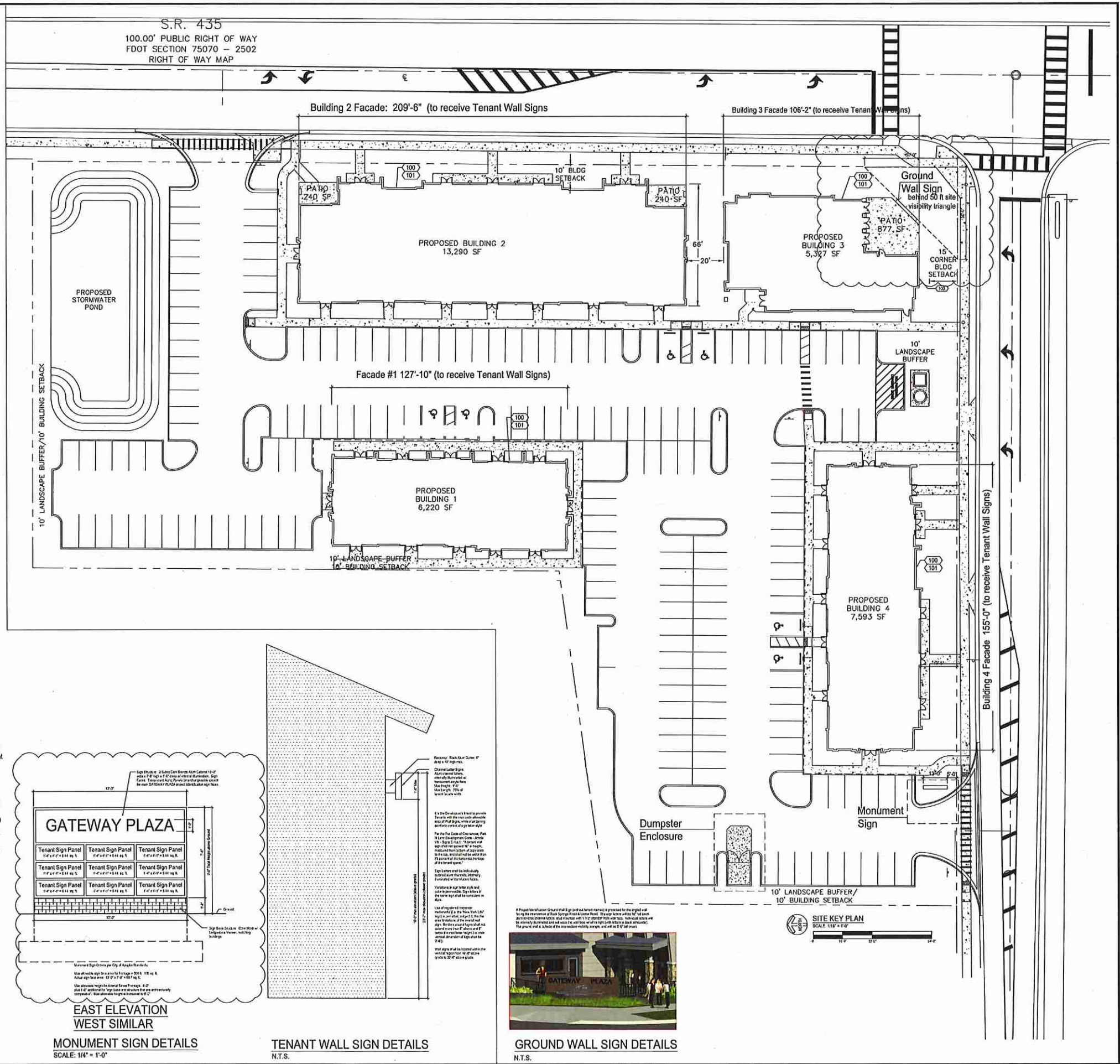
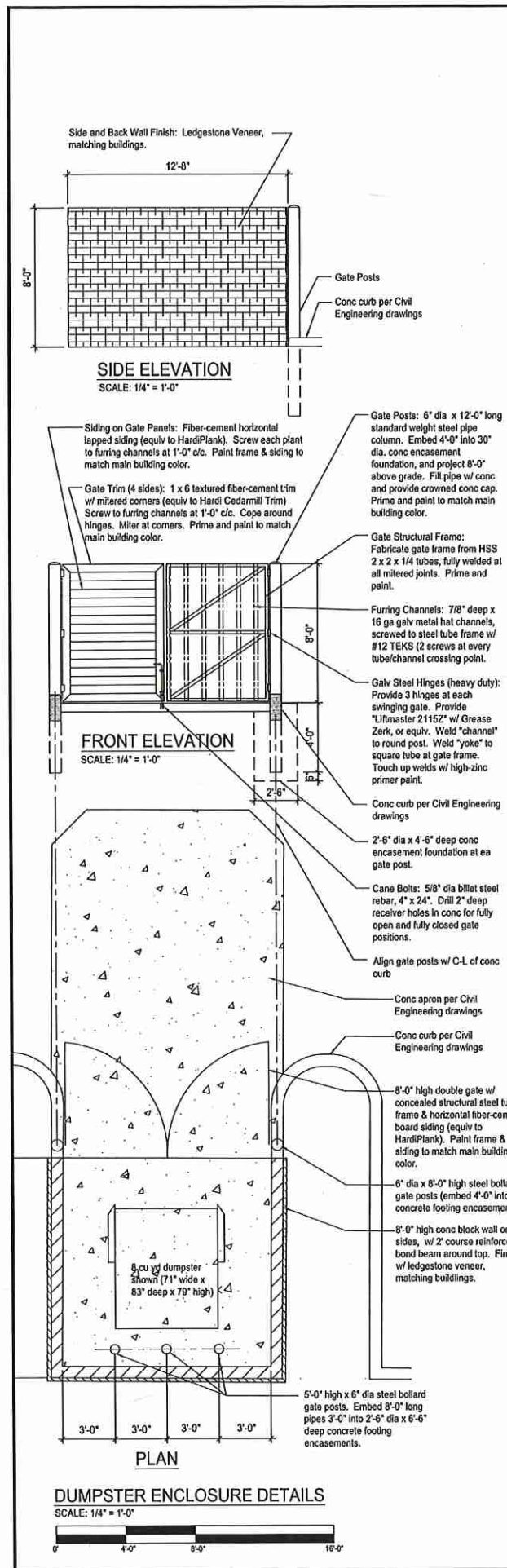
GATEWAY PLAZA
 PRELIMINARY DEVELOPMENT PLAN/MASTER PLAN
 FOR VIBRO ENTERPRISES, LLC
 PAVING AND DRAINAGE DETAILS

DATE	DESCRIPTION
8/28/18 <td>PROJECT NO. 1720.12</td>	PROJECT NO. 1720.12
	DRAWN BY: JCM
	DESIGNED BY: WEB
	CHECKED BY: WEB

DATE: 8/28/18
 PROJECT NO.: 1720.12
 DRAWN BY: JCM
 DESIGNED BY: WEB
 CHECKED BY: WEB

ENGINEER/ARCHITECT SEAL
 BURKETT ENGINEERING, INC.
 REG. NO. 103043
 DATE 08/28/18
 CERT. OF QUALITY NO. 7105

SHEET NO.
10
 OF: 16



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DATE ISSUED: -
REVISIONS:
1-25-19 Review Comments Addressed

ARCHITECT:
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LEED Accredited Professional
Respectfully Preserving the Human Environment since 1981

PROJECT:
Apopka Gateway

DRAWING TITLE:
Architectural Site Plan w/
Signage and Dumpster Details

PROJECT NO / FILE: 1808
DRAWN / CHECK: -
SCALE: -
DRAWING NO:
A-0.1

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DATE ISSUED: -
 REVISION LOG:
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Restaurant Architect
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 *AIA National Council of Architectural Registration Boards



Apopka Gateway - Proposed Building 2
North East Elevation



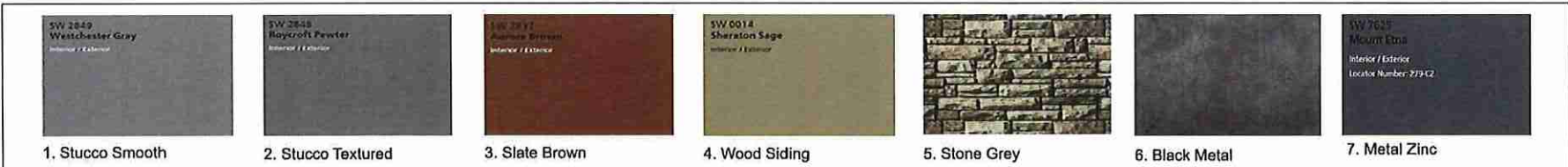
Apopka Gateway - Proposed Building 2
North Elevation



Apopka Gateway - Proposed Building 3
South East Elevation



Apopka Gateway - Proposed Building 3
South Elevation



Apopka Gateway - Color Legend

GATEWAY PLAZA Color Legend Views

Developer: VBRO Group
 Ashish Kapadia, Vice President - Director of Development

Civil Engineer: Burkett Engineering
 Architect: Timothy Gaus, AIA, LLC

CERTIFICATION

Apopka Gateway

Color Legend Views

PROJECT NO / FILE: 1008
 DRAWN CHK: -
 SCALE: 1/8"=1'-0"
 DRAWING NO:

A-1.0



Apopka Gateway - Proposed Building 4
Elevation



Apopka Gateway - Proposed Building 4
Perspective



Apopka Gateway - Proposed Building 2
North East Perspective



Apopka Gateway - Proposed Building 2
South Perspective

GATEWAY PLAZA Perspective Views

Developer: VBRO Group
Ashish Kapadia, Vice President - Director of Development

Civil Engineer: Burkett Engineering
Architect: Timothy Gaus, AIA, LLC

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DATE ISSUED: -

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Restaurant Design Specialists

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CERTIFICATE:

Apopka Gateway

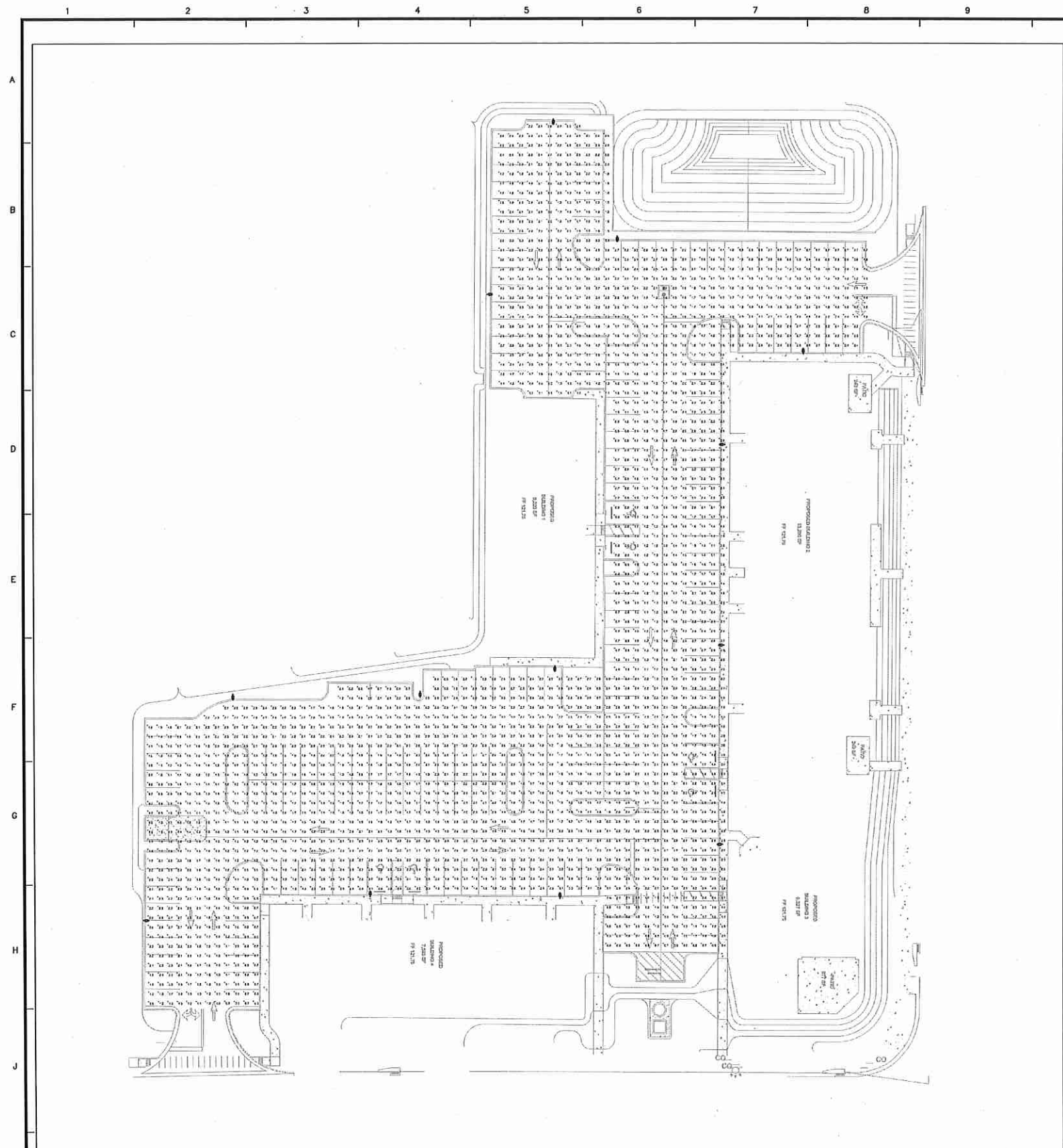
DRAWING TITLE: Perspective Legends Views

PROJECT NO./FILE: 1008

DRAWN/CHK: -

SCALE: 1/8"=1'-0"

DRAWING NO: A-2.0



PARTIAL PHOTOMETRIC PLAN
SCALE = 1/30

McGraw-Edison

Project #	
Project	
Comments	
Prepared by	

DESCRIPTION
The Galleon™ LED luminaire delivers exceptional performance in a highly visible, low profile design. Patented high efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL94V-0 rated for best performance.

SPECIFICATION FEATURES
Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall, die-cast aluminum end caps enclose housing and direct aluminum heat sink provides excellent thermal performance. Superior structural rigidity. 20 vibration tested and tested. Optional roof less hardware available for ease of installation. Shatterproof. Housing is IP66 rated.

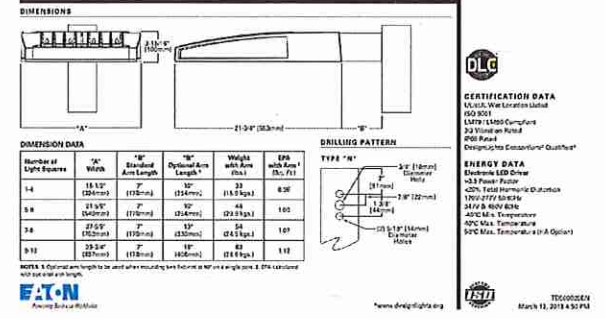
Optics
Patented, high efficiency, precision machined AccuLED Optics technology. Optics are precisely designed to shape the distribution, mounting, efficiency and application. AccuLED Optics create consistent distributions with the stability to meet customized application requirements. Offered standard in 4000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 24V/48V or 48V/96V operation. 40W is compatible for use with 40W LED systems only. Standard with 50/60Hz dimming. 50/60Hz standard with Edison proprietary circuit module designed to withstand 120V of transient line surge. The Galleon LED luminaire is suitable for operation in 40°C to 45°C ambient temperatures. For applications with ambient temperatures exceeding 45°C, specify the High Ambient Ambient Light Squares are IP66 rated. Greater than 1000 hours maintenance expected at 60,000 hours. Available in standard 1A, 2A, 3A, 4A, 5A, 6A, 7A, 8A, 9A, 10A, 11A, 12A, 13A, 14A, 15A, 16A, 17A, 18A, 19A, 20A, 21A, 22A, 23A, 24A, 25A, 26A, 27A, 28A, 29A, 30A, 31A, 32A, 33A, 34A, 35A, 36A, 37A, 38A, 39A, 40A, 41A, 42A, 43A, 44A, 45A, 46A, 47A, 48A, 49A, 50A, 51A, 52A, 53A, 54A, 55A, 56A, 57A, 58A, 59A, 60A, 61A, 62A, 63A, 64A, 65A, 66A, 67A, 68A, 69A, 70A, 71A, 72A, 73A, 74A, 75A, 76A, 77A, 78A, 79A, 80A, 81A, 82A, 83A, 84A, 85A, 86A, 87A, 88A, 89A, 90A, 91A, 92A, 93A, 94A, 95A, 96A, 97A, 98A, 99A, 100A.

Mounting
STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy installation of fixture during mounting. When mounting two or more luminaires at 90° and 180° apart, the IA extended arm may be required. Refer to the arm mounting requirement table.

Finish
Housing finished in super durable TGIC polyester powder coat paint. 25 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, brown, grey, white, dark aluminum and graphite. Multi-CAL and custom color finishes available.

Warranty
Five-year warranty.



ORDERING INFORMATION

Part #	Light Source	Number of Light Squares	Arm Type	Voltage	Description	Color	Mounting
GELEON-14-10	LED	14	1" Standard	100-277V	1" Type #1	Black	Standard
GELEON-18-10	LED	18	1" Standard	100-277V	1" Type #1	Black	Standard
GELEON-24-10	LED	24	1" Standard	100-277V	1" Type #1	Black	Standard
GELEON-30-10	LED	30	1" Standard	100-277V	1" Type #1	Black	Standard

NOTES

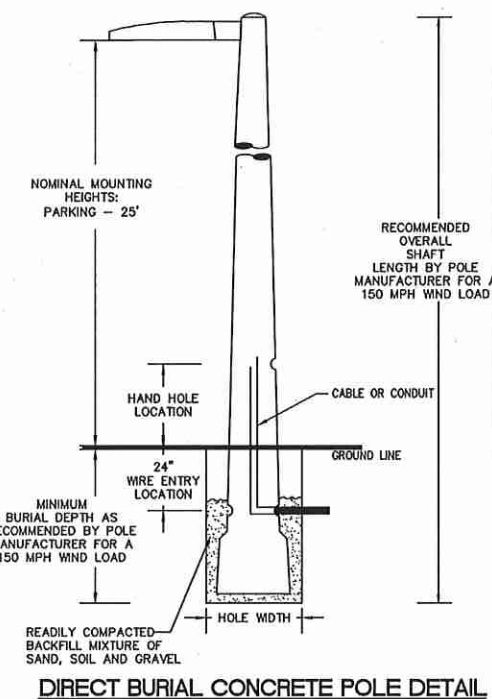
1. PROVIDE PRESTRESS, CONCRETE POLE FOR DIRECT BURIAL APPLICATION.
2. COORDINATE EXACT LOCATION OF POLES WITH LANDSCAPE AND SITE CONTRACTOR PRIOR TO INSTALLATION OF SITE LIGHTING POLES, NOTIFY ENGINEER OF CONFLICTS.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Dist Zone #1		1.9%	4.0%	0.4%	10.0%	4.8%

REVISIONS

Rev	Date	Description
1	09/26/2018	ISSUED FOR PERMIT



NOTES

1. PROVIDE PRESTRESS, CONCRETE POLE FOR DIRECT BURIAL APPLICATION.
2. COORDINATE EXACT LOCATION OF POLES WITH LANDSCAPE AND SITE CONTRACTOR PRIOR TO INSTALLATION OF SITE LIGHTING POLES, NOTIFY ENGINEER OF CONFLICTS.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Dist Zone #1		1.9%	4.0%	0.4%	10.0%	4.8%

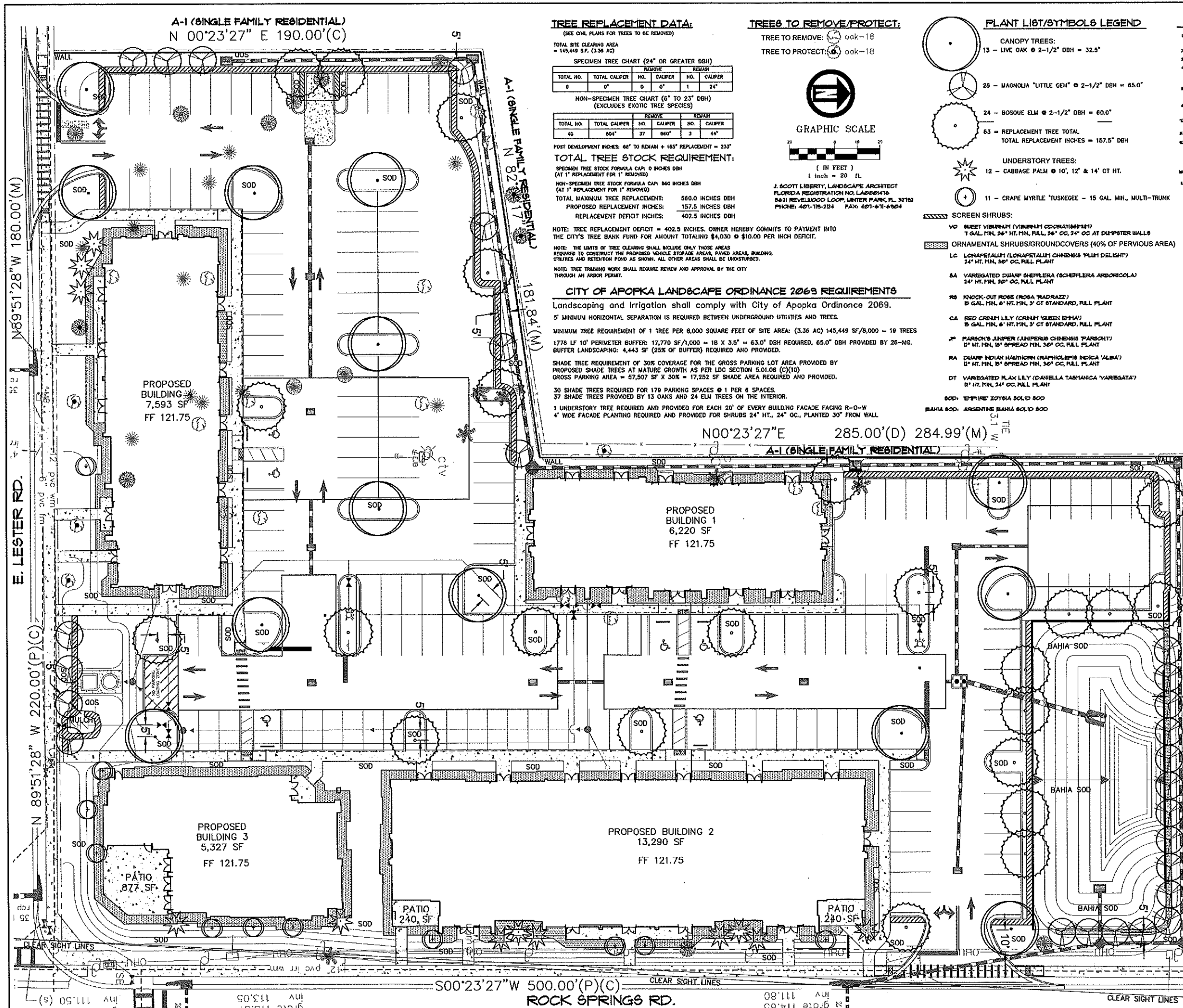
GATEWAY PLAZA
APOPKA, FLORIDA
SITE LIGHTING
PHOTOMETRIC PLAN

ALERS ENGINEERING GROUP, LLC
NICHOLAS V. ALERS, P.E. #26655
13807 CAYWOOD FOND DRIVE
WINDYBUSH, FL 34786
ALERS1399@GMAIL.COM

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- revisions
- sheet title
- PHOTOMETRIC PLAN
- scale: 1" = 30'
- datum: NVA
- checked: NVA
- approved: NVA
- date: 09/26/2018
- project no.: AE1097
- sheet: **EL1**





TREE REPLACEMENT DATA:

(SEE OWL PLANS FOR TREES TO BE REMOVED)

TOTAL SITE CLEARING AREA = 145,449 SF. (3.36 AC)
SPECIMEN TREE CHART (24" OR GREATER DBH)

TOTAL NO.	TOTAL CALIPER	REMOVAL	REPLACEMENT
0	0'	0	0'
0	0'	0	0'

NON-SPECIMEN TREE CHART (6" TO 23" DBH)
(EXCLUDES EXOTIC TREE SPECIES)

TOTAL NO.	TOTAL CALIPER	REMOVAL	REPLACEMENT
40	804"	37	860"
40	804"	37	860"

POST DEVELOPMENT INCHES: 66" TO REMAIN + 165" REPLACEMENT = 231"
TOTAL TREE STOCK REQUIREMENT:
SPECIMEN TREE STOCK FORMULA CAP: 0 INCHES DBH
(AT 1" REPLACEMENT FOR 1" REMOVED)
NON-SPECIMEN TREE STOCK FORMULA CAP: 860 INCHES DBH
TOTAL MAXIMUM TREE REPLACEMENT: 860.0 INCHES DBH
PROPOSED REPLACEMENT INCHES: 157.5 INCHES DBH
REPLACEMENT DEFICIT INCHES: 402.5 INCHES DBH

NOTE: TREE REPLACEMENT DEFICIT = 402.5 INCHES. OWNER HEREBY COMMITS TO PAYMENT INTO THE CITY'S TREE BANK FUND FOR AMOUNT TOTALING \$4,030 @ \$10.00 PER INCH DEFICIT.
NOTE: THE LIMITS OF TREE CLEARING SHALL INCLUDE ONLY THOSE AREAS REQUIRED TO CONSTRUCT THE PROPOSED VEHICLE STORAGE AREAS, PAVED AREAS, BUILDINGS, UTILITIES AND RETENTION POND AS SHOWN. ALL OTHER AREAS SHALL BE UNDISTURBED.
NOTE: TREE TRIMMING WORK SHALL REQUIRE REVIEW AND APPROVAL BY THE CITY THROUGH AN ARBOR PERMIT.

CITY OF APOPKA LANDSCAPE ORDINANCE 2069 REQUIREMENTS

Landscaping and Irrigation shall comply with City of Apopka Ordinance 2069.
5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN UNDERGROUND UTILITIES AND TREES.
MINIMUM TREE REQUIREMENT OF 1 TREE PER 8,000 SQUARE FEET OF SITE AREA: (3.36 AC) 145,449 SF/8,000 = 19 TREES
1776 LF 10' PERIMETER BUFFER: 17,770 SF/1,000 = 18 X 3.5" = 63.0" DBH REQUIRED, 65.0" DBH PROVIDED BY 26-MG. BUFFER LANDSCAPING: 4,443 SF (25% OF BUFFER) REQUIRED AND PROVIDED.
SHADE TREE REQUIREMENT OF 30% COVERAGE FOR THE GROSS PARKING LOT AREA PROVIDED BY PROPOSED SHADE TREES AT MATURE GROWTH AS PER LDC SECTION 5.01.08 (C)(10)
GROSS PARKING AREA = 57,507 SF X 30% = 17,252 SF SHADE AREA REQUIRED AND PROVIDED.
30 SHADE TREES REQUIRED FOR 179 PARKING SPACES @ 1 PER 6 SPACES.
37 SHADE TREES PROVIDED BY 13 OAKS AND 24 ELM TREES ON THE INTERIOR.
1 UNDERSTORY TREE REQUIRED AND PROVIDED FOR EACH 20' OF EVERY BUILDING FACADE FACING R-0-W
4' WOC FACADE PLANTING REQUIRED AND PROVIDED FOR SHRUBS 24" HT., 24" OC., PLANTED 30" FROM WALL.

TREES TO REMOVE/PROTECT:

- TREE TO REMOVE: oak-18
TREE TO PROTECT: oak-18

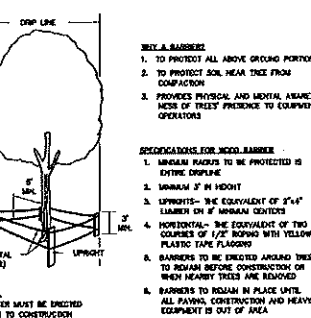


PLANT LIST/SYMBOLS LEGEND

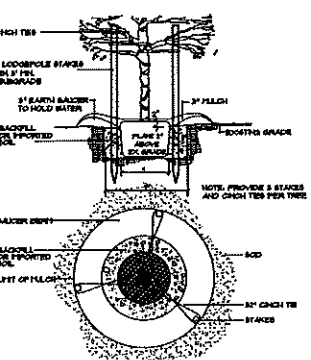
- CANOPY TREES:
13 - LIVE OAK @ 2-1/2" DBH = 32.5"
26 - MAGNOLIA 'LITTLE GEM' @ 2-1/2" DBH = 65.0"
24 - BOSQUE ELM @ 2-1/2" DBH = 60.0"
83 - REPLACEMENT TREE TOTAL
TOTAL REPLACEMENT INCHES = 157.5" DBH
- UNDERSTORY TREES:
12 - CABBAGE PALM @ 10', 12' & 14' CT HT.
11 - CRAPE MYRTLE 'TUSKEGEE' - 15 GAL. MIN., MULTI-TRUNK
- SCREEN SHRUBS:
V0 SWEET VIBURNUM (VIBURNUM ODORATISSIMUM)
1 GAL. HPL 36" HT. HPL, FULL, 36" OC, 24" OC AT DUMPSTER WALLS
ORNAMENTAL SHRUBS/GROUNDCOVERS (40% OF PVIOUS AREA)
LC LORAPETALUM (LORAPETALUM CHIRENSIS 'PLUM DELIGHT')
24" HT. HPL 36" OC, FULL PLANT
6A VAREGATED DWARF SHEPHERDIA (SCHEFFLERA AMBOVICOLLA)
24" HT. HPL 36" OC, FULL PLANT
RS KNOCK-OUT ROSE (ROSA 'RADRAZZ')
12" GAL. HPL 36" HT. HPL, 3' CT STANDARD, FULL PLANT
CA RED CROWN LILY (LIRIODENDRON 'RED EPHRA')
12" GAL. HPL 36" HT. HPL, 3' CT STANDARD, FULL PLANT
P PARSONS JASMINE (LANIERIA CHIRENSIS 'PARSONS')
12" HT. HPL 36" HPL, 3' CT STANDARD, FULL PLANT
RA DWARF INDIAN HAZELHORN (RAPHIDOLEPIS INDICA 'ALBA')
12" HT. HPL 36" HPL, 3' CT STANDARD, FULL PLANT
DT VAREGATED PLAX LILY (CANELELLA TARMANICA 'VAREGATA')
12" HT. HPL 24" OC, FULL PLANT
- SOD: 20" EMPIRE SOD
BAHA SOD: ARGENTINE BAHIA SOD

PLANT NOTES

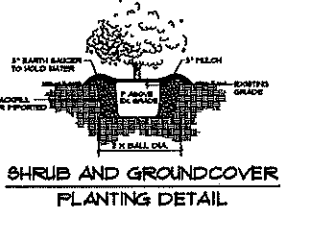
- ALL LANDSCAPED AND ACCUSED AREAS DELINEATED ON THESE PLANS SHALL BE REGULATED BY AN AUTOMATIC SYSTEM. THE IRRIGATION SYSTEM SHALL PROVIDE SOD REPAIR-TO-HOLD COVERING FOR ALL SOD AREAS. PLAN ANCHOR REQUIRED.
- ALL LANDSCAPED AREAS SHALL BE TOP DRESSED WITH 3" OF DRAINER BRUSH FILLER.
- ALL TREE BASKETS SHALL BE TOP DRESSED WITH 3" OF DRAINER BRUSH FILLER.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROVIDE FULLY FURNISHED WITH ALL DETAILS THE CONTRACTOR AND TO VERIFY ALL BASKETS, RELIANT, AND ARCHITECTURAL PLANS AS TO PREVENT DAMAGES DURING THE INSTALLATION OF THE LANDSCAPE MATERIALS.
- STAKES OF TREES IS REQUIRED BY THE LANDSCAPE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PLANT ALL TREES, PALMS AND SHRUBS AS SHOWN ON THE PLANS UNDER THE SUPERVISION OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ARCHITECTURAL OR PAVED SURFACES.
- ALL PLANT MATERIAL SHALL BE SHIPPED THROUGH FLORIDA AND TO THE GRADES AND STANDARDS OF THE FLORIDA NURSERY AND LANDSCAPE ASSOCIATION.
- ALL TREE CALIPER OR DBH MEASUREMENTS SHALL BE MEASURED 4" ABOVE THE TOP OF THE ROOTBALL.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL SHRUBS FOR A PERIOD NO SHORTER THAN 90 DAYS FROM THE DATE OF THE "FINAL ACCEPTANCE" BY THE CLIENT AND LANDSCAPE ARCHITECT. ALL TREES SHALL BE GUARANTEED FOR ONE YEAR MINIMUM. ALL GUARANTEE RESTRICTIONS SHALL BE SPECIFICALLY DESCRIBED IN LETTERS AND SHALL BE PLACED ON THE BASKETS DOCUMENTS PROVIDED TO THE CLIENT BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PLANT AND ADD QUANTITY TREE OR SHRUBS PROVIDED FOR COVERED IN PLAN. PLANT QUANTITIES SHALL BE OVER LET QUANTITIES.
- IF HORIZONTAL SEPARATION IS REQUIRED BETWEEN UNDERGROUND UTILITIES AND TREES.



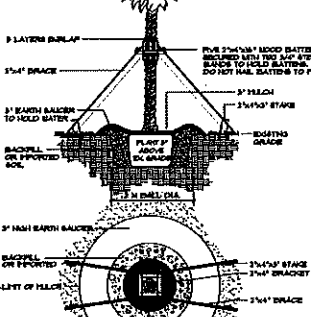
TREE PROTECTION MEASURES



SHRUB AND GROUNDCOVER PLANTING DETAIL



PALM PLANTING DETAIL



No.	Date	Description	Revisions
1	11-16-16	Per City Comments	
2			
3			
4			

J. SCOTT LIBERTY, LANDSCAPE ARCHITECT LLC
FLORIDA REGISTERED LANDSCAPE ARCHITECT #LAC001476
PHONE: 407-719-2124 EMAIL: JSCOTTLIB@CFLRR.COM

GATEWAY PLAZA
STATE ROAD 435
APOPKA, FLORIDA

Project

Sheet	L1
of	1

BOUNDARY & TOPOGRAPHIC SURVEY
SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION:

PARCEL 1:

LOTS 1 THROUGH 5, APOPKA NORTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 11, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 2:

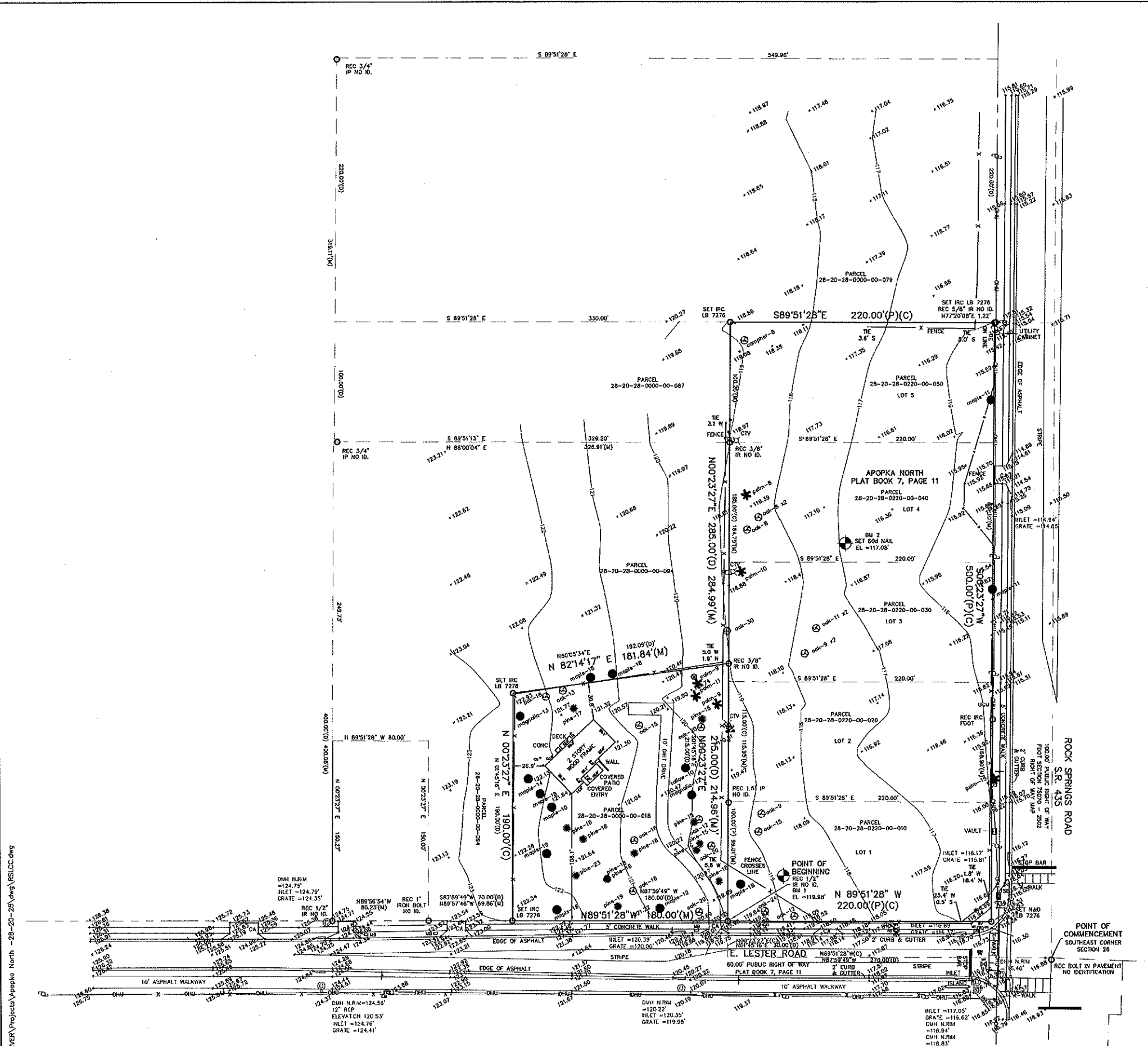
COMMENCE AT THE SOUTHEAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN SOUTH 87 DEGREES 59 MINUTES 49 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION 28 FOR A DISTANCE OF 270.00 FEET TO A POINT; THENCE RUN NORTH 01 DEGREES 45 MINUTES 15 SECONDS WEST, FOR A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 87 DEGREES 59 MINUTES 49 SECONDS WEST, ALONG THE NORTH LINE OF WEST LESTER ROAD, A DISTANCE OF 180.00 FEET TO A POINT; THENCE RUN NORTH 01 DEGREES 45 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 190.00 FEET TO A POINT; THENCE RUN NORTH 80 DEGREES 05 MINUTES 34 SECONDS EAST FOR A DISTANCE OF 182.05 FEET TO A POINT; THENCE RUN SOUTH 01 DEGREES 45 MINUTES 15 SECONDS EAST FOR A DISTANCE OF 215 FEET TO THE POINT OF BEGINNING AND TO CLOSE; BEING A POINT ON THE NORTH RIGHT OF WAY OF WEST LESTER ROAD. ALL OF SAID PARCEL LIES IN SOUTHEAST QUARTER OF SAID SECTION 28.

SURVEYOR'S NOTES:

1. THE LANDS AS SHOWN HEREON LIE WITHIN SECTION 28, TOWNSHIP 20 S., RANGE 28 E., ORANGE COUNTY, FLORIDA.
2. THIS SURVEY REPRESENTS A SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE SIGNING SURVEYOR, UNLESS OTHERWISE NOTED.
3. UNDERGROUND IMPROVEMENTS OR UNDERGROUND FOUNDATIONS HAVE NOT BEEN LOCATED EXCEPT AS NOTED.
4. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
5. ALL EASEMENTS OF WHICH THE SURVEYOR HAS KNOWLEDGE OF, OR HAS BEEN FURNISHED, HAVE BEEN NOTED ON THIS MAP.
6. BEARINGS SHOWN HEREON ARE BASED ON THE EAST LINE OF SECTION 28, BEARING S00°23'27"W PER STATE PLANE COORDINATES FLORIDA EAST ZONE.
7. ACCORDING TO THE FEDERAL INSURANCE RATE MAP, THIS PROPERTY LIES IN ZONE "X", COMMUNITY PANEL NUMBER 1209500110 F, DATED: 9/25/2009.
8. ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK NUMBER L1305017 HAVING AN ELEVATION OF 115.55 FEET VERTICAL DATUM NAVD 83.
9. NO TITLE INFORMATION WAS PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY.

Legend:

- BM BENCHMARK
- C CALCULATED
- CA CONCRETE ANCHOR
- CM CONCRETE MANNHOLE
- CO CLEAN OUT
- CONC CONCRETE
- CTV CABLE TELEVISION POLE
- DEED DEED
- ID IDENTIFICATION
- EL ELEVATION
- ELB ELECTRIC JUNCTION BOX
- ELV ELEVATION
- FF FINISHED FLOOR
- HR HARD RAIL
- HYD HYDRANT
- ID IDENTIFICATION
- IR IRON PIPE & CAP
- IR IRON ROD
- IRC IRON ROD & CAP
- M MEASURED
- MB MANHOLE
- MAD MAIL & BOX
- OU OVERHEAD UTILITIES
- P PLAT
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- REC RECOVERED
- R/W RIGHT OF WAY
- SSV SIGHTER SIGHT VALVE
- WV WATER VALVE
- UTV UTILITY POLE



REVISIONS	
Rev. _____	Date: _____
Rev. _____	Date: _____
Rev. _____	Date: _____
Rev. ADD ADDITIONAL TOPO SHOTS-INLETS	Date: 5/29/18

THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Job No: 1-165
Field Date: 4/9/18
Drawn By: GJS
Field By: WKP/RW
Scale: 1"=40'

William F. Menard
Professional Surveyor & Mapper
Florida Registration #5625

BOUNDARY & TOPOGRAPHIC SURVEY
FOR
VBRO ENTERPRISES, LLC

HLSM, L.L.C.
Henrich-Luke-Swaggerty-Menard
Professional Surveyors & Mappers
Licensed Business No. 7276
794 Big Tree Drive, Suite 108
Longwood, Florida 32750
P. (407) 647-7346
F. (407) 982-7166
Survey@HLSM.US

\\SERVER\Projects\apopka North -28-20-28\dwg\BLSLCC.dwg

ORDINANCE NO. 2630

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM "COUNTY" A-1 AGRICULTURE TO "CITY" PLANNED UNIT DEVELOPMENT (COMMERCIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF EAST LESTER ROAD AND WEST OF NORTH ROCK SPRINGS ROAD, COMPRISING 3.36 ACRES MORE OR LESS, AND OWNED BY VBRO ENTERPRISES LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD/Commercial) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

PUD DEVELOPMENT AND ZONING CONDITIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

A. The uses permitted within the PUD district shall be:

1. All permitted uses listed in the PO/I (Professional Office/Institutional) and CN (Commercial Neighborhood) district, except those listed as prohibited below in Paragraph B..
2. Restaurants, with or without outdoor seating, including fast-casual restaurants.
Fast-casual restaurant is defined as an establishment whose principal business is the sale of food or beverage that is made to order, for consumption within the building, or off the premises as carryout orders. The principal method of operation includes, but is not limited to, the following characteristics: food or beverages may be served in non-disposable container; Limited table service may be available. Order and pay at the counter. The food is made fresh and is either brought to the table by a server or the customer is called back to the counter. Price points are generally higher than fast food. Food is perceived to be higher quality and healthier than food from standard fast food restaurants. May have drive-through service as allowed by the development design standard in Paragraph C.
3. Adult day care, not to exceed 7,000 square feet net floor area.
4. Retail businesses, except those listed as prohibited,

ORDINANCE NO. 2630

PAGE 2

5. Banks
6. Coffee Shops
7. Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this code. Use determination shall be based upon the community development director's recommendation.

B. The uses prohibited within the PUD district shall be:

1. Tobacco Store
2. Laundromat businesses
3. Medical Marijuana Dispensary
4. Veterinary and pet grooming facilities
5. Motorized Vehicle Service Stations
6. New or used motorized vehicle sales
7. Plumbing Shops
8. Appliance Stores
9. Tattoo/Piercing Parlors
10. Adult entertainment as defined in section 10-98 of the Apopka Municipal Code
11. Auto title loan, paycheck advance facilities, and other "personal credit institutions"
12. Pawn shops.
13. Employment agencies.
14. Modular, mobile and pre-fab home display and sales.
15. Mini-warehouse and self-storage facilities.
16. Outside storage of supplies, materials, equipment, merchandise, and activities.
17. Motorized Truck stops or terminal as defined by this code.
18. Flea markets (indoor and outdoor).
19. Motorized automotive and transportation related businesses including new and used retail automotive part stores, mechanic shops, new and used car sales, boat sales, vehicle rental, etc.
20. Bail bonds businesses.
21. Blood banks, blood donor stations, plasmapheresis facilities, or other similar bio-donating uses; provided however, that this prohibition shall not include the practice of the following duly licensed professionals: physicians, dentists, orthodontists or pharmacists, or other health care practitioners, which may perform incidental bio-donating functions and procedures; provided, further, however, that this prohibition shall not apply to *bona fide* blood drives and similar events conducted by non-profit blood banks for a non-commercial purpose.
22. Soup kitchens; provided however, that this prohibition shall not apply to the *bona fide* charitable activities of *bona fide* churches, synagogues, mosques and other places of worship that are occupied and in operation on the effective date of this ordinance.
23. Outdoor parks and recreational areas.
24. Bowling alleys, skating rinks, billiard parlors and similar amusement centers.
25. Assisted Living Facilities.

C. Development Design Standards for this PUD, in addition to the Development Design Standards set forth in the Land Development Code (LDC) shall be as follows:

ORDINANCE NO. 2630

PAGE 3

1. Drive through restaurants shall be limited to one drive aisle and no more than one menu board.
2. Drive through establishments without food and beverage sales are limited to two service drive aisles.
3. The development must have a unified architectural theme.
4. The development shall have a plaza or prominent architectural feature at the corner of Rock Springs Road and Lester Road. Examples include: statue, fountain, corner entrance, clock tower)
5. Outdoor seating encouraged at restaurant(s).
6. The development must have at least two separate buildings, each building shall have a footprint not greater than 15,000 square feet floor area.
7. Driveways must be at least 50 feet away from the southeastern corner of the development.
8. Building frontage along Rock Springs Road and Lester Road must resemble store fronts with windows and either faux or real entrances.
9. If any conflict occurs between the above design standards and the LDC, the above standards shall apply.

D. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

E. The requisite Master Plan shall be submitted with or as part of the Preliminary Development Plan application.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/CN), as defined in the Apopka Land Development Code..

Legal Description:

Lots 1-5: Lying in Section 28, Township 20 South, range 28 East, and Apopka North 7/11 Lot 1-5 recorded in Plat Book 7, Page, of the Public Records of Orange County, Florida. (Parcel Numbers 28-20-28-0220-00-010, 28-20-28-0220-00-020, 28-20-28-0220-00-030, 28-20-28-0220-00-040, 28-20-28-0220-00-050); and

41 E. Lester Road: Commence at the Southeast corner of Section 28, Township 20 South, Range 28 East, Orange County, Florida; thence run South 87 degrees 59 minutes 49 seconds West along the South line of said Section 28 for a distance of 270.00 feet to a point; thence run North 01 degrees 45 minutes 16 seconds West for a distance of 30.00

ORDINANCE NO. 2630

PAGE 4

feet to the POINT OF BEGINNING; thence run South 87 degrees 59 minutes 49 seconds West, along the North line of West Lester Road, a distance of 180.00 feet to a point; thence run South 01 degrees 45 minutes 16 West for a distance of 190.00 feet to a point; thence run North 80 degrees 05 minutes 34 seconds East for a distance of 182.05 feet to a point; thence run South 01 degrees 45 minutes 16 seconds East for a distance of 215 feet to the POINT OF BEGINNING and close; being a point on the North Right of Way of West Lester Road. All of said Parcel lies in Southeast quarter of said Section 28.

Contains: 3.36 +/- Acres

Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

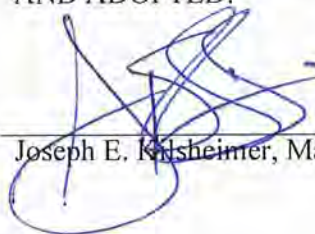
Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon adoption of Ordinance No. 2629

READ FIRST TIME: February 21, 2018

READ SECOND TIME
AND ADOPTED: March 7, 2018



Joseph E. Kilsheimer, Mayor

ATTEST:



Linda Goff, City Clerk

DULY ADVERTISED: January 26, 2018 and February 23, 2018

PRELIMINARY DEVELOPMENT PLAN

DEVELOPMENT DESIGN STANDARDS

All residential homes shall comply with the architectural design standards within the Apopka Development Design Standards.

Minimum Building Setbacks on Lots	
Front	25'
Side	7.5'
Rear	25'
Corner	25'
Front Entry Garage	30'

LEGACY HILLS

CITY OF APOPKA, FLORIDA

LEGAL DESCRIPTION (AS FURNISHED)

A TRACT OF LAND LYING IN SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST, BEING LOTS 3 THROUGH 6, BLOCK S, OF THE MAP OF PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 17 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, TOGETHER WITH THE 40 FOOT VACATED RIGHT-OF-WAY LYING SOUTH OF LOTS 3 AND 6 AND THAT PART OF THE OCCUPIED PLATTED LAKE STANDISH LYING SOUTH OF SAID LOTS 3 AND 6 WITHIN BLOCK S, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE ABOVE REFERENCED LOT 3 AS THE POINT OF BEGINNING; THENCE RUN SOUTH 00° 09' 37" WEST ALONG THE EAST LINE OF SAID LOT 3 AND LOT 6 AND THE EXTENSION THEREOF, ALSO BEING THE WEST LINE OF PARTNERSHIP HILLS, PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS, AND THE WEST LINE OF ARIANE HILLS SUBDIVISION, PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS, 1,341.07 FEET TO THE SOUTHEAST CORNER OF THE NORTH-WEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION AND THE SOUTH LINE OF THE AFORESAID BLOCK S; THENCE RUN SOUTH 89° 22' 57" WEST ALONG THE SOUTH LINE OF SAID BLOCK S, 635.21 FEET; THENCE RUN NORTH 00° 01' 32" EAST, ALONG THE WEST LINE OF SAID BLOCK S AND THE WEST LINE OF LOTS 5 AND 4 AND THE EXTENSION THEREOF, 1338.14 FEET, TO THE SOUTH RIGHT-OF-WAY LINE OF SCHOPKE ROAD; THENCE RUN NORTH 89° 07' 24" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 638.40 FEET TO THE POINT OF BEGINNING.

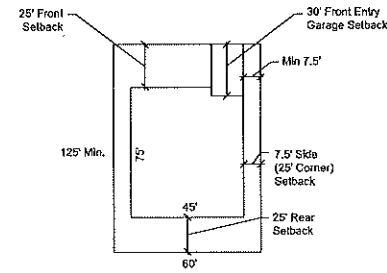
THE ABOVE DESCRIBED TRACT OF LAND LIES IN THE CITY OF APOPKA, FLORIDA AND REPRESENTS THE ORANGE COUNTY ASSESSOR PARCEL NUMBER 06-21-28-7172-19-030.

PREPARED FOR

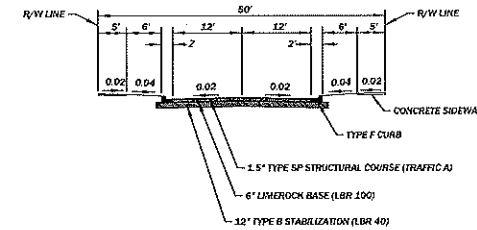
JEL Land Development, LLC

GENERAL NOTES

- Streets will be dedicated to the City of Apopka.
- Retention areas will be privately owned & maintained by the Homeowners Association (HOA) and will be unfenced.
- Water & sewer will be owned & operated by City of Apopka. Utilities will tie into existing utility locations shown on the development plans.
- The project will be designed in conformance with the City of Apopka Design Standards.
- Project infrastructure will be developed in one phase.
- Approved fire hydrants shall be located at intervals not to exceed 500' from any portion of any dwelling located on the premises. Min. size water main for fire protection shall be 8", or 6" in an approved looped arrangement.
- Min. lot width is 60' at both the front lot line and building line. Lots on curves and cul-de-sacs may reduce the minimum standard by 40% at the front lot line only.
- Street light pole and fixtures will be decorative type. A developer's agreement for maintenance and operation of the light will be executed. Details will be provided in the Final Development Plans.
- A landscape and irrigation plan is required to be submitted with the Final Development Plan. The irrigation system will be designed with "Pop-Up" type heads only, rain sensor devices will be required. No Risers Allowed.
- All utility boxes must be fully screened from view from right-of-way (when permitted by the utility provider.) Landscaping will be utilized where applicable.
- Min. of 3 canopy type trees at 3" DBH will be provided per lot.
- Street trees (canopy type), 30' on center will be placed on each lot at the front lot line within a dedicated easement. Easement is to be a minimum 5' in width and placed behind the front utility easement. Street trees will be a min. of 2.5" caliper at time of planting.
- All common areas including, recreation parks, buffers and landscape tracts will be owned and maintained by the HOA.
- Street naming/signage, stop bars, speed limit signs, road striping will be provided in the Final Development Plan.
- Details of finishes, colors of all walls within the project will be provided in the Final Development Plan.
- The Final Development Plan will require a Plat document at the time of submittal.
- The ownership and maintenance of the six-foot masonry wall in Tracts A and C shall be by the HOA.
- The property is in FEMA Zones X and AE. According to FEMA FIRM maps, the base flood elevation for the property is 66.9 ft NAVD88.
- Roadway connections will require an Orange County permit and will have to meet Orange County requirements.
- A PUD Master Plan, Ordinance No. 2660 applies to the property, and additional standards may apply from the Master Plan and Ordinance.



TYPICAL LOT LAYOUT



TYPICAL ROADWAY SECTION

OWNER/DEVELOPER

Dustin Lucas, President
JEL Land Development, LLC
2649 Stanmore Court
Orlando, FL 32817
407-808-1244

AGENT

Thomas R. Sullivan
c/o Gray Robinson, PA
301 E. Pine Street
Orlando, FL 32801
407-244-5664

SURVEYOR

PEC
Surveying and Mapping, LLC
2100 Alafaya Trail, Suite 203
Orlando, FL 32765
407-542-4967

GEOTECHNICAL

GEO Engineering & Sciences
250 S. Ronald Reagan Blvd., Suite 114
Longwood, FL 32750
407-379-9510

ENGINEER

GTC Engineering Corporation
98 S. Semoran Boulevard
Orlando, FL 32807
407-380-0402

ENVIRONMENTAL

Bio-Tech Consulting Inc.
3025 East South Street
Orlando, FL 32803
407-894-5969

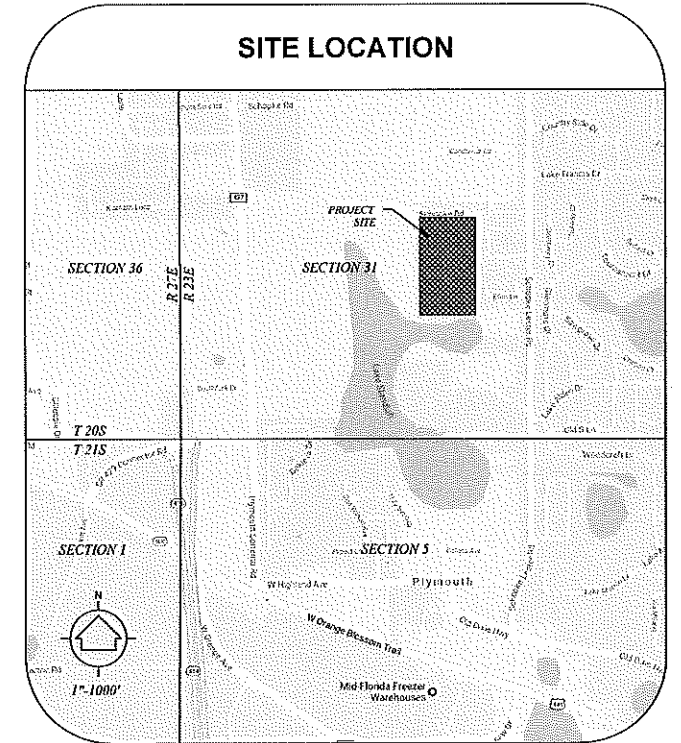
LANDSCAPING

Borrelli + Partners
720 Vassar Street
Orlando, FL 32804
407-418-1338

SITE DATA

Total Land Area	19.6 Ac.
Section/Township/Range	31/20S/28E
Parcel ID	06-21-28-7172-19-030
Future Land Use	Residential Low
Current Zoning	R-1A
Proposed Zoning	PUD
Proposed Use	Single Family
Total Units	48 Units
Not Buildable Area	17.24 Ac.
Proposed Density	2.78 Units/Ac
Required Open Space / Recreation	5.87 Ac./0.45 Ac.
Maximum Building Height	35' (2-story)
School Age Population	20 (48 x 0.404)
Minimum Lot Size	60' X 125' (7,500 Sq. Ft.)
Minimum Living Area	1,700 Sq. Ft.
Open Space Calculations	
Retention Area	3.01 Ac. (2.94 Ac. Allowable)
Active Recreation	0.45 Ac.
Landscape	0.52 Ac.
Conservation Area	2.35 Ac.
Total Open Space Provided (Allowable)	6.37 Ac.

SITE LOCATION



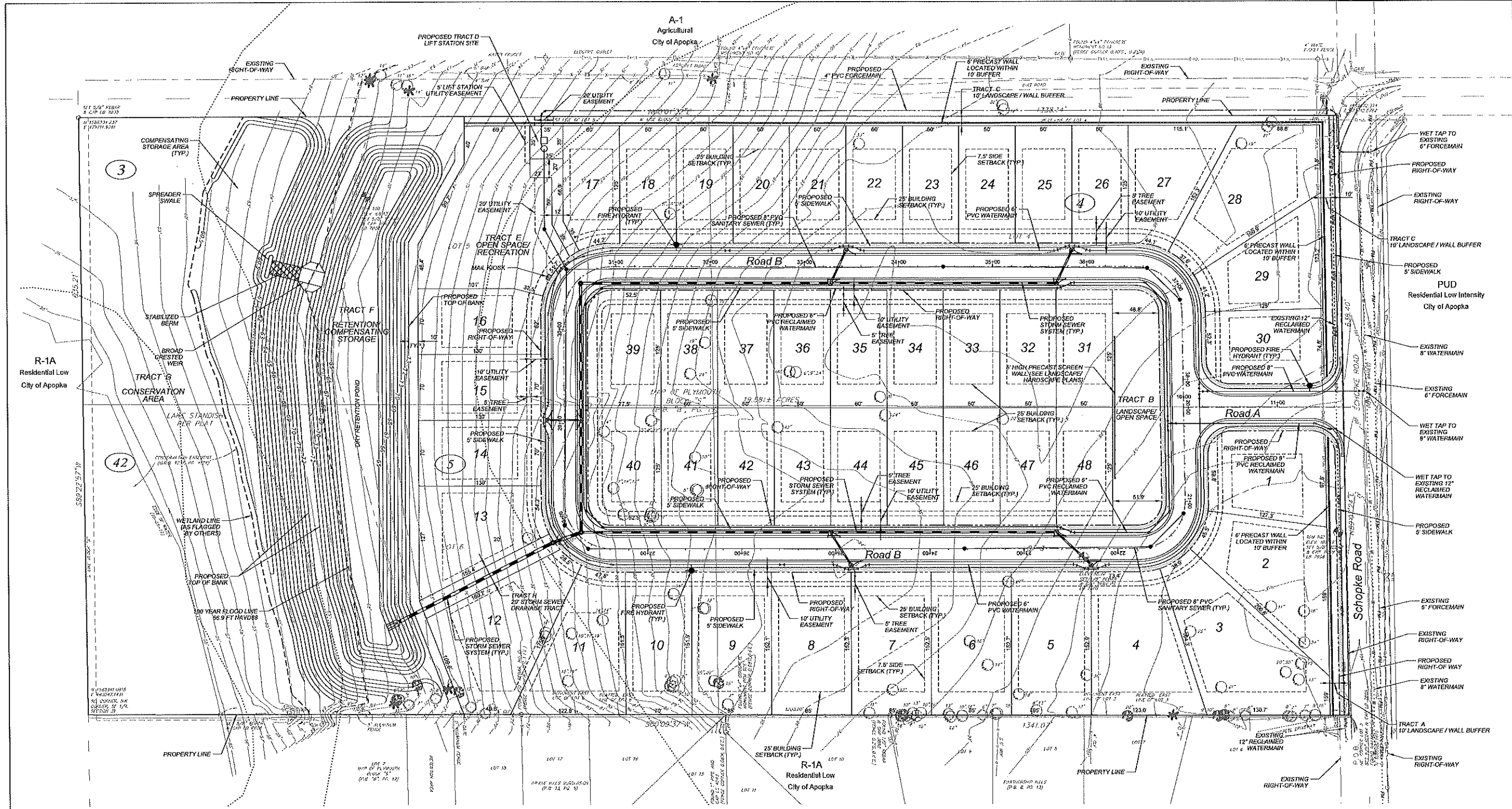
SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY DEVELOPMENT PLAN
3	BOUNDARY & TOPOGRAPHICAL SURVEY
LANDSCAPE/IRRIGATION/HARDSCAPE PLANS	
C-100	COVER SHEET
K-100	MASTER KEY PLAN
T-100	TREE MITIGATION PLAN
L-100 - L-102	LANDSCAPE PLANS/DETAILS
L-100 - L-102	IRRIGATION PLANS/DETAILS
H-100 - H-102	HARDSCAPE PLANS/DETAILS

GTC Engineering Corporation

Certificate of Authorization
Number 6735
Claude L. Cunniff, P.E.
P.E. Number 35109

98 South Semoran Blvd, Orlando, FL 32807
407-380-0402



Lot Number	Gross Area (SF)	Gross Area (AC)	Lot Width (FT)	Lot Width at R/W (FT)
1	11584	0.27	Varies	59.8
2	14195	0.33	Varies	45.5
3	19562	0.45	Varies	44.7
4	14885	0.34	Varies	79
5	12967	0.3	85	85
6	12950	0.3	85	85
7	12933	0.3	85	85
8	12916	0.3	85	85
9	12899	0.3	85	85
10	10610	0.24	70	70
11	13826	0.32	Varies	42.3
12	15765	0.36	Varies	41.2
13	12185	0.28	Varies	54.3
14	9100	0.21	70	70
15	9100	0.21	70	70
16	9006	0.21	Varies	62

Lot Number	Gross Area (SF)	Gross Area (AC)	Lot Width (FT)	Lot Width at R/W (FT)
17	7459	0.17	Varies	44.2
18	7500	0.17	60	60
19	7500	0.17	60	60
20	7500	0.17	60	60
21	7500	0.17	60	60
22	7500	0.17	60	60
23	7500	0.17	60	60
24	7500	0.17	60	60
25	7500	0.17	60	60
26	7500	0.17	60	60
27	10287	0.24	Varies	44.1
28	14656	0.34	Varies	37.6
29	10775	0.25	Varies	41.2
30	9650	0.22	Varies	52.3
31	7500	0.17	60	60
32	7500	0.17	60	60

Lot Number	Gross Area (SF)	Gross Area (AC)	Lot Width (FT)	Lot Width at R/W (FT)
33	7500	0.17	60	60
34	7500	0.17	60	60
35	7500	0.17	60	60
36	7500	0.17	60	60
37	7500	0.17	60	60
38	7500	0.17	60	60
39	9553	0.22	77.5	52.5
40	9553	0.22	77.5	52.5
41	7500	0.17	60	60
42	7500	0.17	60	60
43	7500	0.17	60	60
44	7500	0.17	60	60
45	7500	0.17	60	60
46	7500	0.17	60	60
47	7500	0.17	60	60
48	7500	0.17	60	60

Open Space Requirements (See Sec. 2.02.18(D)(19 and 20) of Apopka Code)

Total Land Area: 19.6 acres
Open Space Required (30 percent, Lots less than 70 feet): 6.87 acres

Category A - counts as 100 percent toward open space requirements.
Category B - counts as 100 percent toward open space requirements.
Category C - counts as 100 percent toward open space requirements.
Category C cannot be more than 50 percent of open space requirement.

Tract	A (acres)	B (acres)	C (acres)
A	0.07	0.00	0.00
B	0.28	0.00	0.00
C	0.27	0.00	0.00
D	0.45	0.00	0.00
E	0.00	3.01	0.00
F	0.00	0.00	2.36
G	1.07	3.81	2.36
H	1.07	2.94	2.36

Open Space Provided (Allowable): 6.37 acres

Lot Width	Pad Width	Number of Lots	Percentage of Total Lots
60 ft	45 ft	32	66.7%
70 ft	55 ft	10	20.8%
85 ft	70 ft	6	12.5%

Recreation Requirements (See Sec. 2.02.18(E)(5)(b) of Apopka Code)

Active and passive - Minimum 3.6 acres per 1000 projected population.
Population is calculated based on 2.8 persons per single family unit.

Category	Units	Persons/Unit	Persons
Single family	48	2.8	124.8
Total Persons			124.8

Recreation Required: 0.45 acres
Recreation Provided: 0.45 acres

Proposed Recreational Facilities (per Sec. 2.02.18(E)(5)(b))
Group C: Pickle areas
Group D: Playgrounds, tot-lots

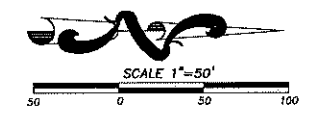
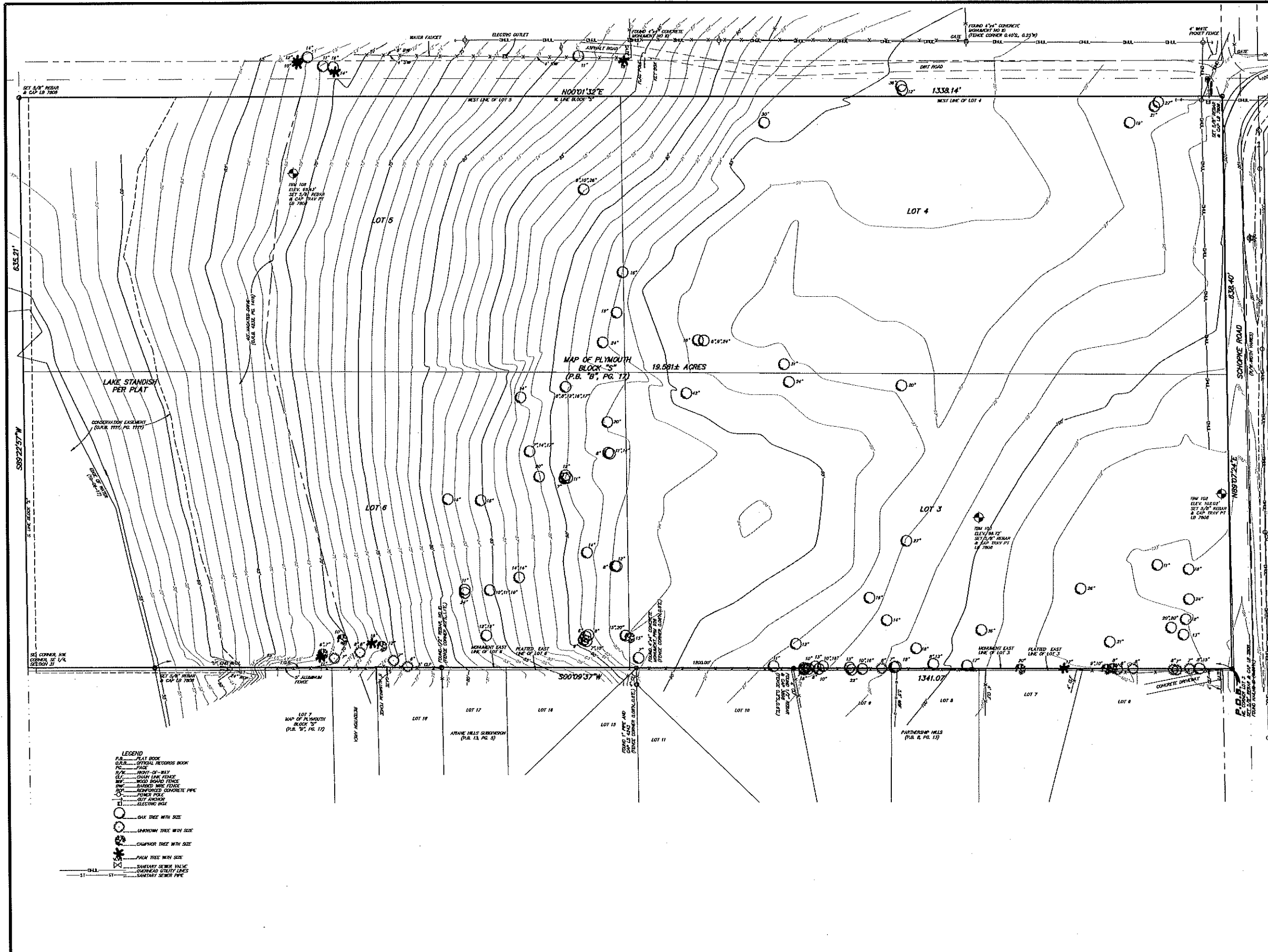
- SOILS LEGEND**
- 3 Basinger fine sand, frequently ponded
 - 4 Candler fine sand, 0 to 5 percent slopes
 - 5 Candler fine sand, 5 to 12 percent slopes
 - 42 Sanibel muck

- GENERAL LEGEND**
- Existing Contour
 - Existing Watermain
 - Existing Reclaimed Watermain
 - Existing Sanitary Foremain
 - Soil Divide
 - Proposed Water with Fire Hydrant
 - Proposed Reclaimed Watermain
 - Proposed Sewer with Manhole
 - Proposed Sanitary Foremain
 - Proposed Storm with Inlet
 - Proposed 6" Precast Wall
 - 100 Year Flood Line

TRACT TABLE

Tract	Ownership	Maintenance	Use	Acres
A	HOA	HOA	Landscape/Wall Buffer	0.07 Ac.
B	HOA	HOA	Landscape/Open Space	0.28 Ac.
C	HOA	HOA	Landscape/Wall Buffer	0.27 Ac.
D	City of Apopka	City of Apopka	Lift Station	0.06 Ac.
E	HOA	HOA	Recreation/Open Space	0.45 Ac.
F	HOA	HOA	Retention/Compensating Storage	3.01 Ac.
G	HOA	HOA	Conservation	2.36 Ac.
H	City of Apopka	HOA	Storm Sewer Drainage	0.07 Ac.

BOUNDARY & TOPOGRAPHY SURVEY PROVIDED BY
PEC SURVEYING AND MAPPING, LLC (407) 542-4967



LEGAL DESCRIPTION
 A TRACT OF LAND LYING IN SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST, BEING LOTS 3 THROUGH 8, BLOCK 5, OF THE MAP OF PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 17 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, TOGETHER WITH THE 40 FOOT VACATED RIGHT-OF-WAY LYING SOUTH OF LOTS 3 AND 8 AND THAT PART OF THE OCCUPIED PLATED LAKE STANDISH LYING SOUTH OF SAID LOTS 5 AND 6 WITHIN BLOCK 5, DESCRIBED AS FOLLOWS:
 COMMENCE AT THE NORTHEAST CORNER OF THE ABOVE REFERENCED LOT 3 AS THE POINT OF BEGINNING; THENCE RUN SOUTH 00° 09' 37" WEST ALONG THE EAST LINE OF SAID LOT 3 AND LOT 8 AND THE EXTENSION THEREOF, ALSO BEING THE WEST LINE OF PARTNERSHIP HILLS PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS, AND THE WEST LINE OF ARIANE HILLS SUBDIVISION, PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS, 1,341.07 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 31 AND THE SOUTH LINE OF THE AFORESAID BLOCK 5; THENCE RUN SOUTH 89° 22' 57" WEST ALONG THE SOUTH LINE OF SAID BLOCK 5, 833.21 FEET; THENCE RUN NORTH 00° 01' 32" EAST, ALONG THE WEST LINE OF SAID BLOCK 5 AND THE WEST LINE OF LOTS 5 AND 4 AND THE EXTENSION THEREOF, 1,338.14 FEET, TO THE SOUTH RIGHT-OF-WAY LINE OF SCHOPPE ROAD; THENCE RUN NORTH 89° 07' 24" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 638.40 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND LIES IN THE CITY OF APOPKA, FLORIDA AND REPRESENTS THE ORANGE COUNTY ASSESSOR PARCEL NUMBER 06-21-28-7172-18-038.

- SURVEYOR'S NOTES**
- (1) THIS MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER IDENTIFIED BELOW.
 - (2) ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON THE FOLLOWING ORANGE COUNTY ENGINEERING DEPARTMENT'S BENCHMARKS:
 S1579012 ELEVATION 140.258'
 S1579018 ELEVATION 138.117'
 - (3) BEARINGS SHOWN HEREON ARE ASSUMED RELATIVE TO THE NORTH LINE OF LOTS 3 AND 4, BLOCK 5, MAP OF PLYMOUTH, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 17, AND THAT PART OF VACATED ROAD LYING SOUTH OF SAID LOTS 5 AND 6, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING DERIVED FROM BEARINGS OBTAINED USING LEICHTMANN OF FLORIDA'S L-NET NETWORK (NCS MAD 83 (NSRS2007)) BEING NORTH 89°07'24" EAST.
 - (4) THE "LEGAL DESCRIPTION" HEREON IS IN ACCORD WITH THE DESCRIPTION FURNISHED BY THE CLIENT.
 - (5) UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR UNOBTAINED, ABOVE GROUND PERIMETER IMPROVEMENTS WERE LOCATED, UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
 - (6) DUE TO PHYSICAL LIMITATIONS, A MONUMENT CONFORMING TO CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE, STANDARDS OF PRACTICE COULD NOT BE SET.
 - (7) THIS SURVEY IS CERTIFIED TO: JEL LAND DEVELOPMENT, LLC AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
 - (8) THE DELINEATION OF LANDS SHOWN HEREON IS AS PER THE CLIENT'S INSTRUCTIONS.
 - (9) THE CLASSIFICATION USE OF THE LAND, PURSUANT TO THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE, FLORIDA STATUTES 472.027, IS SUBURBAN. THE MINIMUM RELATIVE DISTANCE ACCURACY OF THIS MAP OF BOUNDARY SURVEY ACHIEVES OR EXCEEDS ONE FOOT IN 7,500 FEET.
 - (10) THE VERTICAL CONTROL ESTABLISHED FOR THIS SURVEY IS BASED ON A CLOSED LEVEL LOOP, HAVING A CLOSURE ACCURACY WHICH MEETS OR EXCEEDS THAT REQUIRED BY THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, FLORIDA STATUTES 472.027.
 - (11) UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBTAINED, ABOVE GROUND ENCROACHMENTS, THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND PROFESSIONAL PURVIEW AND SUBJECT TO LEGAL INTERPRETATION.
 - (12) NO ABSTRACT FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD HAVE BEEN PROVIDED TO THIS FIRM.
 - (13) NORTH-SOUTH AND EAST-WEST TIES TO RECOVERED MONUMENTATION NEAR VARIOUS LAND BOUNDARY CORNERS SHOWN HEREON ARE BY COORDINATE DIFFERENCE.
 - (14) THE SUBJECT PROPERTY IS OBTAINED WITH VERY THICK UNDER BUSH AND, AS SUCH, THE IMPROVEMENTS LOCATED ARE LIMITED TO THE EXTENT THE SURVEYOR BECAME AWARE OF THEM DURING "ON-SITE" FIELD VISITS ASSOCIATED WITH THIS SURVEY.
 - (15) THE SURVEYED LANDS MAY BE SUBJECT TO JURISDICTIONAL ENTITIES.
 - (16) ATTENTION IS DIRECTED TO THE FACT THAT THIS MAP MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

- LEGEND**
- P.B. PLAT BOOK
 - O.R. OFFICIAL RECORDS BOOK
 - P.C. PAGE
 - P.M. PARTNERSHIP HILLS
 - C.L. CLEAN LINE FENCE
 - M.F. MOUNTAIN FENCE
 - B.M.F. BARBED WIRE FENCE
 - R.C.F. RICHMOND CONCRETE FENCE
 - P.F. POWER POLE
 - S.D. SANITARY DRAIN
 - E.O. ELECTRIC OUTLET
 - OAK TREE WITH SIZE
 - LARGER TREE WITH SIZE
 - CHAMPNER TREE WITH SIZE
 - PALM TREE WITH SIZE
 - SANITARY SEWER VALVE
 - OVERHEAD UTILITY LINES
 - SANITARY SEWER PIPING

David A. White
 DAVID A. WHITE, P.S.M.
 FLORIDA REGISTRATION NO. 4044
 PEC - SURVEYING AND MAPPING, LLC
 CERTIFICATE OF AUTHORIZATION L.B. #7808
 DATE OF FIELD SURVEY: 10-09-2017
 DATE OF SIGNATURE: 10-27-2017

DATE	BY	REVISIONS

PEC | SURVEYING AND MAPPING, LLC
 CERTIFICATE OF AUTHORIZATION NUMBER LB 7808
 2100 Alafaya Trail, Suite 203 • Oviedo, Florida 32765 • 407-542-4967
 WWW.PECONLINE.COM dwhite@peconline.com

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY
 LOCATED IN
 SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST
 CITY OF APOPKA, ORANGE COUNTY, FLORIDA

JOB NO.:	17-109
DATE:	10-09-17
DRAWN BY:	T.W.B.
CHECKED BY:	D.A.W.
F.B.:	2128
PAGE(S):	40-87

DAVID A. WHITE, P.S.M. FL. REG. NO. 4044
 TRACY W. BIRCH, P.S.M. FL. REG. NO. 5579

0:17-109 JEL 2400 Schoppe Road 17-109 Revised BND/Chg Oct 27, 2017 - 12:32pm

LANDSCAPE, IRRIGATION, AND HARDSCAPE PLANS

LEGACY HILLS

F.K.A.

SCHOPKE ESTATES

CITY OF APOPKA, FLORIDA
FOR: LUCAS LAND DEVELOPMENT, LLC

SHEET INDEX

C-100	COVER SHEET	I-100	IRRIGATION PLAN
K-100	MASTER KEY PLAN	I-101	IRRIGATION PLAN
T-100	TREE MITIGATION PLAN	I-102	IRRIGATION DETAILS
L-100	LANDSCAPE PLAN	H-100	HARDSCAPE PLAN
L-101	LANDSCAPE PLAN	H-101	HARDSCAPE PLAN
L-102	LANDSCAPE DETAILS	H-102	HARDSCAPE DETAILS

BORRELLI PARTNERS
ARCHITECTURAL FIRM
230 VASSAR STREET
ORLANDO, FL 32804-6077 407-418-1338



SIGNATURE AND DATED SEAL

CONSULTANTS

LEGACY HILLS

COVER SHEET

DRAWING TITLE

PROJECT ADDRESS

CITY OF APOPKA, FLORIDA
OWNER NAME AND ADDRESS
LL DEVELOPMENT

DESCRIPTION DATE

CITY COMMENTS 11-2-18

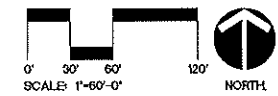
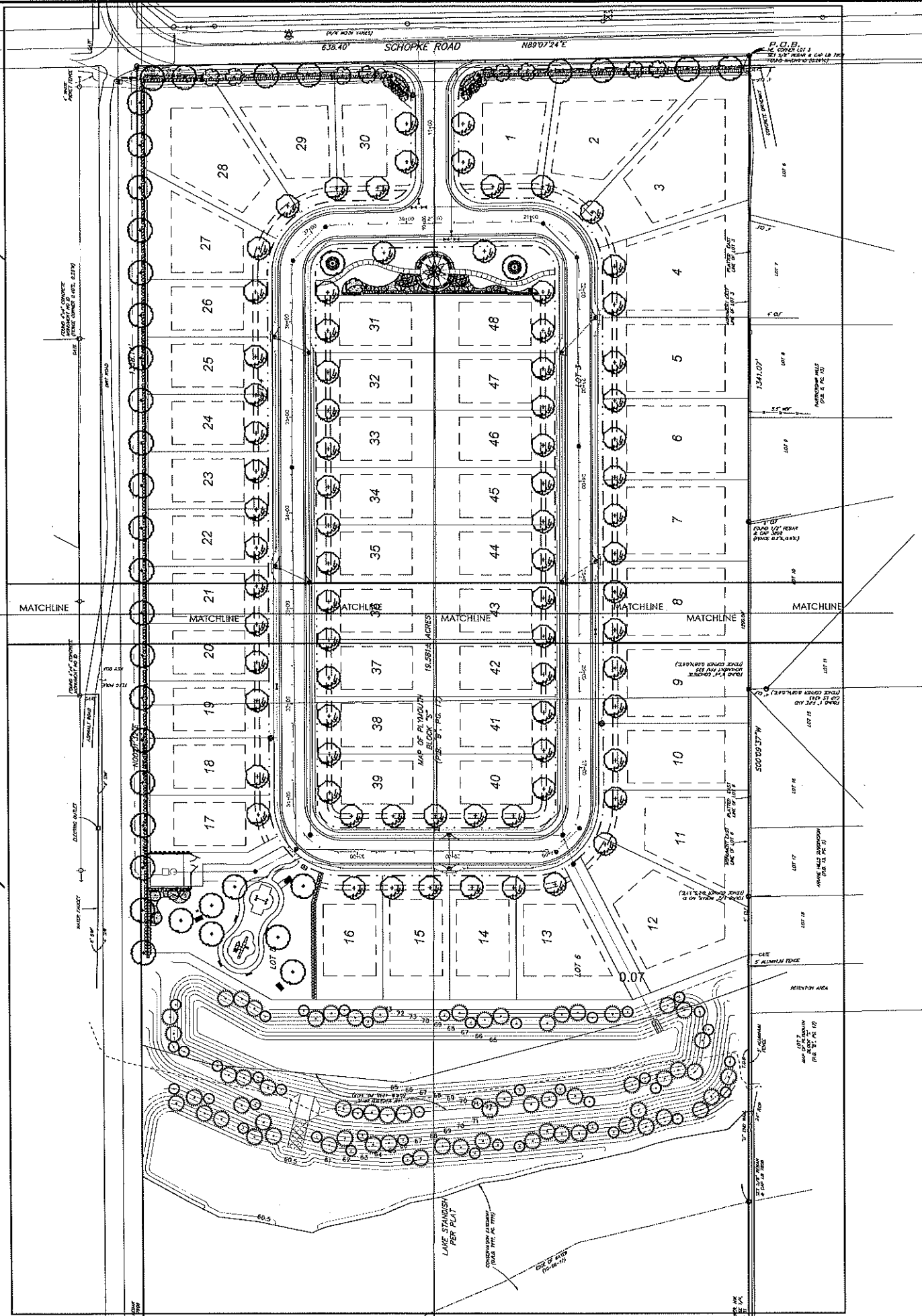
REV. 1

CONSTRUCTION DOCUMENTS
NO SCALE 10-12
FILE NAME
DRAWN BY
CHECKED BY
DATE

C-100

SEE SHEET L-100 FOR
LANDSCAPE PLAN
SEE SHEET I-100 FOR
IRRIGATION PLAN
SEE SHEET H-100 FOR
HARDSCAPE PLAN

SEE SHEET L-101 FOR
LANDSCAPE PLAN
SEE SHEET I-101 FOR
IRRIGATION PLAN
SEE SHEET H-101 FOR
HARDSCAPE PLAN

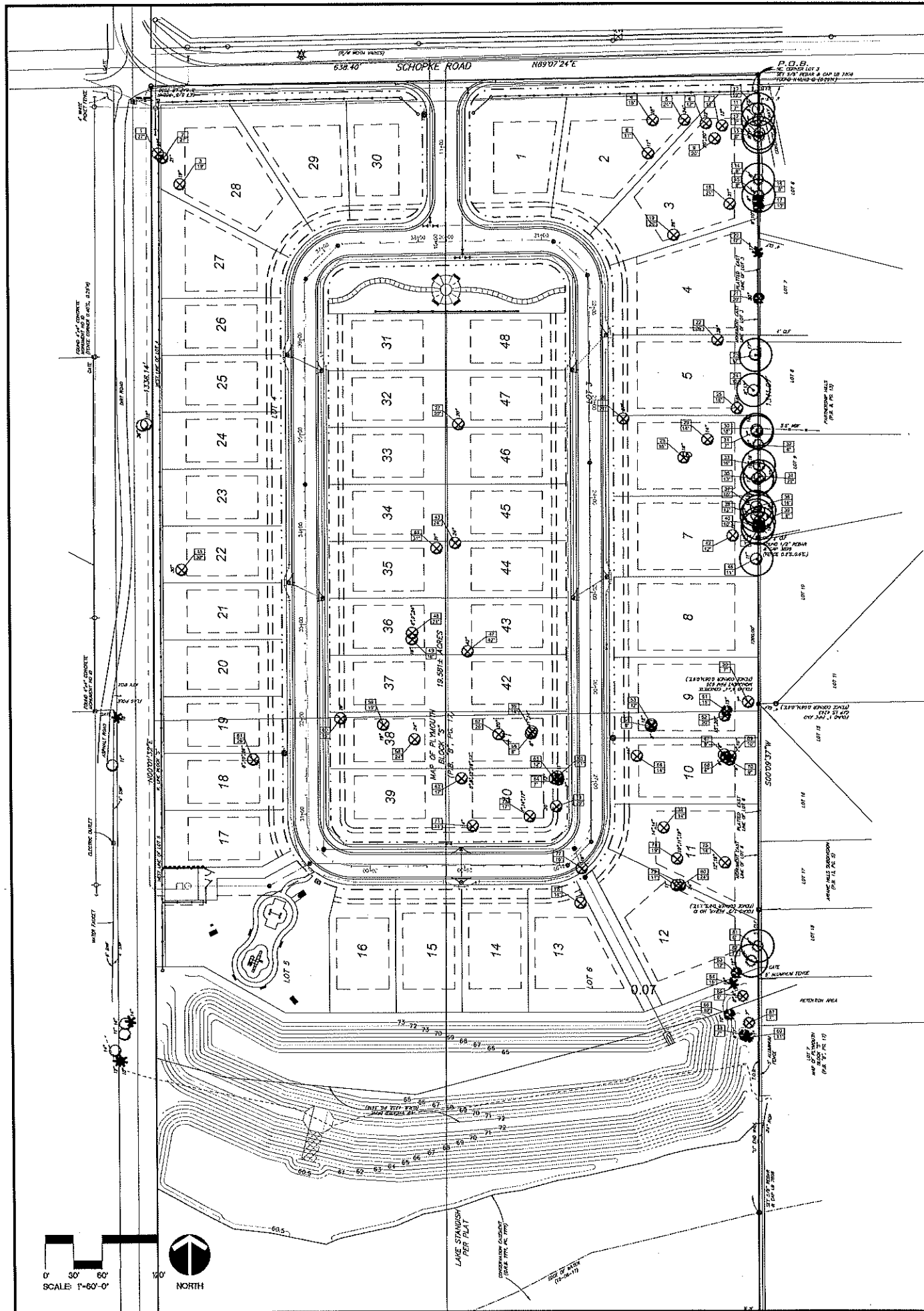


LEGACY HILLS

PROJECT NO. 16112		DESCRIPTION DATE	PROJECT ADDRESS	DRAWING TITLE	CONSULTANTS	SIGNATURE AND DATED SEAL
PHASE	CONSTRUCTION/DOCUMENTS	REV. 1.	CITY COMMENTS			
SCALE	1"=60'-0"					
FILE NAME	16112		CITY OF APOPKA, FLORIDA			
DRAWN BY	CK		OWNER NAME AND ADDRESS			
CHECKED BY	CK		FL DEVELOPMENT			
DATE	11-27-18					



BORRELLI PARTNERS
ARCHITECTURAL PLANNING LANDSCAPE INTERIOR
ORLANDO, FL 32804-4077-118-138
2730 VASSAR STREET
ORLANDO, FL 32804-4077-118-138
CHRISTOPHER BRET



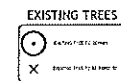
TREE MITIGATION CHART

#	TREE TYPE	SIZE	REMOVED INCHES	SAVED INCHES	REASON FOR REMOVAL
1	OAK	27"	27"		GRADING
2	OAK	21"	21"		GRADING
3	OAK	19"	19"		GRADING
4	OAK	18"	18"		GRADING
5	OAK	24"	24"		GRADING
6	OAK	12"	12"		GRADING
7	OAK	13"	13"		GRADING
8	OAK	11"	11"		GRADING
9	OAKS	20", 20"	40"		GRADING
10	OAKS	8", 15"		23"	
11	UNKNOWN	7"		7"	
12	UNKNOWN	7"		7"	
13	UNKNOWN	8"		8"	
14	UNKNOWN	8"		8"	
15	UNKNOWN	8"		8"	
16	CAMPBOR	8"			GRADING
17	CAMPBORS	9", 10"			GRADING
18	CAMPBOR	21"			GRADING
19	OAK	28"	26"		GRADING
20	PALM	17"	17"		GRADING
21	CAMPBOR	29"			GRADING
22	OAK	36"	36"		GRADING
23	OAK	17"		17"	
24	OAKS	8", 13"		21"	
25	OAK	18"	18"		GRADING
26	OAK	27"	27"		GRADING
27	OAK	20"	20"		GRADING
28	OAK	16"	16"		GRADING
29	OAK	14"	14"		GRADING
30	OAK	18"		18"	
31	OAK	7"		7"	
32	UNKNOWN	6"		6"	
33	OAKS	10", 16"		26"	
34	OAK	22"		22"	
35	OAK	13"		13"	
36	OAKS	10", 16"		26"	
37	OAK	10"		10"	
38	OAK	13"		13"	
39	OAK	8"		8"	
40	CAMPBOR	10"			GRADING
41	OAK	7"		7"	
42	OAK	12"	12"		GRADING
43	OAK	24"	24"		GRADING
44	OAK	31"	31"		GRADING
45	OAK	30"	30"		GRADING
46	OAK	11"		11"	
47	OAK	42"	42"		GRADING
48	OAKS	6", 9", 24"	39"		GRADING
49	OAK	16"	16"		GRADING
50	OAK	7"	7"		GRADING

#	TREE TYPE	SIZE	REMOVED INCHES	SAVED INCHES	REASON FOR REMOVAL
51	CAMPBOR	15"			GRADING
52	OAK	15", 20"	35"		GRADING
53	OAK	12"	12"		GRADING
54	OAK	8"	8"		GRADING
55	OAKS	11", 14"	25"		GRADING
56	OAK	8"	8"		GRADING
57	OAK	20"	20"		GRADING
58	OAK	24"	24"		GRADING
59	OAK	19"	19"		GRADING
60	OAK	16"	16"		GRADING
61	OAKS	8", 10", 26"	44"		GRADING
62	OAKS	8.8, 12, 16, 17"	61"		GRADING
63	OAK	12"	12"		GRADING
64	OAK	7"	7"		GRADING
65	OAK	11"	11"		GRADING
66	OAK	14"	14"		GRADING
67	OAK	8"	8"		GRADING
68	OAK	6"	6"		GRADING
69	OAKS	10", 7"	17"		GRADING
70	OAK	9"	9"		GRADING
71	OAK	14"	14"		GRADING
72	OAKS	7", 14", 17"	38"		GRADING
73	OAK	20"	20"		GRADING
74	OAKS	14", 14"	28"		GRADING
75	OAKS	12", 19"	31"		GRADING
76	OAKS	10", 11", 19"	40"		GRADING
77	OAK	16"	16"		GRADING
78	OAK	14"	14"		GRADING
79	OAK	11"	11"		GRADING
80	OAK	24"	24"		GRADING
81	UNKNOWN	6"		6"	
82	UNKNOWN	7"		7"	
83	CAMPBOR	12"			GRADING
84	PALM	16"	16"		GRADING
85	UNKNOWN	8", 8"	16"		GRADING
86	CAMPBOR	10"			GRADING
87	UNKNOWN	7"	7"		GRADING
88	CAMPBORS	7", 6"			GRADING
89	PALM	11"	11"		GRADING
	TOTAL ON SITE		1599"		
	TOTAL REMOVED		1202"		
	TOTAL SAVED			279"	
	TOTAL SPECIMEN TREES REMOVED				13

REPLACEMENT TREES

REPLACEMENT PROVIDED	QUANTITY	DBH SIZE	TOTAL INCHES
*HIGHRISE OAK	84	4"	336"
*LIVE OAK	38	4"	152"
*SOUTHERN MAGNOLIA	9	3"	27"
*BALD CYPRESS	43	3"	129"
*BALD CYPRESS	62	4"	248"
LOT SHADE TREES	48 LOTS x 2 = 96	3"	288"
TOTAL PLANTED	332	N/A	1180"

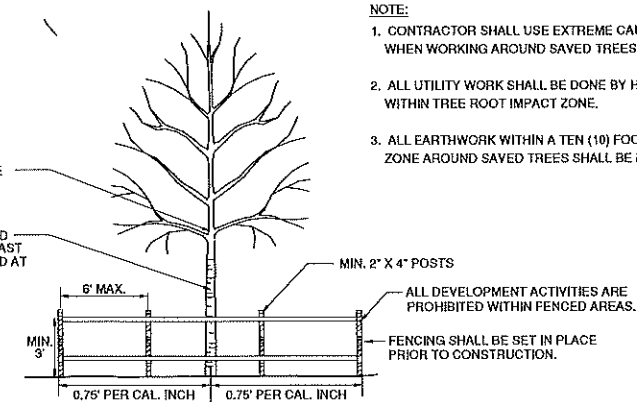


TREE SUMMARY

TOTAL INCHES ON-SITE: 1,599"
 TOTAL NUMBER OF SPECIMEN TREES: 13
 TOTAL INCHES REMOVED: 1,202"
 TOTAL INCHES RETAINED: 279"
 TOTAL SPECIMEN INCHES RETAINED: 0"
 TOTAL INCHES REQUIRED: 1,202"
 TOTAL INCHES REPLACED: 1,180"
 TOTAL INCHES POST DEVELOPMENT: 1,459"
 SITE CLEARING AREA IN SQ. FT. AND ACRES:

EXISTING TREE TO BE RETAINED.

CALIPER IS MEASURED AT DIAMETER AT GREATEST HEIGHT AND MEASURED AT 4.5' ABOVE GRADE.



NOTES: FENCING SHALL BE AT LEAST 3' ABOVE GROUND AND MIN. OF 3' BELOW GRADE. THE MAXIMUM REQUIRED UNDISTURBED AREA SHALL NOT EXCEED 24' FROM CENTER OF TREE.

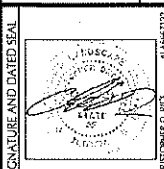
TREE PROTECTION BARRIER DETAIL

SCALE: N/A

NOTE:

- CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING AROUND SAVED TREES.
- ALL UTILITY WORK SHALL BE DONE BY HAND WITHIN TREE ROOT IMPACT ZONE.
- ALL EARTHWORK WITHIN A TEN (10) FOOT RADIUS ZONE AROUND SAVED TREES SHALL BE NON-COMPACTED.

BORRELLI PARTNERS
 ARCHITECTURE PLANNING LANDSCAPE INTERIORS
 230 VASSAR STREET
 ORLANDO, FL 32804 407-418-1338

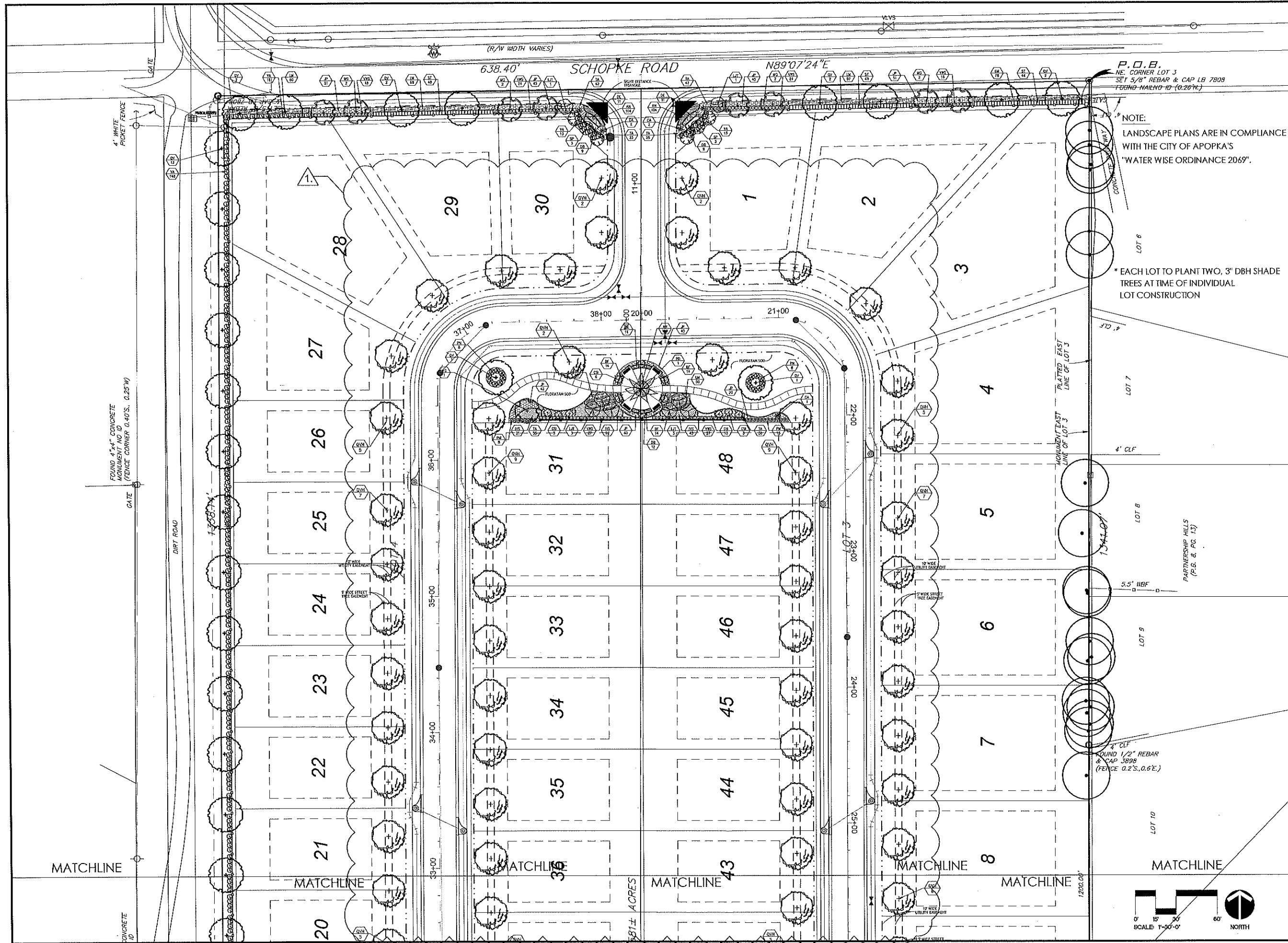


LEGACY HILLS

TREE MITIGATION PLAN

PROJECT NO.	DESCRIPTION	DATE	PROJECT ADDRESS
14-112	CONSTRUCTION DOCUMENTS	11-02-18	CITY OF APOPKA, FLORIDA
14-112	SCALE	1"=40'-0"	OWNER NAME AND ADDRESS
14-112	DATE	11-02-18	ELBROOKVIEW

T-100



P.O.B.
NE CORNER LOT 3
SET 5/8" REBAR & CAP LB 7808
FOUND-NAILING 10' (0.26'±)

NOTE:
LANDSCAPE PLANS ARE IN COMPLIANCE
WITH THE CITY OF APOKA'S
"WATER WISE ORDINANCE 2069".

* EACH LOT TO PLANT TWO, 3" DBH SHADE
TREES AT TIME OF INDIVIDUAL
LOT CONSTRUCTION

BORRELLI + PARTNERS
Landscape Architecture
1000 N. WINDY HILLS BLVD.
ORLANDO, FL 32824 (407) 418-1338
FL 00000001
FL 00000002
FL 00000003
FL 00000004
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LEGACY HILLS

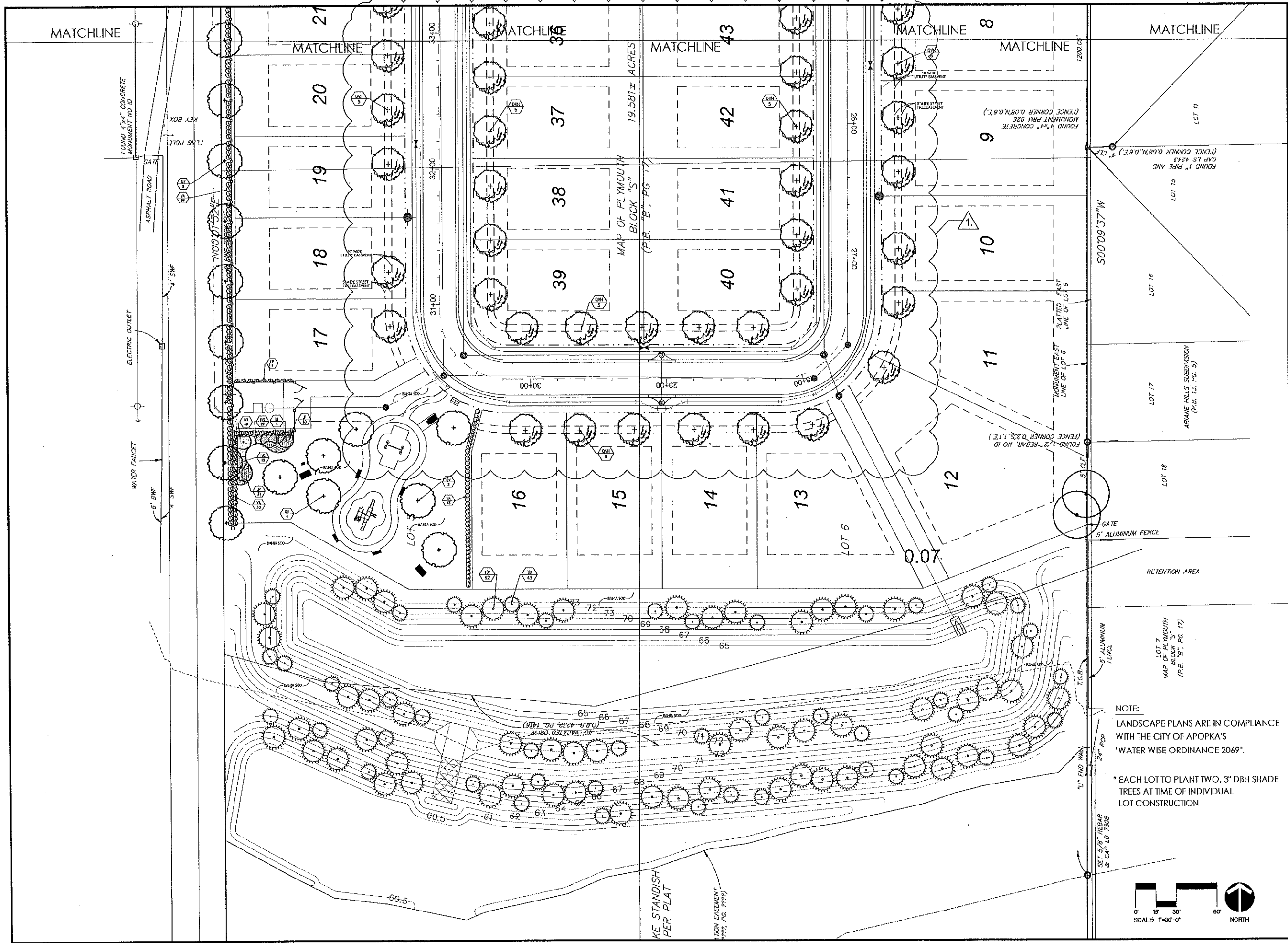
LANDSCAPE PLAN

PROJECT NO. 14-112
PHASE CONSTRUCTION DOCUMENTS
SCALE AS SHOWN
FILE NAME 14-112
DRAWN BY CR
CHECKED BY CR
DATE 11/20/14

REV.	DESCRIPTION	DATE	PROJECT ADDRESS
1.	CITY COMMENTS	11-20-14	CITY OF APOKA, FLORIDA OWNER NAME AND ADDRESS RE DEVELOPMENT



L-100



LEGACY HILLS

LANDSCAPE PLAN

NOTE:
LANDSCAPE PLANS ARE IN COMPLIANCE WITH THE CITY OF AOPKA'S "WATER WISE ORDINANCE 2069".
* EACH LOT TO PLANT TWO, 3" DBH SHADE TREES AT TIME OF INDIVIDUAL LOT CONSTRUCTION

PROJECT NO. 16-112
REV. 1
DESCRIPTION CONSTRUCTION DOCUMENTS
DATE 11-2-19

CITY COMMENTS AS NOTED

FILE NAME 16-112

DRAWN BY CR

CHECKED BY CR

DATE 11-2-19

PROJECT ADDRESS
 CITY OF AOPKA, FLORIDA
 OWNER NAME AND ADDRESS
 REDEVELOPMENT

DRAWING TITLE
 LANDSCAPE PLAN

CONSULTANTS
BORRELLI PARTNERS
 LANDSCAPE ARCHITECTS
 2530 WINDYWAY STREET
 ORLANDO, FL 32834 (407) 418-1338
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS
 LICENSE NO. SA 14291
 PROFESSIONAL SEAL

SIGNATURE AND DATED SEAL
 (Signature)
 11-2-19

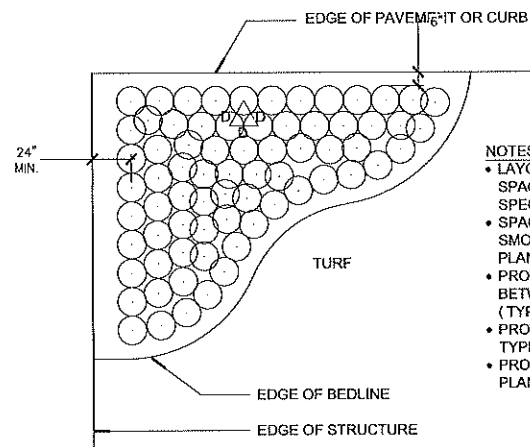
SCALE: 1"=30'-0"

0 15 30 60

NORTH

LANDSCAPE PLANTING NOTES:

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES.
- ALL PLANTS SHALL MEET OR EXCEED THE REQUIREMENTS FOR FLORIDA NO. 1 QUALITY, AS GRADED IN THE MOST CURRENT EDITION OF FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, PUBLISHED BY THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
- ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING, AND AFTER INSTALLATION.
- ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A FULL, DENSE CROWN.
- ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING AREAS SHALL HAVE MULCH A MINIMUM OF 3" IN DEPTH. CYPRESS MULCH SHALL NOT BE USED.
- ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3" TOPSOIL.
- ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA.
- ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.



- NOTES:**
- LAYOUT PLANTS IN A TRIANGULAR PATTERN AS SHOWN, SPACED EQUALLY FROM EACH OTHER (AT SPACING SPECIFIED IN THE PLANT LIST) AND IN STRAIGHT ROWS.
 - SPACING MAY BE ADJUSTED SLIGHTLY TO CREATE SMOOTH FLOWING BEDLINES AS SHOWN ON LANDSCAPE PLANS.
 - PROVIDE 6" - 12" UNIFORM CLEARANCE (MULCH STRIP) BETWEEN PLANT FOLIAGE AND EDGE OF BEDLINE (TYP.).
 - PROVIDE 12"-18" SPACING BETWEEN DIFFERENT PLANT TYPES.
 - PROVIDE 24" O.C. MINIMUM BETWEEN FIRST ROW OF PLANT MATERIAL AND ANY STRUCTURE.

SHRUB/GROUNDCOVER SPACING DETAIL
NOT TO SCALE

PROVIDE AGRIFORM (20-10-9) FERTILIZER TABLETS AT THE FOLLOWING RATES:
3 GAL./5 TABLETS; 1 GAL./1 TABLET.

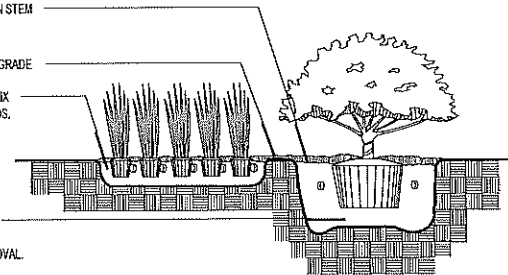
PROVIDE 5" MINIMUM CLEARANCE AROUND ROOTBALL (SIDES AND BOTTOM).

3" MULCH MINIMUM - DO NOT COVER MAIN STEM

SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE

12" MINIMUM DEPTH OF PLANTING SOIL MIX IN SHRUB/GROUNDCOVER PLANTING BEDS.

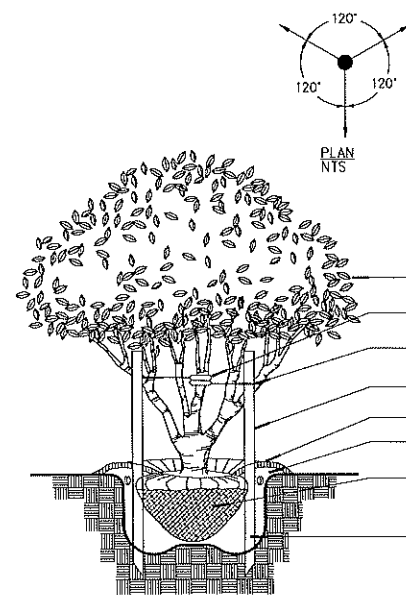
PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.



SHRUB AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

LANDSCAPE CONTRACTOR NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION. ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANTITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.
- THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED DURING THE WORK.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE OF HIS WORK.



PROVIDE AGRIFORM FERTILIZER TABLETS AT THE FOLLOWING RATES:
15 GAL./5 TABLETS
30 GAL./10 TABLETS
65 GAL./15 TABLETS, OR ONE TABLET PER EACH 1/2" OF TRUNK DIAMETER.

SELECTIVELY PRUNE TO MAINTAIN FORM

REINFORCED RUBBER HOSE

#10 GAUGE WIRE FROM CENTRAL TRUNK TO THREE STAKES

THREE 2" x 2" x 8' P.T.P. STAKES

MINIMUM 3" MULCH

6" SOIL SAUCER

TURN BACK BURLAP ONE THIRD IF BALLED & BURLAPPED. REMOVE SYNTHETIC BURLAP COMPLETELY.

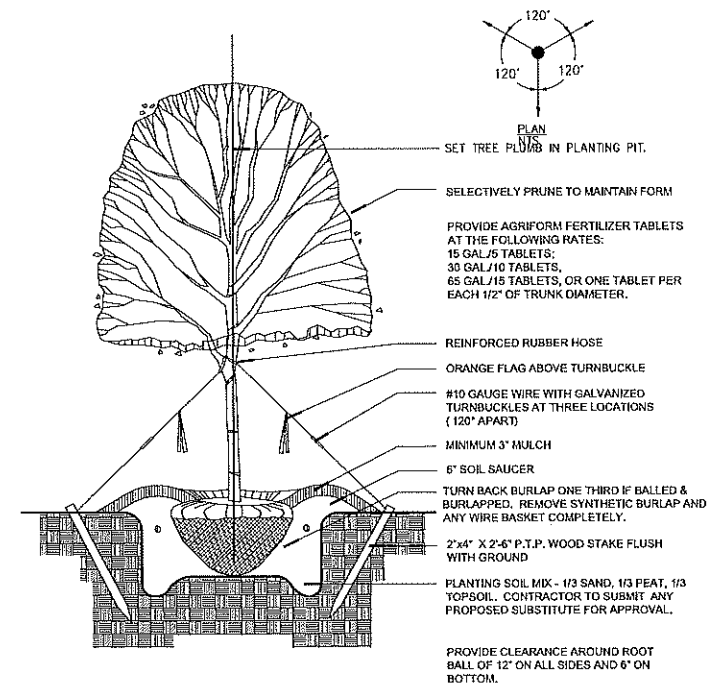
PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

PROVIDE CLEARANCE AROUND ROOT BALL OF 12" ON ALL SIDES AND 6" ON BOTTOM.

MULTI-TRUNK TREE PLANTING DETAIL
NOT TO SCALE

LANDSCAPE PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	REMARKS
TREES					
CSI	12	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	486" HT, 2610"HT. / FULL TO GROUND / SPECIMEN FORM	SPACE AS SHOWN GUY
LI	4	LAGERSTROEMIA INDICA 'TUSCARORA'	RED CREPE MYRTLE	10'-12" HT., 4'-5" SPRD., 2" DBH.; MULTI-TRUNKED	SPACE AS SHOWN GUY
LJT	8	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE	8' X 8', MULTI-TRUNK, SPECIMEN FORM	SPACE AS SHOWN GUY
MG	9	MAGNOLIA GRANDIFLORA 'J.D. BLANCHARD'	SOUTHERN MAGNOLIA	10'-12" HT. X 4'-5" SPRD.; 3" DBH / FULL / SPECIMEN FORM / 45 GAL. CONT.	SPACE AS SHOWN GUY
PD	1	PHOENIX DACTYLOFERA 'MEDJOOL'	MEDJOOL DATE PALM	12" CT. STRAIGHT TRUNK; SPECIMEN FORM	SPACE AS SHOWN GUY
QV	38	QUERCUS VIRGINIANA	LIVE OAK	12'-14" HT X 6'-7" SPR., 4" DBH / SPECIMEN FORM 65 GAL. CONT.	SPACE AS SHOWN GUY
QVH	80	QUERCUS VIRGINIANA 'HIGHRISE'	LIVE OAK	12'-14" HT X 4'-5" SPR., 4" DBH	SPACE AS SHOWN GUY
SP	6	SABAL PALMETTO	CABBAGE PALM	4012" CT., 2015"CT.; STRAIGHT TRUNK; SPECIMEN FORM	SPACE AS SHOWN GUY
TD	43	TAXODIUM DISTICHUM	BALD CYPRESS	10'-12" HT.; 4'-6" SPRD.; 3" DBH	SPACE AS SHOWN GUY
TD1	62	TAXODIUM DISTICHUM	BALD CYPRESS	14'-16" HT.; 6'-8" SPRD.; 4" DBH	SPACE AS SHOWN GUY
SHRUBS					
CA	5	CRIMUM ASIATICUM	CRIMUM LILY	30" HT. X 36" SPRD. / FULL / 15G	AS SHOWN
DE	22	DURANTA ERECTA 'GOLD MOUND'	GOLD MOUND DURANTA	15" HT. X 15" SPRD. / FULL / 3G	24" O.C.
IVS	166	ILEX VOMITORIA 'SCHILLINGS'	DWARF SCHILLINGS HOLLY	15" HT. X 15" SPRD. / FULL / 3G	24" O.C.
PM	21	PODOPHYLLUM MACROPHYLLA 'MAKI'	JAPANESE YEW	42" HT. X 24" SPRD. / FULL / 7G	AS SHOWN
PH	16	PHYSCOTRIA NERVOSA	WILD COFFEE	36" HT. X 24" SPRD. / FULL / 7G	AS SHOWN
ST	140	SCHEFFLERA ARBORICOLA 'TRINETTE'	DWARF VARIEGATED SCHEFFLERA	24" HT. X 24" SPRD. / FULL / 3G	AS SHOWN
VA	359	VIBURNUM ODORATISSIMA 'JAWABUKI'	MIRROR-LEAF VIBURNUM	30" HT. X 24" SPRD. / FULL / 3G	36" O.C.
VWS	138	VIBURNUM OBOVATUM 'MRS SCHILLERS DELIGHT'	DWARF WALKER'S VIBURNUM	24" HT. X 24" SPRD., FULL, 3 GAL.	30" O.C.
GROUNDCOVERS					
AN	398	ANNUALS	SEASONAL FLOWERS	8" O.A. FULL; 4" POT	10" O.C.
BF	56	BULBINE FRUTESCENS 'WALLMARK'	TANGERINE BULBINE	15" O.A. / FULL / 1 GAL.	18" O.C.
DB	80	DIETES BICOLOR	YELLOW AFRICAN IRIS	18" HT. X 15" SPRD., FULL, 3 GAL.	24" O.C.
FP	9	FICUS PUMILA	CREEPING FIG	24" HT. X 12" SPRD. / FULL / 3G / TRELIS	48" O.C.
JP	395	JUNIPERUS CHINENSIS 'PARSONS'	PARSONS JUNIPER	12" HT. X 16" SPRD., FULL, 3 GAL.	24" O.C.
LM	451	LIRIOPE MUSCARI 'EMERALD GODDESS'	BORDER GRASS	12" HT. X 12" SPRD. / FULL / 1G	24" O.C.
TA	239	TARACHELOSPERMUM ASIATICUM	DWARF ASIAN JASMINE	4" HT. X 12" SPRD. / FULL / 1G	18" O.C.
MULCH					
SEE PLANS		PASPALUM NOTATUM	ARGENTINE BAHIA GRASS	FREE OF PESTS AND DEBRIS	FIELD VERIFY QTY.
SEE PLANS		SIENOTAPHIRUM SECUNDATUM 'FLORATAM'	ST. AUGUSTINE GRASS	SOLID, FREE OF PESTS AND DISEASES	FIELD VERIFY QTY.
SEE PLANS		PINE BARK MINI-MUGGETS	PINE BARK MINI-MUGGETS	FREE OF DIRT AND DEBRIS	FIELD VERIFY QTY.



TREE PLANTING DETAIL
NOT TO SCALE

SET TREE PLUMB IN PLANTING PIT.

SELECTIVELY PRUNE TO MAINTAIN FORM

PROVIDE AGRIFORM FERTILIZER TABLETS AT THE FOLLOWING RATES:
15 GAL./5 TABLETS;
30 GAL./10 TABLETS;
65 GAL./15 TABLETS, OR ONE TABLET PER EACH 1/2" OF TRUNK DIAMETER.

REINFORCED RUBBER HOSE

ORANGE FLAG ABOVE TURNBUCKLE

#10 GAUGE WIRE WITH GALVANIZED TURNBUCKLES AT THREE LOCATIONS (120" APART)

MINIMUM 3" MULCH

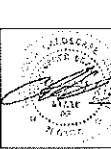
6" SOIL SAUCER

TURN BACK BURLAP ONE THIRD IF BALLED & BURLAPPED. REMOVE SYNTHETIC BURLAP AND ANY WIRE BASKET COMPLETELY.

2"x4" X 2'-6" P.T.P. WOOD STAKE FLUSH WITH GROUND

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

PROVIDE CLEARANCE AROUND ROOT BALL OF 12" ON ALL SIDES AND 6" ON BOTTOM.



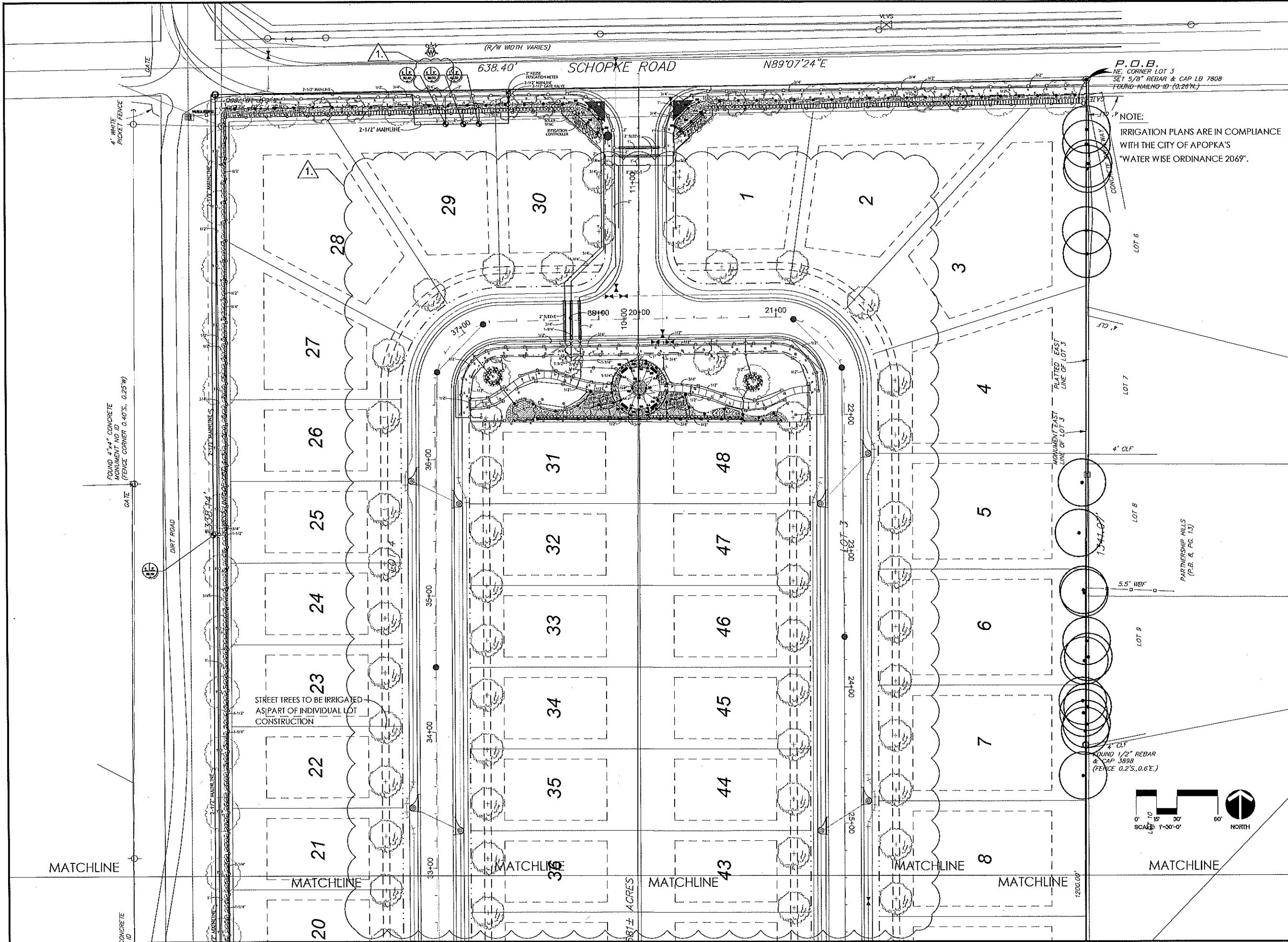
CONSULTANTS

LEGACY HILLS

LANDSCAPE DETAILS AND PLANT LIST

PROJECT ADDRESS	PROJECT TITLE	DATE
CITY OF WOPKA, FLORIDA	LEGACY HILLS	11-24-16
OWNER NAME AND ADDRESS	PHASE	REV.
FL DEVELOPMENT	CONSTRUCTION	1
	SCALE	AS NOTED
	FILE NAME	11-11-16
	DRAWN BY	CH
	CHECKED BY	JAM
	DATE	11-23-16

L-102



P.O.B.
NE CORNER LOT 3
SET 5/8" REBAR & CAP LB 7808
FOUND NAILING ID (0.26'W.)

NOTE:
IRRIGATION PLANS ARE IN COMPLIANCE
WITH THE CITY OF APOPKA'S
"WATER WISE ORDINANCE 2069".

LEGACY HILLS

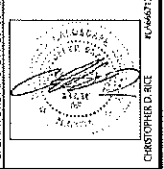
IRRIGATION PLAN

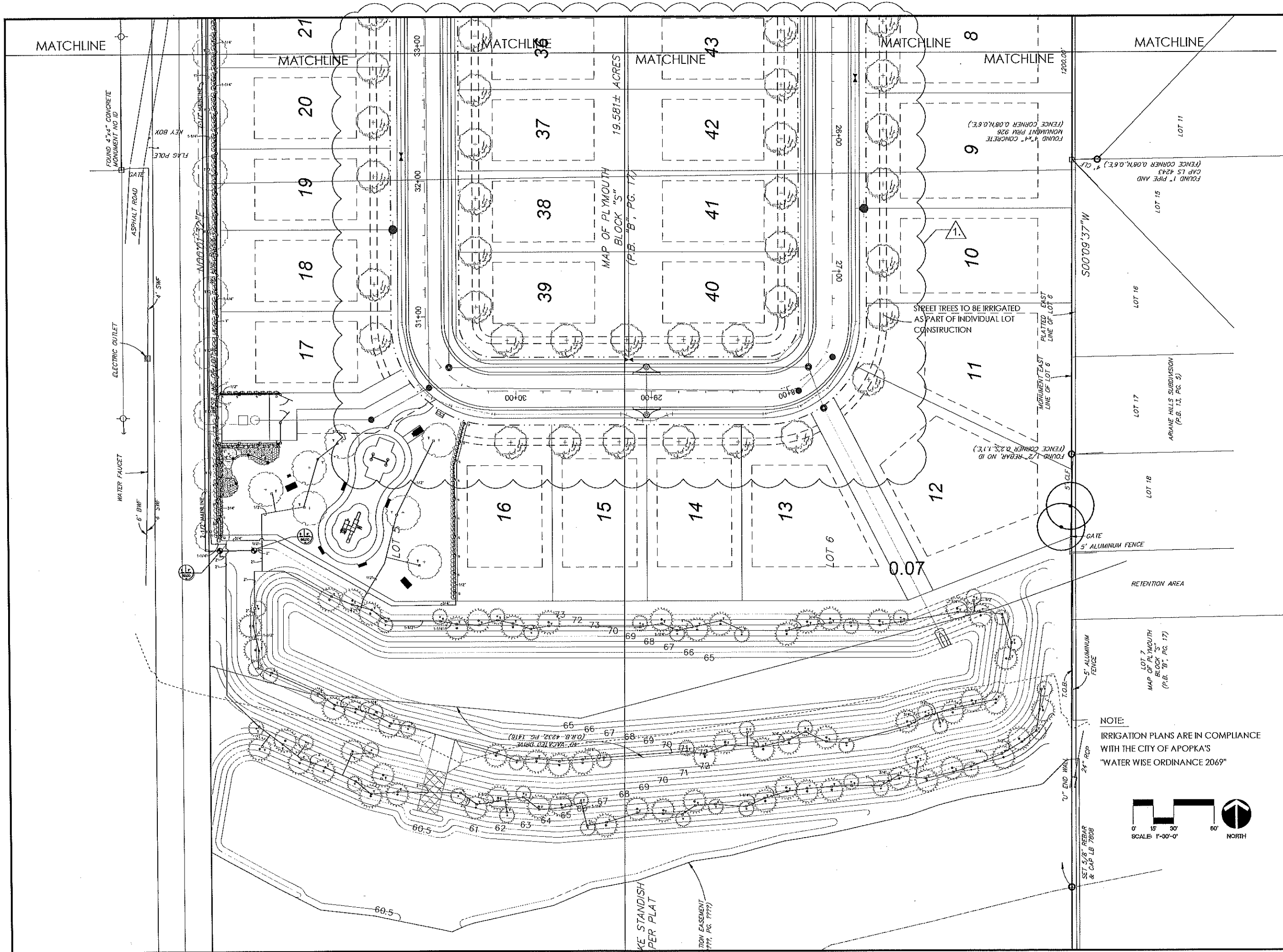
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16-112	11/22/18		IRRIGATION PLAN		
SCALE AS NOTED	FILE NAME	CITY OF APOPKA, FLORIDA	OWNER NAME AND ADDRESS		
SCALE 1"=30'-0"	16-112	16 DEVELOPMENT			
DRAWN BY	CHECKED BY				

1-100

DATE 11/22/18

BORRELLI PARTNERS
ARCHITECTURAL PLANNING LANDSCAPE INTERIOR
230 VASANT STREET
ORLANDO, FL 32804 (407) 416-1338
FL REG. NO. 12000-0017
FL REG. NO. 12000-0017
FL REG. NO. 12000-0017





LEGACY HILLS

IRRIGATION PLAN

PROJECT NO.	16112
PHASE	CONSTRUCTION DOCUMENTS
SCALE	AS NOTED
FILE NAME	16112
DRAWN BY	CR
CHECKED BY	CR
DATE	11-27-18

REV.	DESCRIPTION	DATE
1	CITY COMMENTS	11-27-18

PROJECT ADDRESS	CITY OF APOPKA, FLORIDA
DRAWING TITLE	OWNER NAME AND ADDRESS
CONSULTANTS	RE DEVELOPMENT

1-101

BORRELLI PARTNERS
 ARCHITECTURE, ENGINEERING, PLANNING & INTERIOR DESIGN
 230 VASSAR STREET
 ORLANDO, FL 32804-1407 | 407-118-1338
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 12117
 REGISTERED PROFESSIONAL ARCHITECT
 LICENSE NO. 12117
 REGISTERED PROFESSIONAL PLANNER
 LICENSE NO. 12117
 REGISTERED PROFESSIONAL INTERIOR DESIGNER
 LICENSE NO. 12117

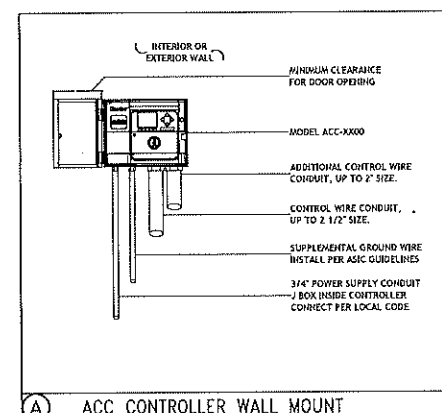
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DATE: 11/27/18

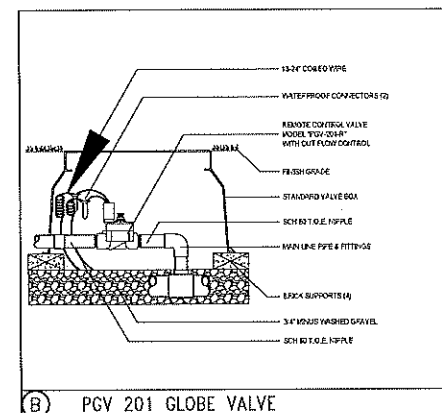
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DATE: 11/27/18

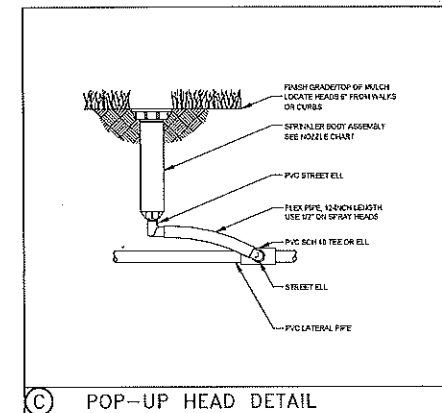
IRRIGATION DETAILS



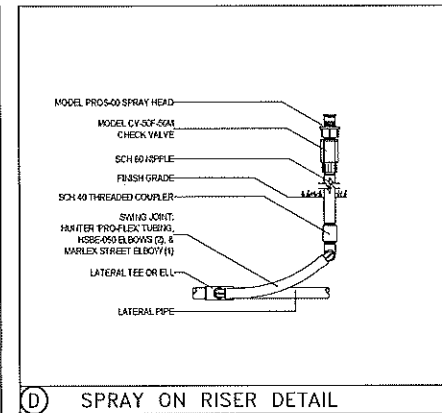
A ACC CONTROLLER WALL MOUNT



B PGV 201 GLOBE VALVE



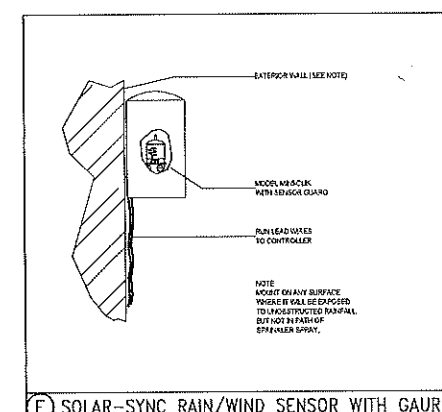
C POP-UP HEAD DETAIL



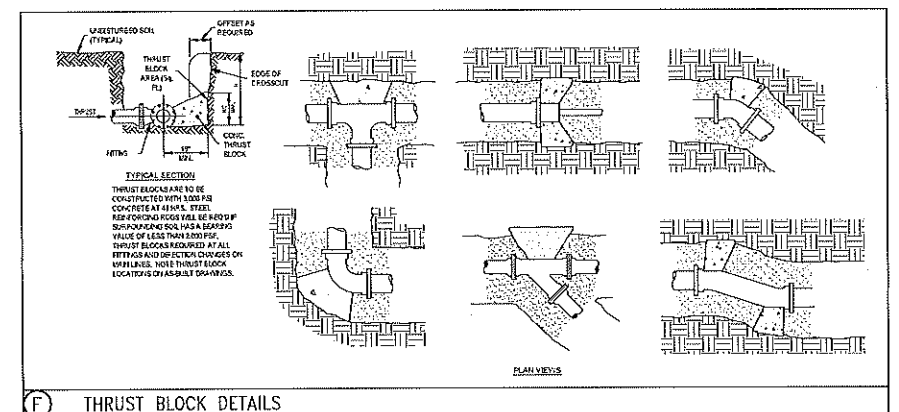
D SPRAY ON RISER DETAIL

IRRIGATION NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18\"/>



E SOLAR-SYNC RAIN/WIND SENSOR WITH GAURD

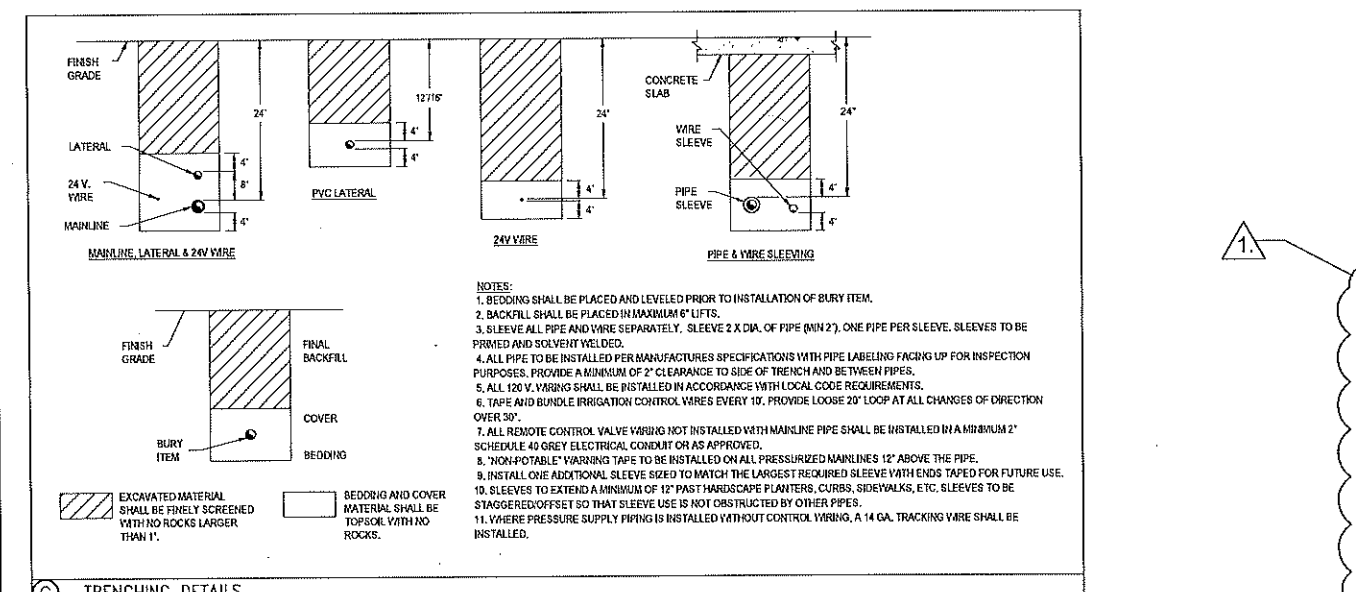


F THRUST BLOCK DETAILS

SPRAY NOZZLE CHART

TYPE	SYM	NOZZLE	NOZZLE PATTERN	GPM
MP1000 8'-15' radius	A	HAZARD	90° ADJUSTABLE ARC	.21
	B	HAZARD	180° ADJUSTABLE ARC	.42
	C	LT. BLUE	210° ADJUSTABLE ARC	.49
	D	LT. BLUE	270° ADJUSTABLE ARC	.53
	E	OLIVE	360° ARC	.84
	F	BLACK	90° ADJUSTABLE ARC	.43
MP2000 13'-21' radius	G	BLACK	180° ADJUSTABLE ARC	.77
	H	GREEN	210° ADJUSTABLE ARC	.86
	I	GREEN	270° ADJUSTABLE ARC	1.10
	J	RED	360° ARC	1.48
	K	BLUE	90° ADJUSTABLE ARC	.86
	L	BLUE	180° ADJUSTABLE ARC	1.82
MP3000 22'-30' radius	M	YELLOW	210° ADJUSTABLE ARC	2.12
	N	YELLOW	270° ADJUSTABLE ARC	2.73
	O	GRAY	360° ARC	3.64
	P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
	Q	IVORY	5x15' LEFT STRIP	.22
	R	COPPER	5x15' RIGHT STRIP	.22
STRIPS & CORNERS	S	BROWN	5x30' SIDE STRIP	.44
	T	PCN10	0.50 GPM FLOOD BUBBLER	.50
	U	PCN50	1.00 GPM FLOOD BUBBLER	1.00
	V	SR-42	90° 4' RADIUS	.22
	W	SR-4H	180° 4' RADIUS	.44
	AA	ORANGE	90° ADJUSTABLE ARC	.23
BUBBLERS AND MICRO-SPRAYS	BB	ORANGE	180° ADJUSTABLE ARC	.42
	CC	ORANGE	210° ADJUSTABLE ARC	.43
	DD	GREEN	360° ARC	.78

SYMBOL	DESCRIPTION	QUANTITIES
■	4\"/>	



G TRENCHING DETAILS

WATERING SCHEDULE

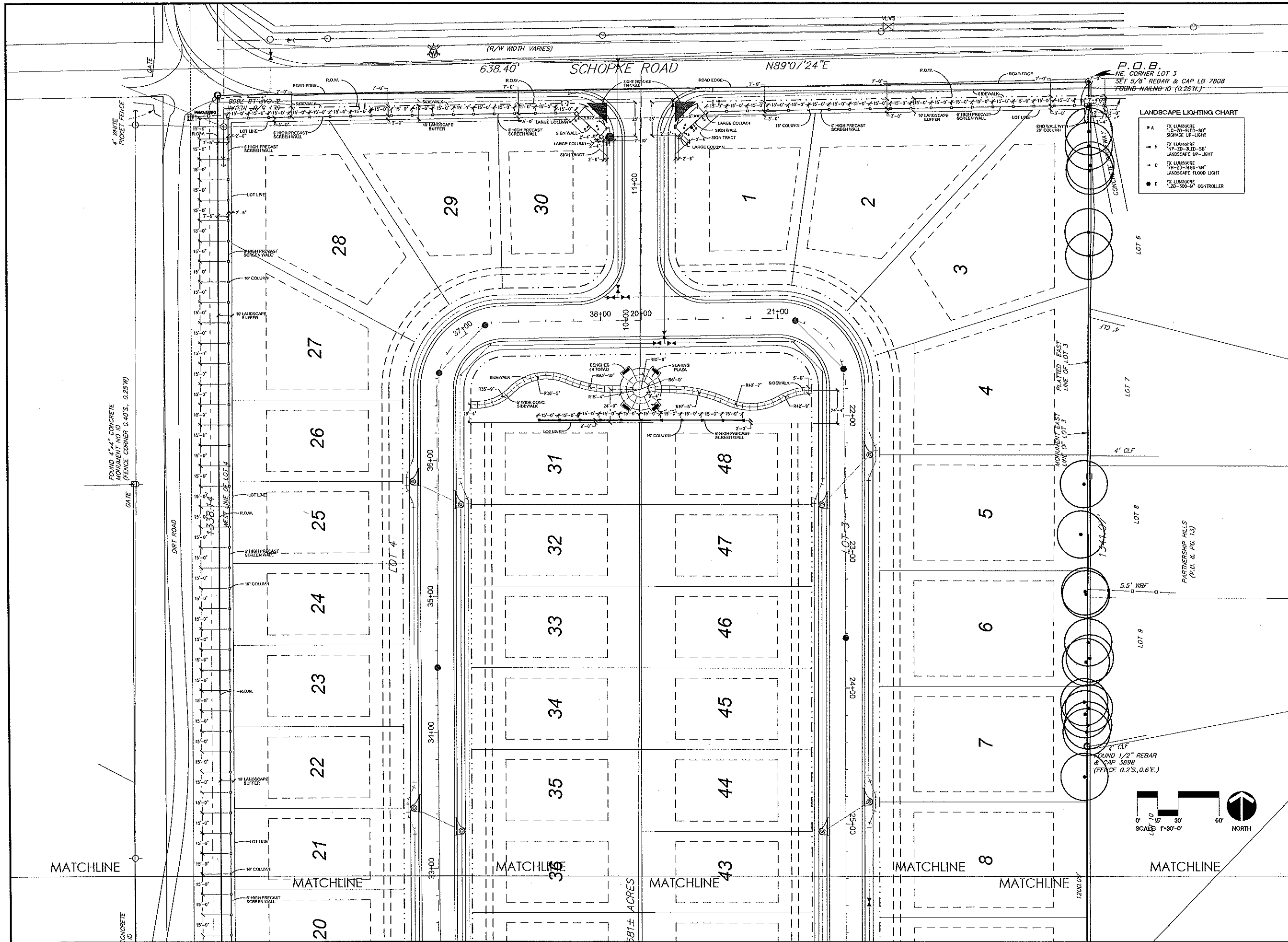
ZONE #	WATER TYPE	WATERING TIME	GAL. PER MINUTE	GAL. PER WATERING	PRECIP. IN INCHES
1	SHRUBS	20 MIN.	44.39 GPM	887.80 GPW	0.43"
2	BUBBLERS	15 MIN.	28.00 GPM	420.00 GPW	0.43"
3	GRASS	60 MIN.	59.40 GPM	3,564.0 GPW	0.45"
4	SHRUBS	20 MIN.	38.59 GPM	771.80 GPW	0.43"
5	BUBBLER	15 MIN.	69.00 GPM	1,035.0 GPW	0.43"
6	BUBBLER	15 MIN.	66.00 GPM	990.00 GPW	0.43"
TOTAL		2 HRS-25 MIN.	307.38 GPM	6,338.6 GPW	

WATERING SCHEDULE & USAGE CALCULATIONS
 15,337.20 GAL / WEEK - SUMMER (MAR 15-OCT 14 (2 TIMES / WEEK))
 7,668.60 GAL / WEEK - WINTER (OCT 15-MAR 14 (1 TIME / WEEK))
 598,150.80 GAL / YEAR (78 WATERINGS PER YEAR)
 418,705.56 GAL / YEAR W/ 30% REDUCTION FOR SOLAR-SYNC
 **ZONE RUN TIMES SHOWN ARE FOR AFTER PLANT ESTABLISHMENT PERIOD (90 DAYS).

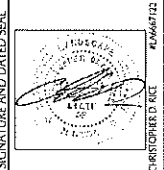
LEGACY HILLS

IRRIGATION DETAILS

PROJECT NO.	DATE	DESCRIPTION	DATE	PROJECT ADDRESS
1000000000000000	11-27-24	CONSTRUCTION DOCUMENTS	11-27-24	11500 SW 57th Street, Suite 100, Miami, FL 33157
		SCALE		
		FILE NAME		
		DRAWN BY		
		CHECKED BY		
		DATE		



BORELLI + PARTNERS
 ARCHITECTS
 1200 N. WINDY HILL ROAD
 SUITE 100
 ORLANDO, FL 32804-4021
 TEL: 407.226.1338
 FAX: 407.226.1339
 WWW.BORELLI-PA.COM



SIGNATURE AND DATED SEAL
 CONSULTANTS

LEGACY HILLS
 HARDSCAPE PLAN

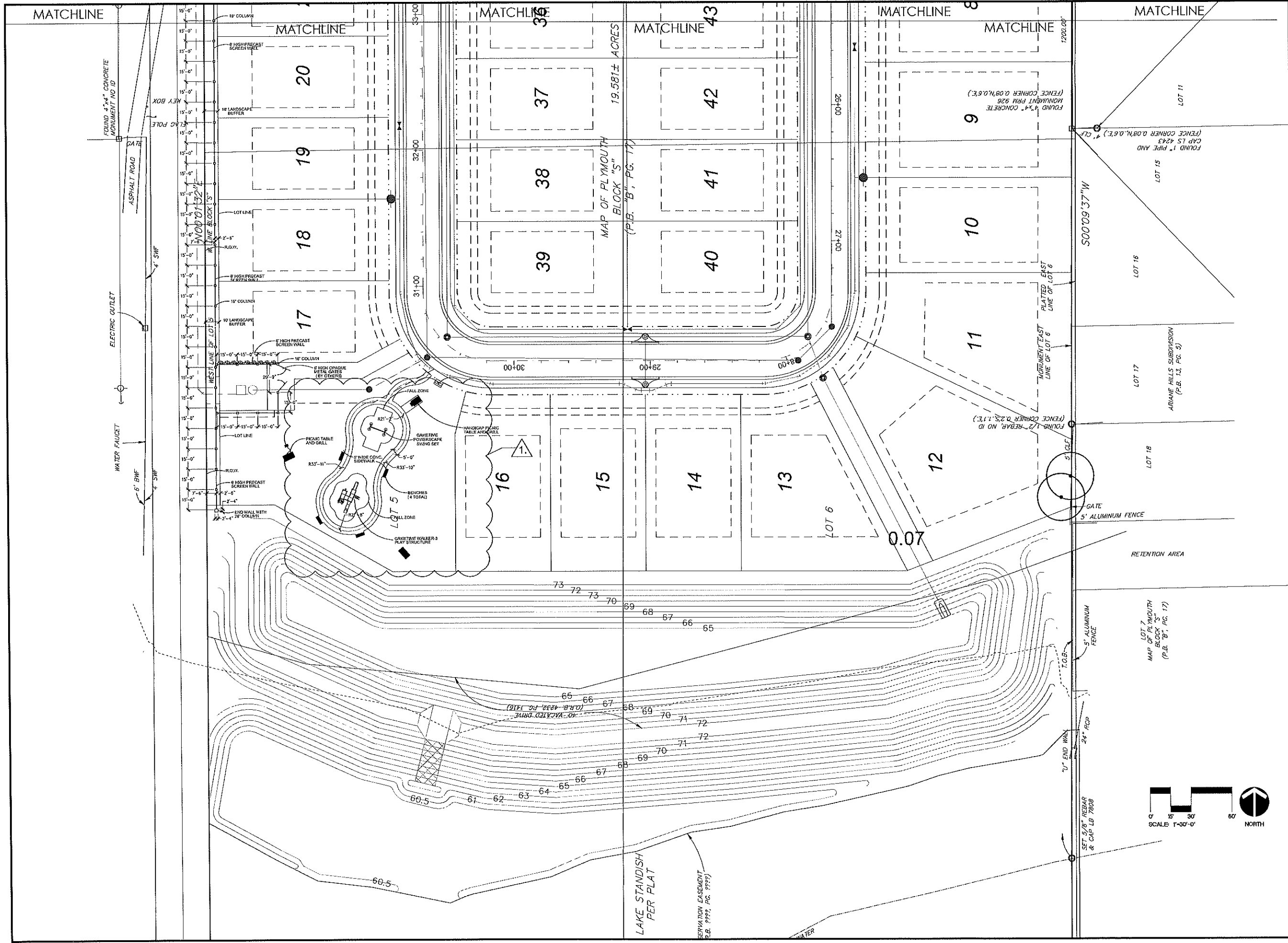
DRAWING TITLE

PROJECT ADDRESS
 CITY OF APOPKA, FLORIDA
 OWNER NAME AND ADDRESS
 P.L.B. & P.G. 13
 PALM BAY, FLORIDA

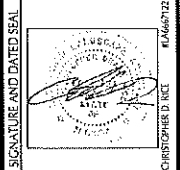
REV.	DESCRIPTION	DATE
1	CITY COMMENTS	11/25/18

PROJECT NO. 16-112
 PHASE CONSTRUCTION DOCUMENTS
 SCALE AS NOTED
 FILE NAME 16-112
 DRAWN BY CDR
 CHECKED BY CDR
 DATE 11/27/18

H-100



PROJECT NO. 14112
 PHASE CONSTRUCTION DOCUMENTS
 SCALE AS NOTED
 FILE NAME H-101
 DRAWN BY CSR
 CHECKED BY CSR
 DATE 11/27/18

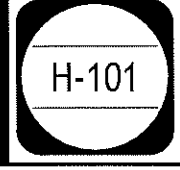


CONSULTANTS
 SIGNATURE AND DATED SEAL
 CRISTOPHER D. RICE

DRAWING TITLE
LEGACY HILLS
HARDSCAPE PLAN

PROJECT ADDRESS
 CITY OF WOPKA, FLORIDA
 OWNER NAME AND ADDRESS
 PL DEVELOPMENT

REV.	DESCRIPTION	DATE
1.	CITY COMMENTS	11/27/18



H-101

BORRELLI PARTNERS
 ARCHITECTURAL LANDSCAPE INTERIOR
 230 VASSAR STREET
 ORLANDO, FL 32804-4027-118-1338
 REGISTRATION NO. 15181 ON THE ARCHITECT REGISTER (Expires 12/31/2021)

14112-18
 11/27/18



PowerScape Swing - 5" x 8'

A PLAYCORE Company



Features and Benefits:

Model: 81598
Use Zone: 24' X 31'

Limited Lifetime Warranty on uprights, hardware and connections. Visit gametime.com/warranty for full warranty information

A GAMETIME POWERSCAPE SWING SET

NOT TO SCALE



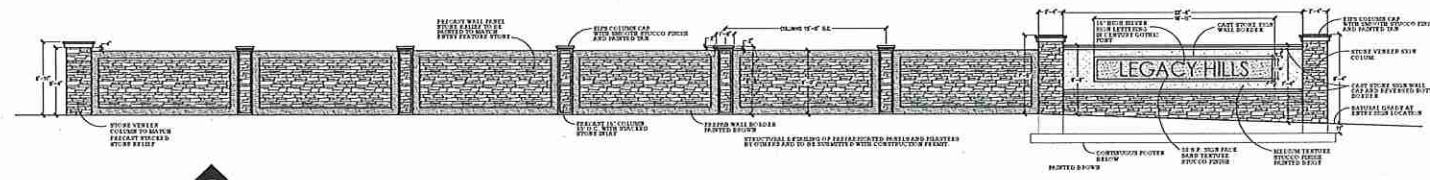
Features and Benefits:

Model: 20020
Use Zone: 37' X 28'
Fall Height: 5'
Age Group: 2 to 5 Years
Number of Children: 35-40

Limited Lifetime Warranty on uprights, hardware and connections. Visit gametime.com/warranty for full warranty information

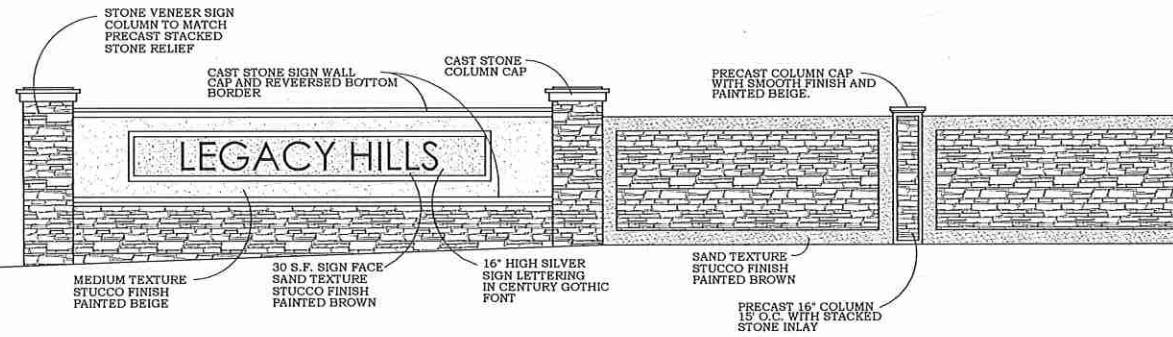
B GAMETIME WALKER-3 PLAY STRUCTURE

NOT TO SCALE



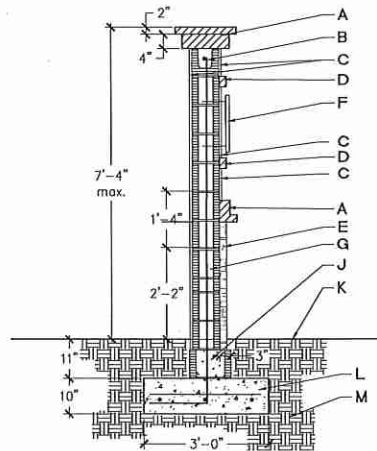
A ROAD FRONTAGE WALL, COLUMNS AND ENTRY SIGN

SCALE: 1/8"=1'-0"



B ENTRY SIGN - ELEVATION

SCALE: 1/4"=1'-0"

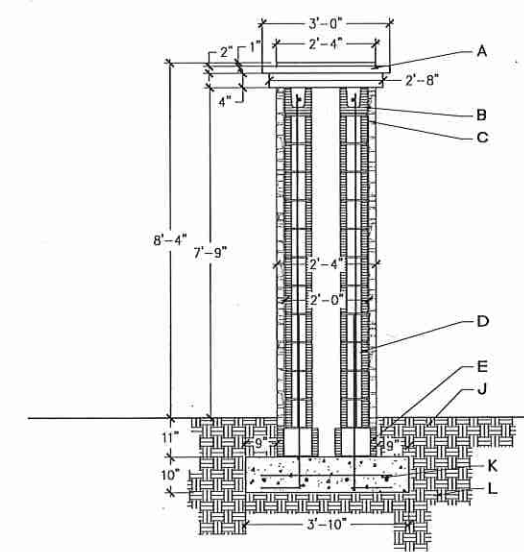


NOTES

- A. PRECAST STONE WALL CAP AND BASE BORDER TRIM. ATTACH TO WALL UTILIZING RAKED MORTAR BED AND TRUSS TIES.
- B. 8"x8"x16" CMU LINTEL BLOCK WITH (1) #5 RE-BAR CONT. FILL ALL CELLS WITH MORTAR.
- C. APPLY MIN. 5/8" THICK STUCCO IN MEDIUM FINISH TO WALL AS SHOWN. PAINT COLOR BY OWNER.
- D. 3" SQUARE CAST STONE SIGN TRIM. COLOR MATCH ALL WALL DETAILING AND COLUMN CAPS.
- E. ATTACH 3" THICK STACKED STONE VENEER SIGN WALL UTILIZING TRUSS TIES AND MORTAR. STONE TYPE TO BE "XX" BY J&N STONE IN XX COLOR.
- F. 16" HIGH RAISED SIGN LETTERING IN CENTURY GOTHIC FONT - ATTACH TO WALL UTILIZING PIN MOUNTS.
- G. 7'-4" HIGH, 8"x8"x16" CMU BLOCK SIGN WALL WITH (1) #5 RE-BAR VERTICAL @ 32" O.C. AND END CONDITIONS. FILL CELLS WITH MORTAR.
- J. 12"x8"x16" CMU STEM WALL. FILL ALL CELLS WITH CONCRETE. ALLOW 4 DAYS FOR CONCRETE TO CURE PRIOR TO WALL CONSTRUCTION.
- K. FINISH GRADE.
- L. 10" THICK X 3'-0" WIDE 3,000 P.S.I. CONCRETE FOOTER W/ (3) #5 RE-BAR CONTINUOUS AND 1-#5 LAP BAR EVERY 24" O.C. AS SHOWN. PROVIDE (1) #5 VERT. RE-BAR @ 32" O.C. AND END CONDITIONS.
- M. CLEAN BACKFILL COMPACTED TO 95% PROCTOR DENSITY.

D SINGLE SIDED ENTRY SIGN WALL

SCALE: 1/2"=1'-0"



NOTES

- A. EIFS COLUMN CAP. ATTACH TO COLUMN UTILIZING RAKED MORTAR BED.
- B. 8"x8"x16" CMU LINTEL BLOCK WITH (1) #5 RE-BAR CONT.
- C. ATTACH 2" THICK STONE VENEER WITH TRUSS TIES AND MORTAR. STYLE TO BE 'STACKSTONE' IN BUCKS CREEK SAGE COLOR BY J&N STONE OR APPROVED EQUAL.
- D. 2'-0" SQUARE 8"x8"x16" CMU BLOCK COLUMN WITH (1) #5 RE-BAR VERTICAL AT EACH CORNER. FILL CELLS WITH CONC.
- E. 8"x12"x16" CMU STEM WALL. FILL ALL CELLS WITH CONCRETE.
- J. FINISH GRADE.
- K. 10" THICK X 3'-10" SQUARE 3,000 P.S.I. CONCRETE FOOTER W/ (4) #5 RE-BAR IN EACH DIRECTION AS SHOWN. PROVIDE (1) #5 VERT. RE-BAR IN EACH CORNER.
- L. CLEAN BACKFILL COMPACTED TO 95% PROCTOR DENSITY.

E ENTRY SIGN WALL COLUMN

SCALE: 1/2"=1'-0"



CONSULTANTS

LEGACY HILLS HARDSCAPE ELEVATIONS AND DETAILS

DRAWING TITLE

PROJECT ADDRESS
CITY OF APOPKA, FLORIDA
OWNER NAME AND ADDRESS
RE DEVELOPMENT

PROJECT NO.	DATE	DESCRIPTION
16-112	11-27-18	CITY COMMENTS
16-112	11-27-18	AS NOTED
16-112	11-27-18	CONSTRUCTION DOCUMENTS
16-112	11-27-18	FILE NAME
16-112	11-27-18	DRAWN BY
16-112	11-27-18	CHECKED BY
16-112	11-27-18	DATE

H-102

MASTER PLAN

LEGACY HILLS

CITY OF APOPKA, FLORIDA

PREPARED FOR

JEL Land Development, LLC

LEGAL DESCRIPTION (AS FURNISHED)

A TRACT OF LAND LYING IN SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST, BEING LOTS 3 THROUGH 6, BLOCK S, OF THE MAP OF PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 17 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, TOGETHER WITH THE 40 FOOT VACATED RIGHT-OF-WAY LYING SOUTH OF LOTS 5 AND 6 AND THAT PART OF THE OCCUPIED PLATTED LAKE STANDISH LYING SOUTH OF SAID LOTS 5 AND 6 WITHIN BLOCK S, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE ABOVE REFERENCED LOT 3 AS THE POINT OF BEGINNING; THENCE RUN SOUTH 00.09° 37' WEST ALONG THE EAST LINE OF SAID LOT 3 AND LOT 6 AND THE EXTENSION THEREOF, ALSO BEING THE WEST LINE OF PARTNERSHIP HILLS, PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS; AND THE WEST LINE OF ARIANE HILLS SUBDIVISION, PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS 1,341.07 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION AND THE SOUTH LINE OF THE AFORESAID BLOCK S; THENCE RUN SOUTH 89.22° 57' WEST ALONG THE SOUTH LINE OF SAID BLOCK S, 638.21 FEET; THENCE RUN NORTH 00.01° 32' EAST, ALONG THE WEST LINE OF SAID BLOCK S AND THE WEST LINE OF LOTS 5 AND 4 AND THE EXTENSION THEREOF; 138.14 FEET, TO THE SOUTH RIGHT-OF-WAY LINE OF SCHOPKE ROAD; THENCE RUN NORTH 89.07° 24' EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 638.40 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND LIES IN THE CITY OF APOPKA, FLORIDA AND REPRESENTS THE ORANGE COUNTY ASSESSOR PARCEL NUMBER 06-21-28-7172-19-030.

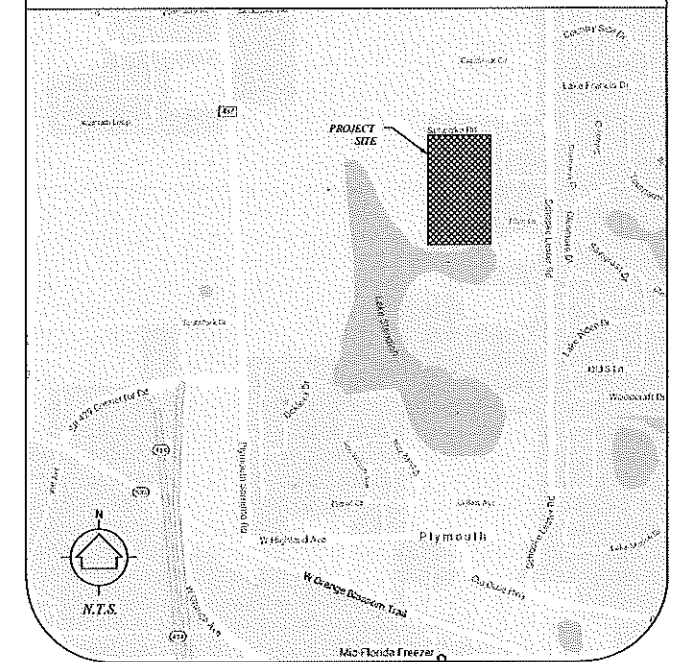
DEVELOPMENT DESIGN STANDARDS

All residential homes shall comply with the architectural design standards within the Apopka Development Design Standards.

Minimum Building Setbacks on Lots

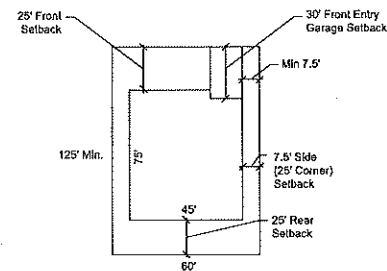
Front	25'
Side	7.5'
Rear	25'
Corner	25'
Front Entry Garage	30'

SITE LOCATION

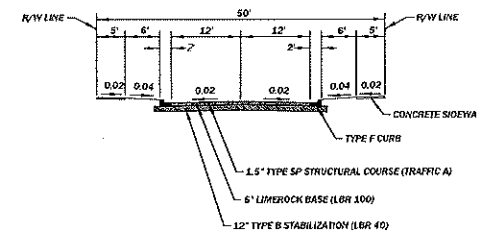


GENERAL NOTES

- Streets will be dedicated to the City of Apopka.
- Retention areas will be privately owned & maintained by the Homeowners Association (HOA) and will be unfenced.
- Water & sewer will be owned & operated by City of Apopka. Utilities will tie into existing utility locations shown on the development plans.
- The project will be designed in conformance with the City of Apopka Design Standards.
- Project infrastructure will be developed in one phase.
- Approved fire hydrants shall be located at intervals not to exceed 500' from any portion of any dwelling located on the premises. Min. size water main for fire protection shall be 8", or 6" in an approved looped arrangement.
- Min. lot width is 60' at both the front lot line and building line. Lots on curves and cul-de-sacs may reduce the minimum standard by 40% at the front lot line only.
- Street light pole and fixtures will be decorative type. A developer's agreement for maintenance and operation of the light will be executed. Details will be provided in the Final Development Plans.
- A landscape and irrigation plan is required to be submitted with the Final Development Plan. The irrigation system will be designed with "Pop-Up" type heads only, rain sensor devices will be required. No Risers Allowed.
- All utility boxes must be fully screened from view from right-of-way (when permitted by the utility provider.) Landscaping will be utilized where applicable.
- Min. of 3 canopy type trees at 3" DBH will be provided per lot.
- Street trees (canopy type), 30' on center will be placed on each lot at the front lot line within a dedicated easement. Easement is to be a minimum 5' in width and placed behind the front utility easement. Street trees will be a min. of 2.5" caliper at time of planting.
- All common areas including, recreation parks, buffers and landscape tracts will be owned and maintained by the HOA.
- Street signage, stop bars, speed limit signs, road striping will be provided in the Final Development Plan.
- Details of finishes, colors of all walls within the project will be provided in the Final Development Plan.
- The Final Development Plan will require a Plat document at the time of submittal.
- The ownership and maintenance of the buffer PVC fencing shall be by the HOA.
- The property is in FEMA Zones X and AE. According to FEMA FIRM maps, the base flood elevation for the property is 66.9 ft NAVD88.
- Roadway connections will require an Orange County permit and will have to meet Orange County requirements.



TYPICAL LOT LAYOUT



TYPICAL ROADWAY SECTION

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY DEVELOPMENT PLAN
3	BOUNDARY & TOPOGRAPHICAL SURVEY
LANDSCAPE/IRRIGATION/HARDSCAPE PLANS	
C-100	COVER SHEET
K-100	MASTER KEY PLAN
T-100	TREE MITIGATION PLAN
L-100 - L-102	LANDSCAPE PLANS/DETAILS
L-100 - L-102	IRRIGATION PLANS/DETAILS
H-100 - H-102	HARDSCAPE PLANS/ELEVATIONS

DEVELOPER

JEL Land Development, LLC
2649 Stanmore Court
Orlando, FL 32817
407-808-1244

AGENT

Thomas R. Sullivan
c/o Gray Robinson, PA
301 E. Pine Street
Orlando, FL 32801
407-244-5664

SURVEYOR

PEC
Surveying and Mapping, LLC
2100 Alafaya Trail, Suite 203
Orlando, FL 32765
407-542-4967

GEOTECHNICAL

GEO Engineering & Sciences
250 S. Ronald Reagan Blvd., Suite 114
Longwood, FL 32750
407-379-9510

ENGINEER

GTC Engineering Corporation
98 S. Semoran Boulevard
Orlando, FL 32807
407-380-0402

ENVIRONMENTAL

Bio-Tech Consulting Inc.
3025 East South Street
Orlando, FL 32803
407-894-5989

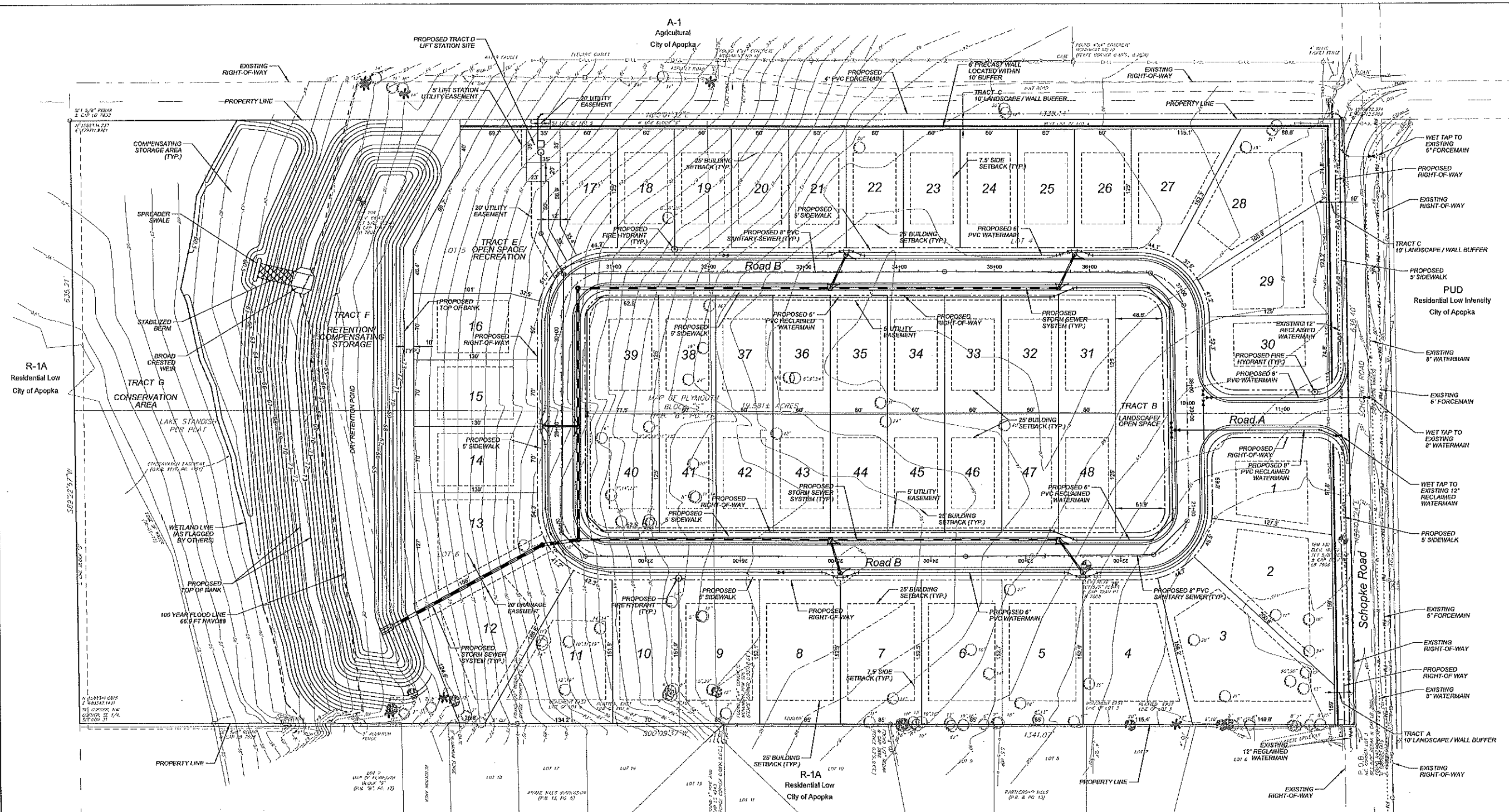
LANDSCAPING

Borrelli + Partners
720 Vassar Street
Orlando, FL 32804
407-418-1338

GTC Engineering Corporation

Certificate of Authorization
Number 9733
Claude L. Castagnol, P.E.
P.E. Number 3340

98 South Semoran Blvd, Orlando, FL 32807
407-380-0402



Lot Area Table

Lot Number	Gross Area (SF)	Gross Area (AC)	Lot Width (FT)	Lot Width at R/W (FT)
1	11584	0.27	Varies	59.8
2	14195	0.33	Varies	45.5
3	19562	0.45	Varies	44.7
4	14885	0.34	Varies	79
5	12967	0.3	85	85
6	12950	0.3	85	85
7	12933	0.3	85	85
8	12916	0.3	85	85
9	12899	0.3	85	85
10	10610	0.24	70	70
11	13826	0.32	Varies	42.3
12	15766	0.36	Varies	41.2
13	12185	0.28	Varies	54.3
14	9100	0.21	70	70
15	9100	0.21	70	70
16	9006	0.21	Varies	62

Lot Area Table

Lot Number	Gross Area (SF)	Gross Area (AC)	Lot Width (FT)	Lot Width at R/W (FT)
17	7459	0.17	Varies	44.2
18	7500	0.17	60	60
19	7500	0.17	60	60
20	7500	0.17	60	60
21	7500	0.17	60	60
22	7500	0.17	60	60
23	7500	0.17	60	60
24	7500	0.17	60	60
25	7500	0.17	60	60
26	7500	0.17	60	60
27	10287	0.24	Varies	44.1
28	14656	0.34	Varies	37.6
29	10775	0.25	Varies	41.2
30	9650	0.22	Varies	52.3
31	7500	0.17	60	60
32	7500	0.17	60	60

Lot Area Table

Lot Number	Gross Area (SF)	Gross Area (AC)	Lot Width (FT)	Lot Width at R/W (FT)
33	7500	0.17	60	60
34	7500	0.17	60	60
35	7500	0.17	60	60
36	7500	0.17	60	60
37	7500	0.17	60	60
38	7500	0.17	60	60
39	9553	0.22	77.5	52.5
40	9553	0.22	77.5	52.5
41	7500	0.17	60	60
42	7500	0.17	60	60
43	7500	0.17	60	60
44	7500	0.17	60	60
45	7500	0.17	60	60
46	7500	0.17	60	60
47	7500	0.17	60	60
48	7500	0.17	60	60

Open Space Requirements (See Sec. 2.02.18(D)(19 and 20) of Apopka Code)

Total Land Area: 19.8 acres
Open Space Required: 5.67 acres (29 percent, lots less than 70 feet)

Category A - counts as 100 percent toward open space requirements.
Category B - counts as 100 percent toward open space requirements.
Category C - counts as 100 percent toward open space requirements.
Category C cannot be more than 50 percent of open space requirement.

Target	Category A (acres)	Category B (acres)	Category C (acres)
A	0.07	0.05	0.03
B	0.28	0.00	0.00
C	0.27	0.00	0.00
E	0.45	0.00	0.00
F	0.00	3.91	0.00
G	0.00	0.00	2.38
Allowable	1.07	3.91	2.38

Open Space Provided (Allowable): 8.37 acres

Recreation Requirements (See Sec. 2.02.18(E)(5)(b) of Apopka Code)

Active and passive - Minimum 3.6 acres per 1000 projected population.
Population is calculated based on 2.6 persons per single family unit.

Category	Persons/Unit	Units	Persons
Single family	2.6	48	124.8
Total Persons			124.8

Recreation Required: 0.45 acres
Recreation Provided: 0.45 acres

Proposed Recreational Facilities (per Sec. 2.02.18(E)(5)(b))
Group C: Picnic areas
Group D: Playgrounds, tot lots

TRACT TABLE

Lot	Pad	Number	Percentage
Width	Width	of Lots	of Total
60 ft	45 ft	32	66.7%
70 ft	55 ft	10	20.8%
85 ft	70 ft	6	12.5%

TRACT TABLE

Tract	Ownership	Maintenance	Use	Acres
A	HOA	HOA	Landscape/Wall Buffer	0.07 Ac.
B	HOA	HOA	Landscape/Open Space	0.29 Ac.
C	HOA	HOA	Landscape/Wall Buffer	0.27 Ac.
D	City of Apopka	City of Apopka	LIR Station	0.06 Ac.
E	HOA	HOA	Recreation/Open Space	0.45 Ac.
F	HOA	HOA	Retention/Compensating Storage	3.01 Ac.
G	HOA	HOA	Conservation	2.36 Ac.

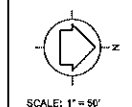
BOUNDARY & TOPOGRAPHY SURVEY PROVIDED BY
PEC SURVEYING AND MAPPING, LLC (407) 542-4967

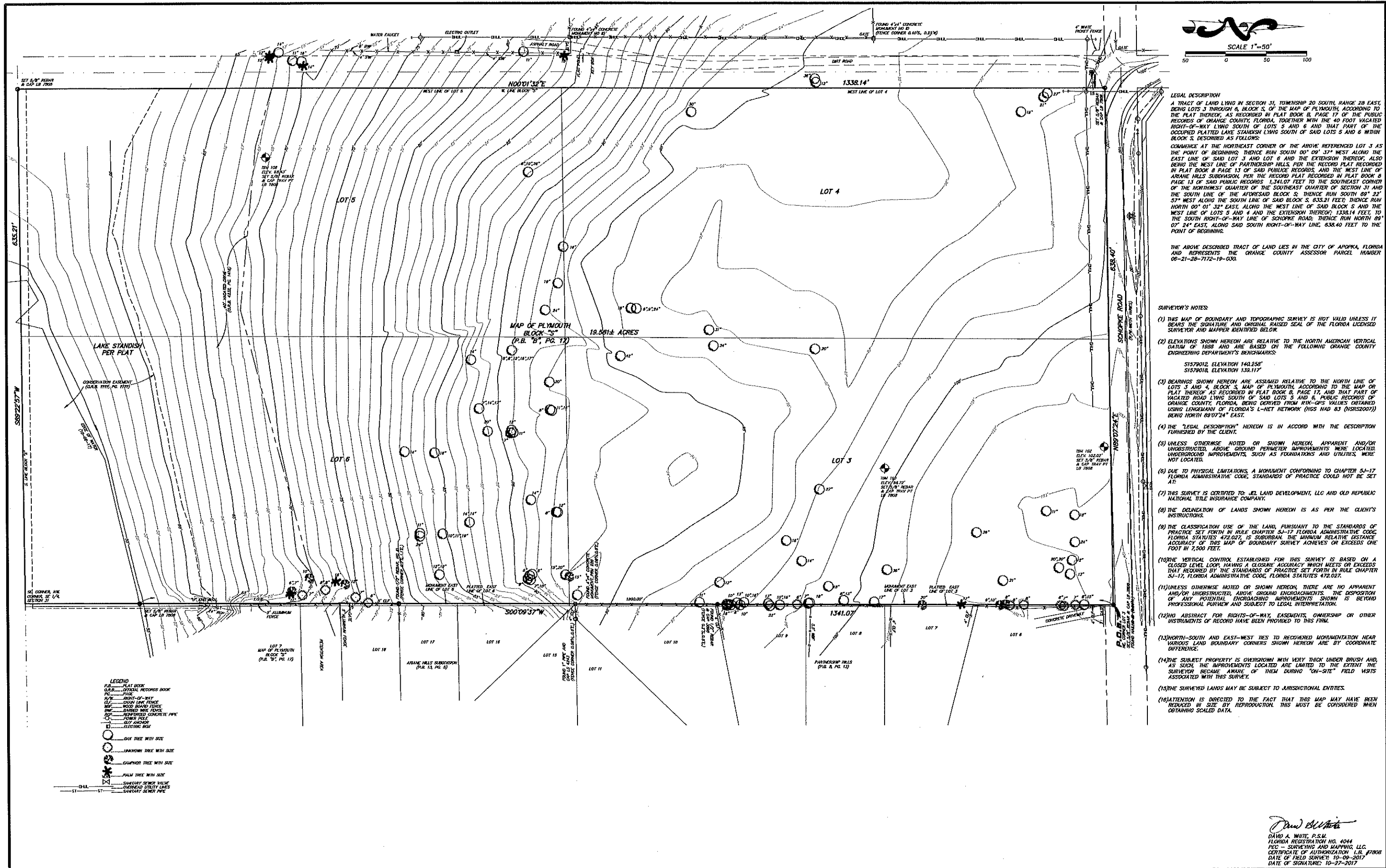
SITE DATA

Total Land Area: 19.8 Ac.
Section/Township/Range: 31/20S/28E
Parcel ID: 06-21-28-7172-19-030
Future Land Use: Residential Low
Current Zoning: R-1A
Proposed Zoning: PUD
Proposed Use: Single Family
Total Units: 48 Units
Net Buildable Area: 17.24 Ac.
Proposed Density: 2.78 Units/Ac.
Required Open Space / Recreation: 5.87 Ac./0.45 Ac.
Maximum Building Height: 35' (2-story)
School Age Population: 20 (48 x 0.404)
Minimum Lot Size: 60' X 125' (7,500 Sq. Ft.)
Minimum Building Area: 1,700 Sq. Ft.
Open Space Calculations:
Retention Area: 3.01 Ac. (2.94 Ac. Allowable)
Active Recreation: 0.45 Ac.
Landscape: 0.62 Ac.
Conservation Area: 2.36 Ac.
Total Open Space Provided (Allowable): 6.37 Ac.

GENERAL LEGEND

- W - Existing Watermain
- NR - Existing Reclaimed Watermain
- AM - Existing Sanitary Forcemain
- Proposed Water with Fire Hydrant
- Proposed Reclaimed Watermain
- Proposed Sewer with Manhole
- Proposed Sanitary Forcemain
- Proposed Storm with Inlet
- Proposed 6" Precast Wall





SCALE 1"=50'

LEGAL DESCRIPTION
 A TRACT OF LAND LYING IN SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST, BEING LOTS 3 THROUGH 6, BLOCK 5, OF THE MAP OF PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 17 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, TOGETHER WITH THE 40 FOOT VACATED RIGHT-OF-WAY LYING SOUTH OF LOTS 5 AND 6 AND THAT PART OF THE OCCUPIED PLATED LAKE STANDISH LYING SOUTH OF SAID LOTS 5 AND 6 WITHIN BLOCK 5, DESCRIBED AS FOLLOWS:
 COMMENCE AT THE NORTHEAST CORNER OF THE ABOVE REFERENCED LOT 3 AS THE POINT OF BEGINNING; THENCE RUN SOUTH 00° 09' 37" WEST ALONG THE EAST LINE OF SAID LOT 3 AND LOT 6 AND THE EXTENSION THEREOF, ALSO BEING THE WEST LINE OF PARTNERSHIP HILLS, PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS, AND THE WEST LINE OF ARAHNE HILLS SUBDIVISION, PER THE RECORD PLAT RECORDED IN PLAT BOOK 8 PAGE 13 OF SAID PUBLIC RECORDS, 1,341.07 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 31 AND THE SOUTH LINE OF THE AFORESAID BLOCK 5; THENCE RUN SOUTH 89° 22' 57" WEST ALONG THE SOUTH LINE OF SAID BLOCK 5, 635.21 FEET; THENCE RUN NORTH 00° 01' 32" EAST ALONG THE WEST LINE OF SAID BLOCK 5 AND THE WEST LINE OF LOTS 5 AND 4 AND THE EXTENSION THEREOF, 1,338.14 FEET, TO THE SOUTH RIGHT-OF-WAY LINE OF SCHORKE ROAD; THENCE RUN NORTH 89° 07' 24" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 638.40 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND LIES IN THE CITY OF APOPKA, FLORIDA AND REPRESENTS THE ORANGE COUNTY ASSESSOR PARCEL NUMBER 06-21-28-7172-19-030.

- SURVEYOR'S NOTES:**
- (1) THIS MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER IDENTIFIED BELOW.
 - (2) ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON THE FOLLOWING ORANGE COUNTY ENGINEERING DEPARTMENT'S BENCHMARKS:
 S1579012, ELEVATION 140.258'
 S1579010, ELEVATION 139.117'
 - (3) BEARINGS SHOWN HEREON ARE ASSUMED RELATIVE TO THE NORTH LINE OF LOTS 3 AND 4, BLOCK 5, MAP OF PLYMOUTH, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 17, AND THAT PART OF VACATED ROAD LYING SOUTH OF SAID LOTS 5 AND 6, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING DERIVED FROM RIK-G'S VALUES OBTAINED USING LENGEMANN OF FLORIDA'S L-HET NETWORK (NGS HAD 83 (NSRS2007)) BEING NORTH 89°07'24" EAST.
 - (4) THE "LEGAL DESCRIPTION" HEREON IS IN ACCORD WITH THE DESCRIPTION FURNISHED BY THE CLIENT.
 - (5) UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR UNOBSERVED, ABOVE GROUND PERIMETER IMPROVEMENTS WERE LOCATED. UNOBSERVED, ABOVE GROUND PERIMETER IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
 - (6) DUE TO PHYSICAL LIMITATIONS, A MONUMENT CONFORMING TO CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, STANDARDS OF PRACTICE COULD NOT BE SET AT:
 - (7) THIS SURVEY IS CERTIFIED TO JEL LAHO DEVELOPMENT, LLC AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
 - (8) THE DELINEATION OF LANDS SHOWN HEREON IS AS PER THE CLIENT'S INSTRUCTIONS.
 - (9) THE CLASSIFICATION USE OF THE LAND, PURSUANT TO THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, FLORIDA STATUTES 472.027, IS SUBURBAN. THE MINIMUM RELATIVE DISTANCE ACCURACY OF THIS MAP OF BOUNDARY SURVEY ACHIEVES OR EXCEEDS ONE FOOT IN 7,500 FEET.
 - (10) THE VERTICAL CONTROL ESTABLISHED FOR THIS SURVEY IS BASED ON A CLOSED LEVEL LOOP, HAVING A CLOSURE ACCURACY WHICH MEETS OR EXCEEDS THAT REQUIRED BY THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, FLORIDA STATUTES 472.027.
 - (11) UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSERVED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND PROFESSIONAL FURNISH AND SUBJECT TO LEGAL INTERPRETATION.
 - (12) NO ABSTRACT FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD HAVE BEEN PROVIDED TO THIS FIRM.
 - (13) NORTH-SOUTH AND EAST-WEST TIES TO RECORDED MONUMENTATION NEAR VARIOUS LAND BOUNDARY CORNERS SHOWN HEREON ARE BY COORDINATE DIFFERENCE.
 - (14) THE SUBJECT PROPERTY IS OVERGROWN WITH VERY THICK UNDER BRUSH AND, AS SUCH, THE IMPROVEMENTS LOCATED ARE LIMITED TO THE EXTENT THE SURVEYOR BECAME AWARE OF THEM DURING "ON-SITE" FIELD VISITS ASSOCIATED WITH THIS SURVEY.
 - (15) THE SURVEYED LANDS MAY BE SUBJECT TO JURISDICTIONAL ENTITIES.
 - (16) ATTENTION IS DIRECTED TO THE FACT THAT THIS MAP MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

- LEGEND**
- PLAT BOOK
 - OFFICIAL RECORDS BOOK
 - PAGE
 - RIGHT-OF-WAY
 - CHAIN LINK FENCE
 - WOOD BOARD FENCE
 - BARBED WIRE FENCE
 - CONCRETE MONUMENT
 - POWER POLE
 - UTILITY ANCHOR
 - ELECTRIC BOX
 - OAK TREE WITH SIZE
 - SPANISH OAK WITH SIZE
 - CHAMPAGNE TREE WITH SIZE
 - PALM TREE WITH SIZE
 - STAIRWAY STORM WALK
 - OVERHEAD UTILITY LINES
 - SANITARY SEWER PIPE

DATE	BY	REVISIONS

PEC SURVEYING AND MAPPING, LLC
 CERTIFICATE OF AUTHORIZATION NUMBER LB 7808
 2100 Alafaya Trail, Suite 203 • Oviedo, Florida 32765 • 407-542-4967
 WWW.PECONLINE.COM dw@peconline.com

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY
 LOCATED IN
 SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST
 CITY OF APOPKA, ORANGE COUNTY, FLORIDA

DAVID A. WHITE, P.S.M. FL. REG. NO. 4044
 TRACY W. BIRCH, P.S.M. FL. REG. NO. 5579

JOB NO.: 17-109
 DATE: 10-09-17
 DRAWN BY: T.W.B.
 CHECKED BY: D.A.W.
 F.B.: 2128
 PAGE(S): 40-67

C:\17-109-JEL Schorke Road\17-109 Revised BNDY.dwg Oct 27, 2017 - 12:52pm

LANDSCAPE, IRRIGATION, AND HARDSCAPE PLANS

LEGACY HILLS

F.K.A.

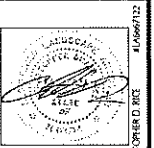
SCHOPKE ESTATES

CITY OF APOPKA, FLORIDA
FOR: LUCAS LAND DEVELOPMENT, LLC

SHEET INDEX

C-100	COVER SHEET	I-100	IRRIGATION PLAN
K-100	MASTER KEY PLAN	I-101	IRRIGATION PLAN
T-100	TREE MITIGATION PLAN	I-102	IRRIGATION DETAILS
L-100	LANDSCAPE PLAN	H-100	HARDSCAPE PLAN
L-101	LANDSCAPE PLAN	H-101	HARDSCAPE PLAN
L-102	LANDSCAPE DETAILS	H-102	HARDSCAPE ELEVATIONS

BORRELLI PARTNERS
ARCHITECTURE, PLANNING, LANDSCAPE, INTERIOR
720 VASSAR STREET
ORLANDO, FL 32804-4097-118-1338



SIGNATURE AND DATED SEAL

CONSULTANTS

LEGACY HILLS

COVER SHEET

DRAWING TITLE

PROJECT ADDRESS

CITY OF APOPKA, FLORIDA
OWNER NAME AND ADDRESS
LL DEVELOPMENT

REV.

DESCRIPTION

DATE

15-112

CONSTRUCTION DECLARANTS

SCALE

NO SCALE

FILE NAME

DRAWN BY

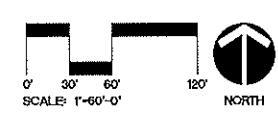
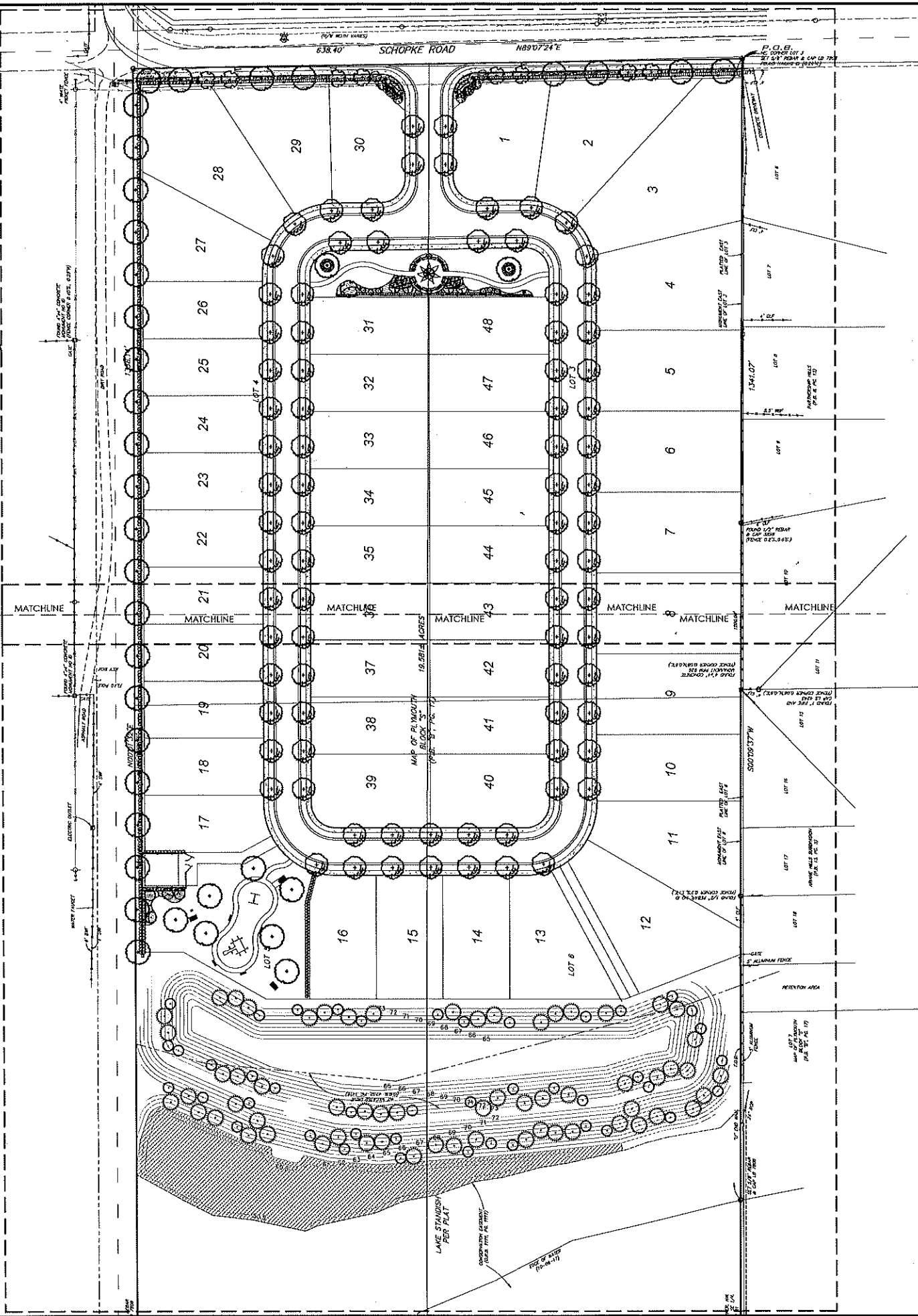
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DATE

C-100

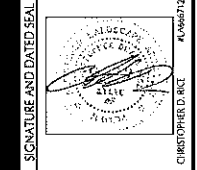
SEE SHEET L-100 FOR
LANDSCAPE PLAN
SEE SHEET I-100 FOR
IRRIGATION PLAN
SEE SHEET H-100 FOR
HARDSCAPE PLAN

SEE SHEET L-101 FOR
LANDSCAPE PLAN
SEE SHEET I-101 FOR
IRRIGATION PLAN
SEE SHEET H-101 FOR
HARDSCAPE PLAN



LEGACY HILLS

MASTER KEY PLAN



BORELLI PARTNERS
ARCHITECTURAL FIRM
730 WASSAR STREET
ORLANDO, FL 32804-4671
407-418-1338

PROJECT NO. 16-112
PHASE CONSTRUCTION DOCUMENTS
SCALE 1"=60'-0"
FILE NAME 16-112
DRAWN BY CR
CHECKED BY CR
DATE 01-26-18

PROJECT ADDRESS
CITY OF APOPKA, FLORIDA
OWNER NAME AND ADDRESS
TEL GOVERNMENT

REV. DESCRIPTION DATE

DRAWING TITLE
MASTER KEY PLAN

CONSULTANTS

SIGNATURE AND DATED SEAL

CR

CR

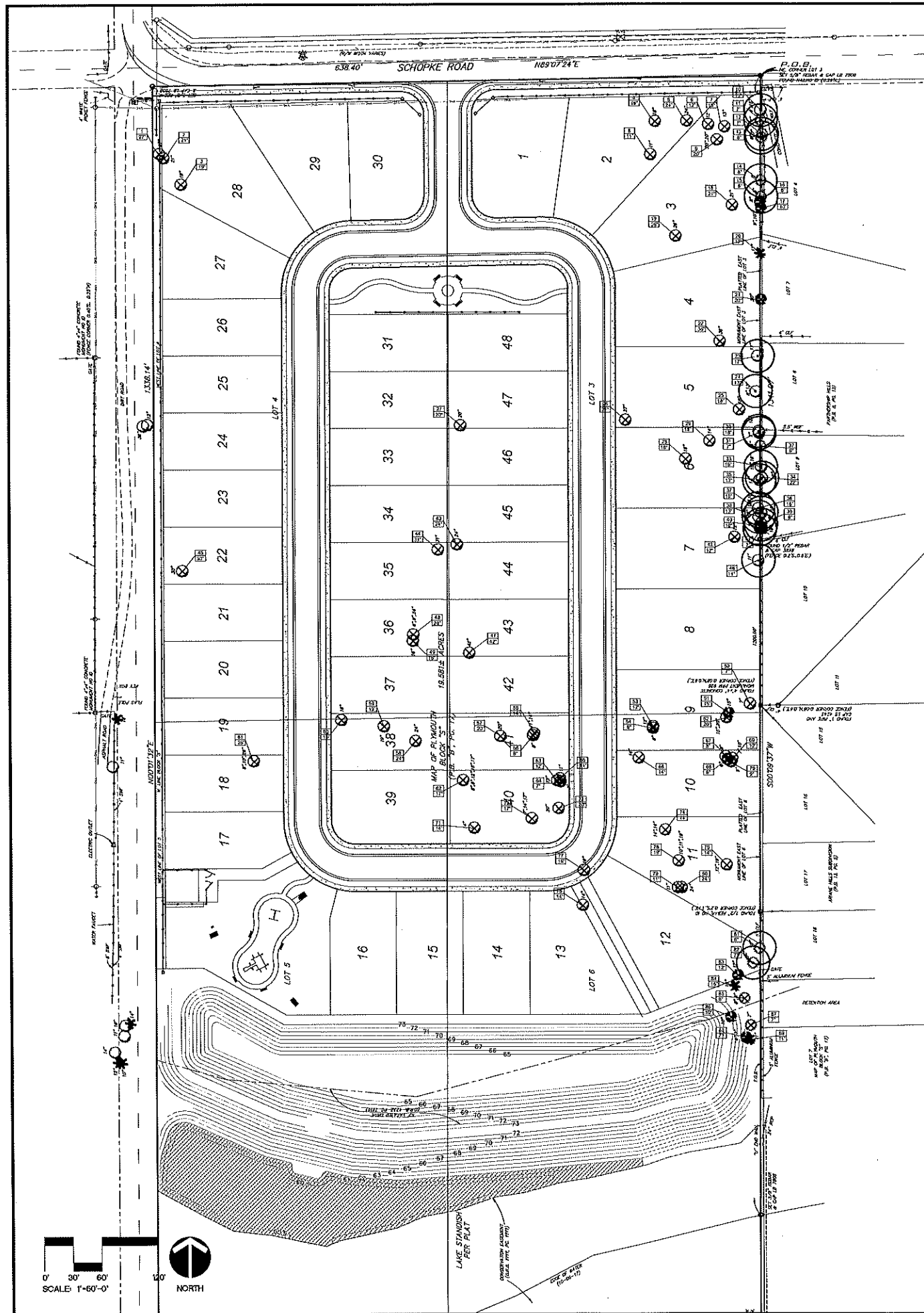
01-26-18

140000122

CHRYSTOPHER D. RICE

STATE OF FLORIDA

PROFESSIONAL ENGINEER



TREE MITIGATION CHART

#	TREE TYPE	SIZE	REMOVED INCHES	SAVED INCHES	REASON FOR REMOVAL
1	OAK	27"	27"		GRADING
2	OAK	21"	21"		GRADING
3	OAK	19"	19"		GRADING
4	OAK	18"	18"		GRADING
5	OAK	24"	24"		GRADING
6	OAK	12"	12"		GRADING
7	OAK	13"	13"		GRADING
8	OAK	11"	11"		GRADING
9	OAKS	20", 20"	40"		GRADING
10	OAKS	8", 15"		23"	
11	UNKNOWN	7"		7"	
12	UNKNOWN	7"		7"	
13	UNKNOWN	8"		8"	
14	UNKNOWN	6"		8"	
15	UNKNOWN	8"		8"	
16	CAMPHOR	8"			GRADING
17	CAMPHOR	9", 10"			GRADING
18	CAMPHOR	21"			GRADING
19	OAK	26"	26"		GRADING
20	PALM	17"	17"		GRADING
21	CAMPHOR	20"			GRADING
22	OAK	36"	36"		GRADING
23	OAK	17"		17"	
24	OAKS	8", 13"		21"	
25	OAK	18"	18"		GRADING
26	OAK	27"	27"		GRADING
27	OAK	20"	20"		GRADING
28	OAK	16"	16"		GRADING
29	OAK	14"	14"		GRADING
30	OAK	16"		18"	
31	OAK	7"		7"	
32	UNKNOWN	6"		6"	
33	OAKS	10", 16"		26"	
34	OAK	22"		22"	
35	OAK	13"		13"	
36	OAKS	10", 16"		26"	
37	OAK	10"		10"	
38	OAK	13"		13"	
39	OAK	8"		6"	
40	CAMPHOR	10"			GRADING
41	OAK	7"		7"	
42	OAK	12"	12"		GRADING
43	OAK	24"	24"		GRADING
44	OAK	31"	31"		GRADING
45	OAK	30"	30"		GRADING
46	OAK	11"		11"	
47	OAK	42"	42"		GRADING
48	OAKS	6", 9", 24"	39"		GRADING
49	OAK	16"	16"		GRADING
50	OAK	7"	7"		GRADING

#	TREE TYPE	SIZE	REMOVED INCHES	SAVED INCHES	REASON FOR REMOVAL			
51	CAMPHOR	15"			GRADING			
52	OAK	15", 20"	35"		GRADING			
53	OAK	12"	12"		GRADING			
54	OAK	8"	8"		GRADING			
55	OAKS	11", 14"	25"		GRADING			
56	OAK	8"	8"		GRADING			
57	OAK	20"	20"		GRADING			
58	OAK	24"	24"		GRADING			
59	OAK	19"	19"		GRADING			
60	OAK	16"	16"		GRADING			
61	OAKS	8", 10", 26"	44"		GRADING			
62	OAKS	8, 8, 12, 16, 17"	61"		GRADING			
63	OAK	12"	12"		GRADING			
64	OAK	7"	7"		GRADING			
65	OAK	11"	11"		GRADING			
66	OAK	14"	14"		GRADING			
67	OAK	8"	8"		GRADING			
68	OAK	6"	6"		GRADING			
69	OAKS	10", 7"	17"		GRADING			
70	OAK	8"	9"		GRADING			
71	OAK	14"	14"		GRADING			
72	OAKS	7", 14", 17"	38"		GRADING			
73	OAK	20"	20"		GRADING			
74	OAKS	14", 14"	28"		GRADING			
75	OAKS	12", 18"	31"		GRADING			
76	OAKS	10", 11", 19"	40"		GRADING			
77	OAK	16"	16"		GRADING			
78	OAK	14"	14"		GRADING			
79	OAK	11"	11"		GRADING			
80	OAK	24"	24"		GRADING			
81	UNKNOWN	6"		6"				
82	UNKNOWN	7"		7"				
83	CAMPHOR	12"			GRADING			
84	PALM	16"	16"		GRADING			
85	UNKNOWN	8", 8"	16"		GRADING			
86	CAMPHOR	10"			GRADING			
87	UNKNOWN	7"	7"		GRADING			
88	CAMPHOR	7", 6"			GRADING			
89	PALM	11"	11"		GRADING			
	TOTAL ON SITE	1599"	TOTAL REMOVED	1202"	TOTAL SAVED	279"	TOTAL SPECIMEN TREES REMOVED	13

REPLACEMENT TREES

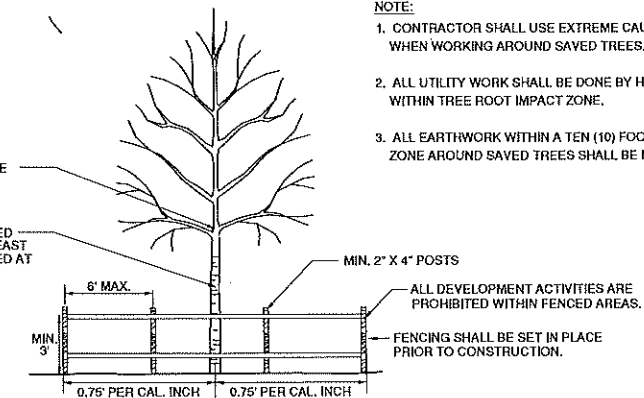
REPLACEMENT PROVIDED	QUANTITY	DBH SIZE	TOTAL INCHES
*HIGHRISE OAK	84	4"	336"
*LIVE OAK	38	4"	152"
*SOUTHERN MAGNOLIA	9	3"	27"
*BALD CYPRESS	43	3"	129"
*BALD CYPRESS	62	4"	248"
LOT SHADE TREES	48 LOTS x 2 = 96	3"	288"
TOTAL PLANTED	332	N/A	1180"

NOTE:

- CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING AROUND SAVED TREES.
- ALL UTILITY WORK SHALL BE DONE BY HAND WITHIN TREE ROOT IMPACT ZONE.
- ALL EARTHWORK WITHIN A TEN (10) FOOT RADIUS ZONE AROUND SAVED TREES SHALL BE NON-COMPACTED.

EXISTING TREE TO BE RETAINED.

CALIPER IS MEASURED AT DIAMETER AT BREAST HEIGHT AND MEASURED AT 4.5' ABOVE GRADE.



NOTES: FENCING SHALL BE AT LEAST 3' ABOVE GROUND AND MIN. OF 3' BELOW GRADE. THE MAXIMUM REQUIRED UNDISTURBED AREA SHALL NOT EXCEED 24' FROM CENTER OF TREE.

TREE PROTECTION BARRIER DETAIL

SCALE: N/A

TREE SUMMARY

TOTAL INCHES ON-SITE: 1,599"
 TOTAL NUMBER OF SPECIMEN TREES: 13
 TOTAL INCHES REMOVED: 1,202"
 TOTAL INCHES RETAINED: 279"
 TOTAL SPECIMEN INCHES RETAINED: 0"
 TOTAL INCHES REQUIRED: 1,202"
 TOTAL INCHES REPLACED: 1,180"
 TOTAL INCHES POST DEVELOPMENT: 1,459"
 SITE CLEARING AREA IN SQ. FT. AND ACRES:

LEGACY HILLS

TREE MITIGATION PLAN

BORBELL PARTNERS
 ARCHITECTURE PLANNING LANDSCAPE INTERIOR
 730 VASSAR STREET
 ORLANDO, FL 32804 (407) 418-1338
 AUTHORITY: ARCHITECT (PROFESSIONAL REGISTRATION NUMBER: 22,366711)
 PLANNING (PROFESSIONAL REGISTRATION NUMBER: 22,366712)
 LANDSCAPE ARCHITECTURE (PROFESSIONAL REGISTRATION NUMBER: 22,366713)

STATE OF FLORIDA
 PROFESSIONAL SEAL
 CHRISTOPHER D. BICE
 #16669122

SIGNATURE AND DATED SEAL

CONSULTANTS

DRAWING TITLE

PROJECT ADDRESS

CITY OF APPOKA, FLORIDA
 OWNER NAME AND ADDRESS
 (IF APPLICABLE)

REV. DESCRIPTION DATE

PROJECT NO. 16-112

PHASE CONSTRUCTION DOCUMENTS

SCALE 1"=40'-0"

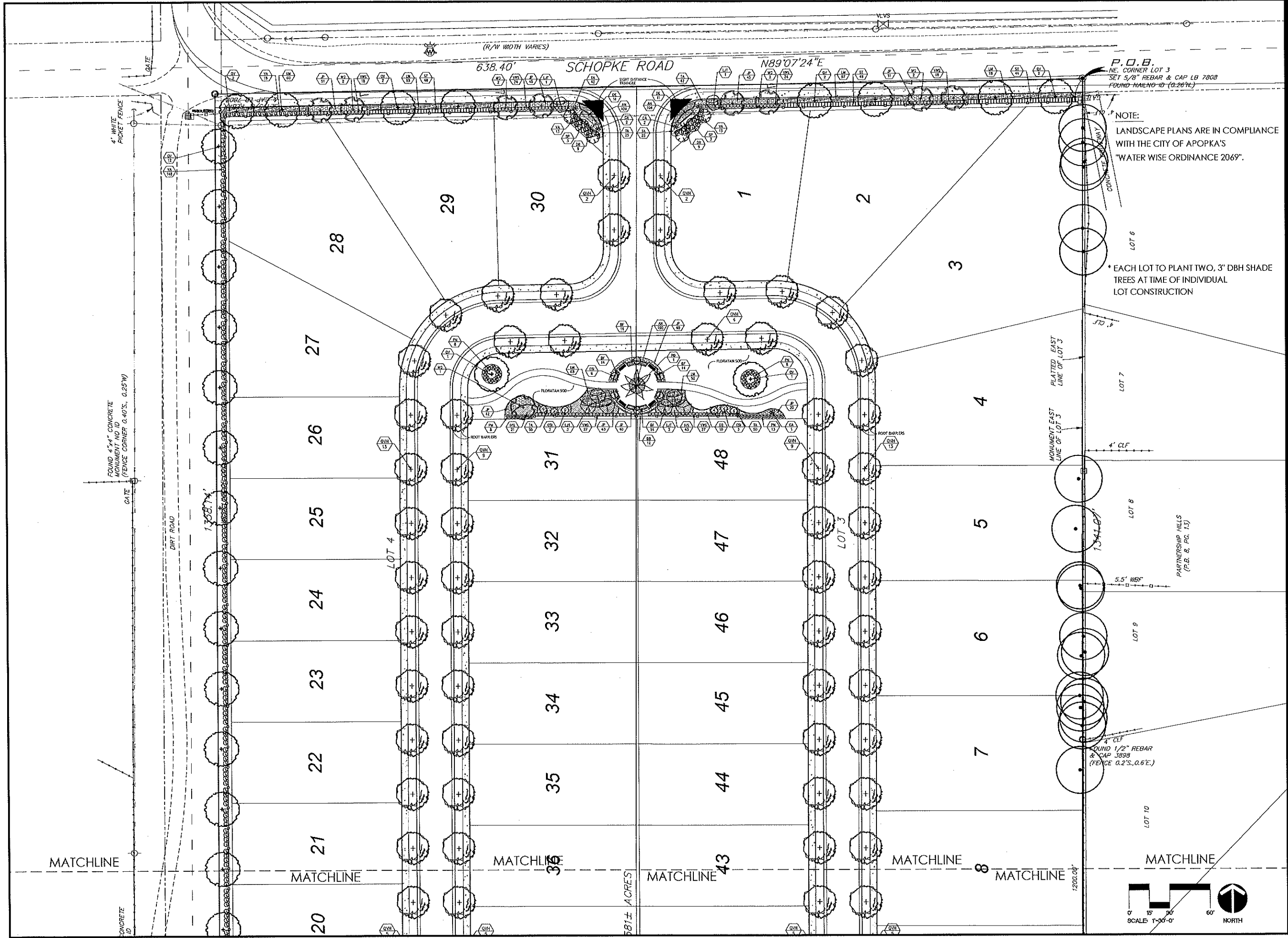
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DRAWN BY CDR

CHECKED BY CDR

DATE 01-24-18

T-100



SIGNATURE AND DATED SEAL

CHRISTOPHER D. REIL

CONSULTANTS

DRAWING TITLE

LANDSCAPE PLAN

PROJECT NO. 16-112

PHASE CONSTRUCTION/EXHAUSTERS

SCALE AS NOTED

FILE NAME 16-112

DRAWN BY CR

CHECKED BY CR

DATE 01-26-16

REV. DESCRIPTION DATE PROJECT ADDRESS

CITY OF APOPKA, FLORIDA

OWNER NAME AND ADDRESS

RE DEVELOPMENT

12000.00'

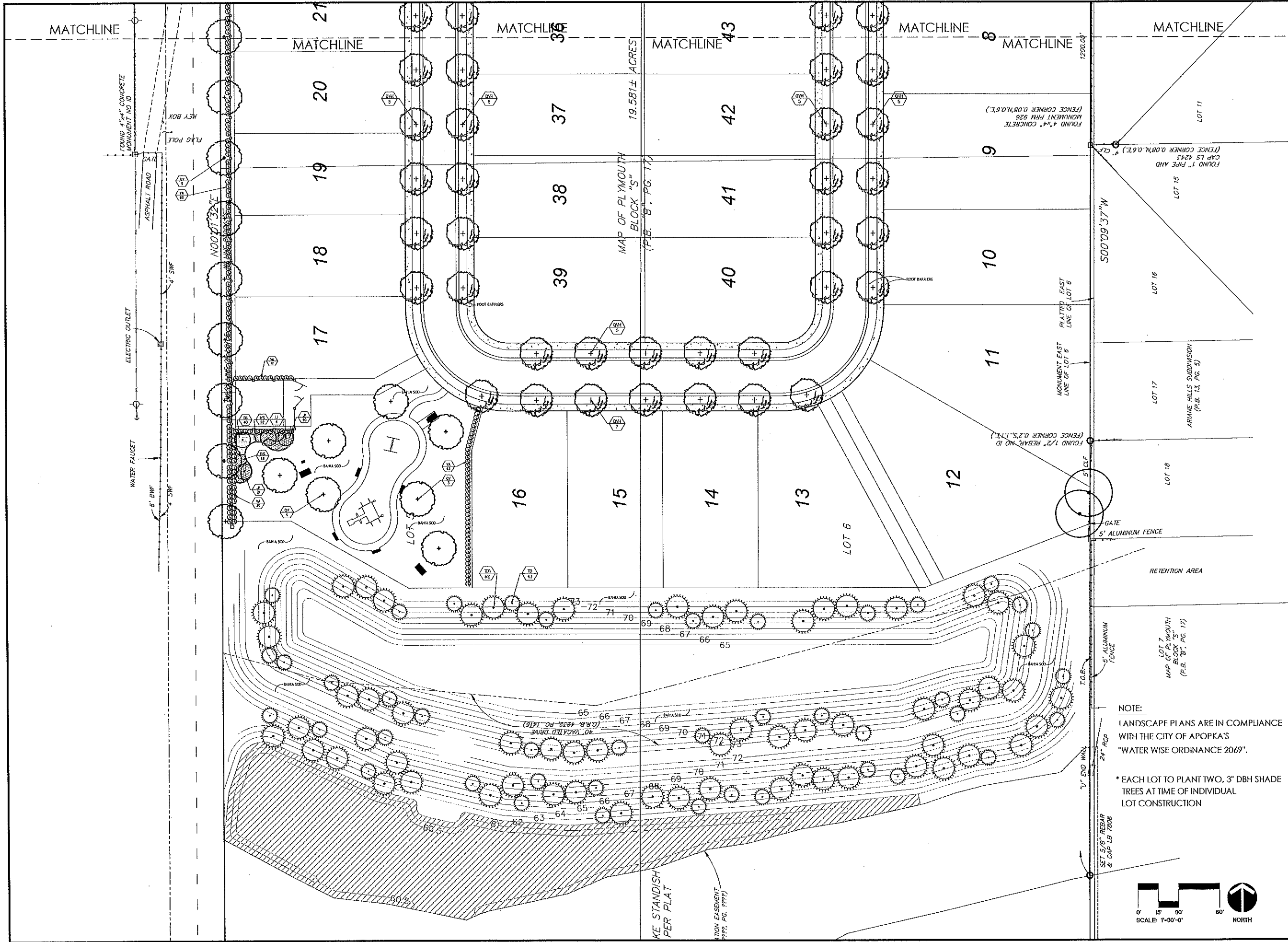
0' 15' 30' 60'

SCALE 1"=30'-0"

NORTH



LEGACY HILLS



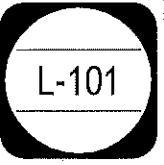
LEGACY HILLS

PROJECT NO. 16112	REV. 1	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	CONSULTANTS	SIGNATURE AND DATED SEAL
PHASE CONSTRUCTION DOCUMENTS							
SCALE AS NOTED							
TITLE NAME							
DRAWN BY							
CHECKED BY							
DATE							

CITY OF APOPKA, FLORIDA
OWNER NAME AND ADDRESS
RE DEVELOPMENT

LANDSCAPE PLAN

BORELL PARTNERS
ARCHITECTURAL, PLANNING, LANDSCAPE, INTERIORS
730 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338
REGISTERED PROFESSIONAL ARCHITECT, PLANNING, LANDSCAPE ARCHITECT, INTERIOR DESIGNER
FL 00000000, FL 00000000, FL 00000000, FL 00000000, FL 00000000, FL 00000000, FL 00000000, FL 00000000
REGISTERED PROFESSIONAL ARCHITECT, PLANNING, LANDSCAPE ARCHITECT, INTERIOR DESIGNER
FL 00000000, FL 00000000, FL 00000000, FL 00000000, FL 00000000, FL 00000000, FL 00000000, FL 00000000



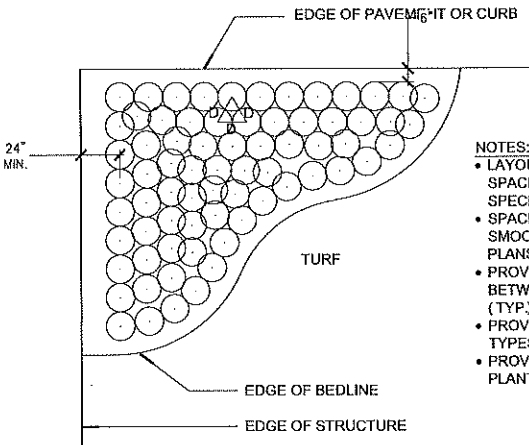
L-101

LANDSCAPE PLANTING NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES.
2. ALL PLANTS SHALL MEET OR EXCEED THE REQUIREMENTS FOR FLORIDA NO. 1 QUALITY, AS GRADED IN THE MOST CURRENT EDITION OF FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, PUBLISHED BY THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
3. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING, AND AFTER INSTALLATION.
4. ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A FULL, DENSE CROWN.
5. ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS.
6. ALL PLANTING AREAS SHALL HAVE MULCH A MINIMUM OF 3" IN DEPTH. CYPRESS MULCH SHALL NOT BE USED.
7. ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3" TOPSOIL.
8. ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA.
9. ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.

LANDSCAPE CONTRACTOR NOTES:

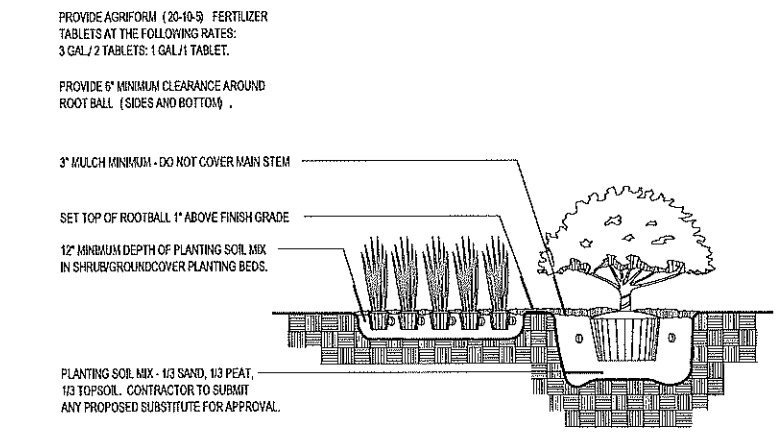
1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB.
2. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION, ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANTITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.
5. THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED DURING THE WORK.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE OF HIS WORK.



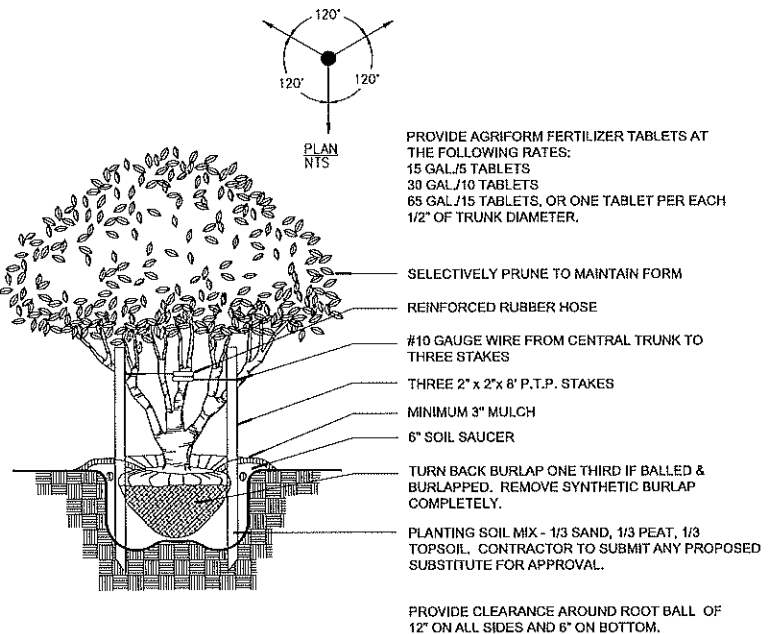
NOTES:

- LAYOUT PLANTS IN A TRIANGULAR PATTERN AS SHOWN, SPACED EQUALLY FROM EACH OTHER (AT SPACING SPECIFIED IN THE PLANT LIST) AND IN STRAIGHT ROWS.
- SPACING MAY BE ADJUSTED SLIGHTLY TO CREATE SMOOTH FLOWING BEDLINES AS SHOWN ON LANDSCAPE PLANS.
- PROVIDE 6" - 12" UNIFORM CLEARANCE (MULCH STRIP) BETWEEN PLANT FOLIAGE AND EDGE OF BEDLINE (TYP).
- PROVIDE 12"-18" SPACING BETWEEN DIFFERENT PLANT TYPES.
- PROVIDE 24" O.C. MINIMUM BETWEEN FIRST ROW OF PLANT MATERIAL AND ANY STRUCTURE.

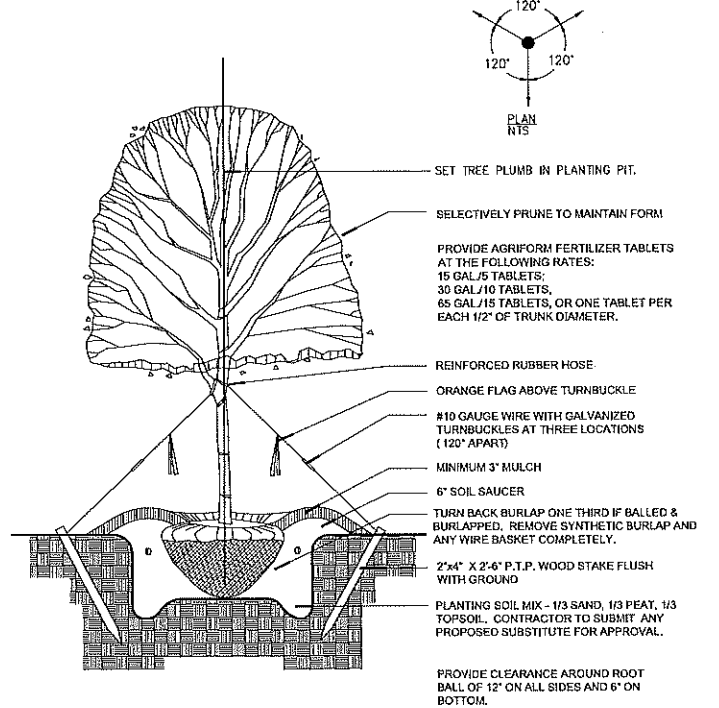
SHRUB/GROUNDCOVER SPACING DETAIL
NOT TO SCALE



SHRUB AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



MULTI-TRUNK TREE PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

LANDSCAPE PLANT LIST					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	REMARKS
TREES					
CSI	12	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	400' HT. 2010'HT./ FULL TO GROUND / SPECIMEN FORM	SPACE AS SHOWN GUY
LI	4	LAGERSTROEMIA INDICA 'TUSCARORA'	RED CREEP MYRTLE	10'-12' HT., 4'-5' SPRD., 2" DBH.; MULTI-TRUNKED	SPACE AS SHOWN GUY
LJT	8	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE	8' X 6', MULTI-TRUNK, SPECIMEN FORM	SPACE AS SHOWN GUY
MG	9	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'	SOUTHERN MAGNOLIA	10'-12' HT. X 4'-5' SPRD; 3" DBH / FULL / SPECIMEN FORM / 45 GAL. CONT.	SPACE AS SHOWN GUY
PD	1	PHENIX DACTYLIFERA 'MEDJOL'	MEDJOL DATE PALM	12' CT. STRAIGHT TRUNK, SPECIMEN FORM	SPACE AS SHOWN GUY
QV	36	QUERCUS VIRGINIANA	LIVE OAK	12'-14" HT X 6'-7" SPR., 4" DBH / SPECIMEN FORM	SPACE AS SHOWN GUY
QWH	84	QUERCUS VIRGINIANA 'HIGHRISE'	LIVE OAK	12'-14" HT X 4'-5" SPR., 4" DBH	SPACE AS SHOWN GUY
SP	6	SABAL PALMETTO	CABBAGE PALM	4012' CT., 2015'CT.; STRAIGHT TRUNK; SPECIMEN FORM	SPACE AS SHOWN GUY
TD	43	TAXODIUM DISTICHUM	BALD CYPRESS	10'-12' HT.; 4'-6" SPRD.; 3" DBH	SPACE AS SHOWN GUY
TD1	62	TAXODIUM DISTICHUM	BALD CYPRESS	14'-16" HT.; 6'-8" SPRD.; 4" DBH	SPACE AS SHOWN GUY
SHRUBS					
CA	5	CRinum ASIATICUM	CRIMUM LILY	30" HT. X 36" SPRD. / FULL / 15G	AS SHOWN
DE	22	DURANTA ERECTA 'GOLD MOUND'	GOLD MOUND DURANTA	15" HT. X 15" SPRD. / FULL / 3G	24" O.C.
IYS	104	ILEX VOMITORIA 'SCHILLINGS'	DWARF SCHILLINGS HOLLY	15" HT. X 15" SPRD. / FULL / 3G	24" O.C.
PH	21	PODOPCARPUS MACROPHYLLA 'MARK'	JAPANESE YEW	42" HT. X 24" SPRD. / FULL / 7G	AS SHOWN
PN	16	PHYSCOTRIA NERVOSA	WILD COFFEE	36" HT. X 24" SPRD. / FULL / 7G	AS SHOWN
ST	140	SCHAEFFERA ARBORICOLA 'TRINETTE'	DWARF VARIEGATED SCHEFFLERA	24" HT. X 24" SPRD. / FULL / 3G	AS SHOWN
VA	371	VIBURNUM ODORATISSIMA 'AWABUKI'	MIRROR-LEAF VIBURNUM	30" HT. X 24" SPRD. / FULL / 3G	36" O.C.
VWS	138	VIBURNUM OBOVATUM 'MRS SCHILLERS DELIGHT'	DWARF WALKER'S VIBURNUM	24" HT. X 24" SPRD., FULL, 3 GAL.	30" O.C.
GROUNDCOVERS					
AN	398	ANNUALS	SEASONAL FLOWERS	8" O.A. FULL; 4" POT	10" O.C.
BF	56	BULBINE FRUTESCENS 'HALLMARK'	TANGERINE BULBINE	15" O.A. / FULL / 1 GAL.	18" O.C.
DB	80	DIETES BICOLOR	YELLOW AFRICAN IRIS	18" HT. X 15" SPRD., FULL, 3 GAL.	24" O.C.
JP	435	JUNIPERUS CHINENSIS 'PARSON'	PARSON'S JUNIPER	12" HT. X 15" SPRD., FULL, 3 GAL.	24" O.C.
LM	451	LIRIOPE MUSCARI 'EMERALD GODDESS'	BORDER GRASS	12" HT. X 12" SPRD. / FULL / 1G	24" O.C.
TA	239	TRACHELOSPERMUM ASIATICUM	DWARF ASIAN JASMINE	4" HT. X 12" SPRD. / FULL / 1G	18" O.C.
GRASS					
	SEE PLANS	PASPALUM NOTATUM	ARGENTINE BAHIA GRASS	FREE OF PESTS AND DEBRIS	FIELD VERIFY QTY
	SEE PLANS	STENOTAPHRUM SECUNDATUM 'FLORATAM'	ST. AUGUSTINE GRASS	SOUND, FREE OF PESTS AND DISEASES	FIELD VERIFY QTY.
MULCH					
	SEE PLANS	PINE BARK MINI-NUGGETS	PINE BARK MINI-NUGGETS	FREE OF DIRT AND DEBRIS	FIELD VERIFY QTY

LEGACY HILLS

LANDSCAPE DETAILS AND PLANT LIST

BORRELLI & PARTNERS
ARCHITECTURAL PLANNING & INTERIOR DESIGN
730 W. ASHLAR STREET
ORLANDO, FL 32824-4207 (407) 241-1338
FLORIDA ARCHITECTS REG. NO. 11857
FLORIDA PLANNING REG. NO. 11857
FLORIDA INTERIOR DESIGN REG. NO. 11857

LANDSCAPE ARCHITECT
STATE OF FLORIDA
15118
#06660172
CHRIS OFFER TO SEAL

SIGNATURE AND DATED SEAL

CONSULTANTS

DRAWING TITLE

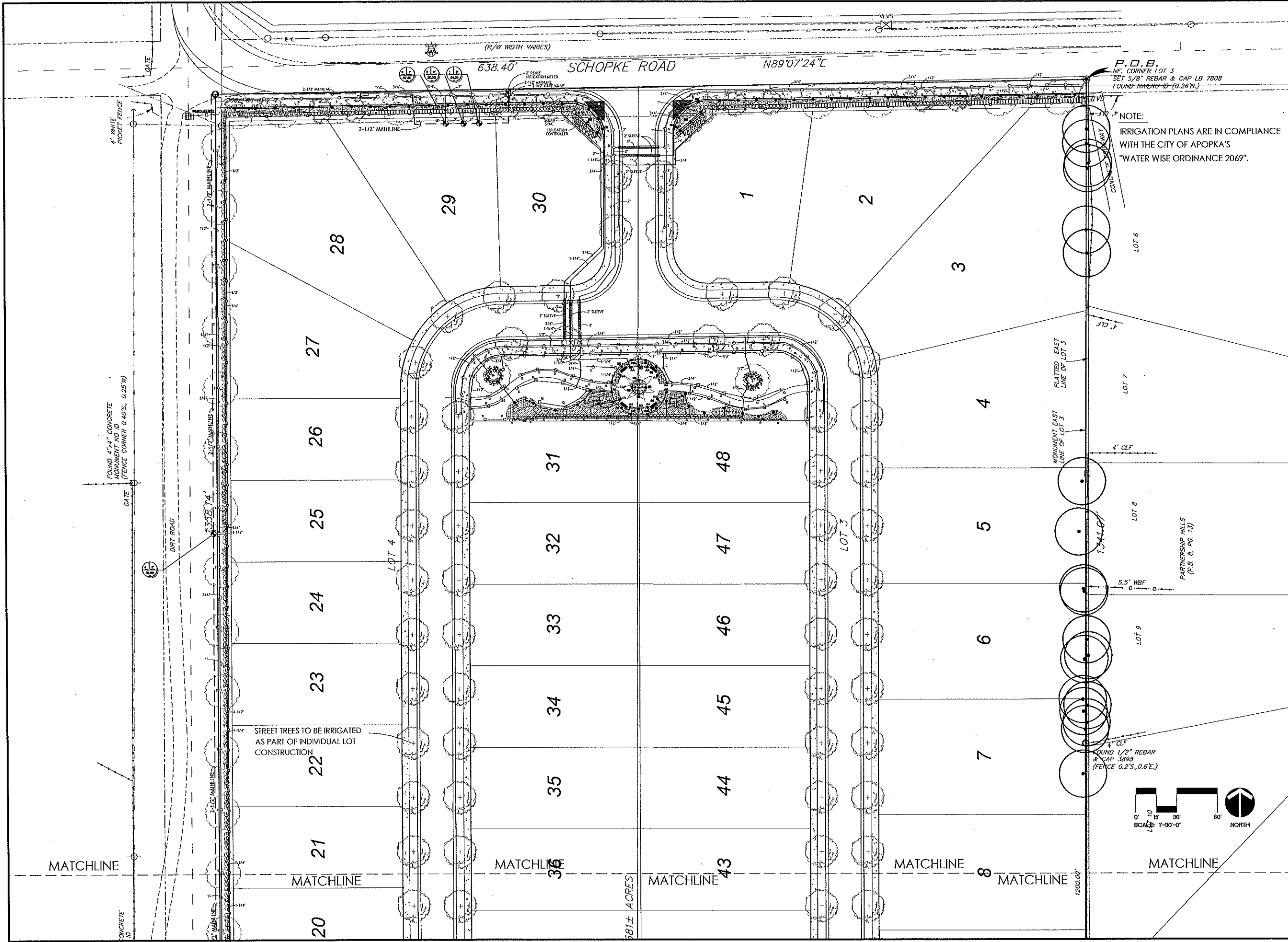
PROJECT ADDRESS

REV. DESCRIPTION DATE

PROJECT NO.

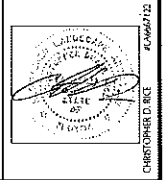
SCALE AS NOTED

L-102



NOTE:
IRRIGATION PLANS ARE IN COMPLIANCE WITH THE CITY OF AOPKA'S "WATER WISE ORDINANCE 2069".

BORRELLI PARTNERS
ARCHITECTURAL PLANNING LANDSCAPE INTERIOR
730 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338
WWW.BORRELLIPARTNERS.COM

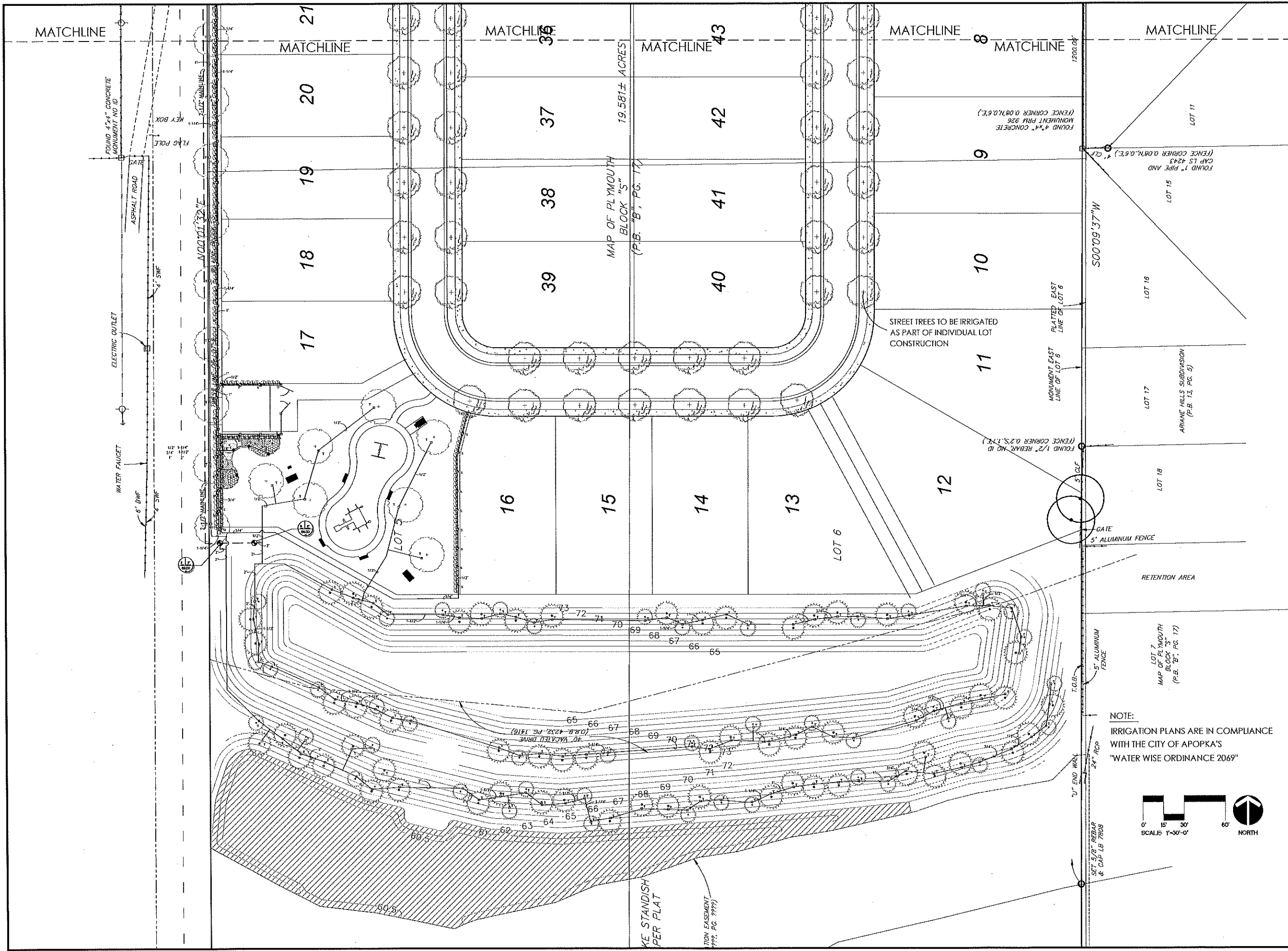


LEGACY HILLS

IRRIGATION PLAN

PROJECT NO.	16-112	REV.	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	CONSULTANTS	SIGNATURE AND DATED SEAL
PHASE	CONSTRUCTION DOCUMENTS	SCALE	AS NOTED	16-112	CITY OF AOPKA, FLORIDA	IRRIGATION PLAN		
FILE NAME		DRAWN BY			OWNER NAME AND ADDRESS			
CHECKED BY		DATE			PL DEVELOPMENT			

I-100



BORBELL PARTNERS
 ARCHITECTURAL, ENGINEERING, SURVEYING
 710 VASSAR STREET
 ORLANDO, FL 32804 (407) 18-1338
 LICENSE NO. 15501
 STATE OF FLORIDA

CHRISTOPHER D. BICE
 LICENSE NO. 15501
 STATE OF FLORIDA

LEGACY HILLS

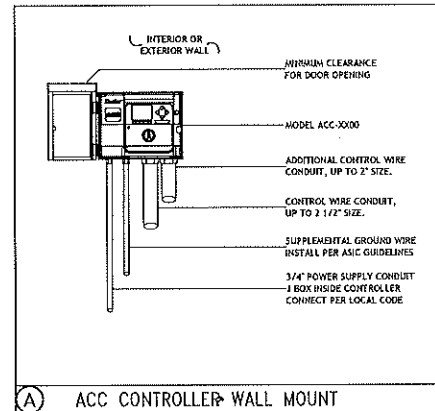
IRRIGATION PLAN

PROJECT NO.	16-112
PHASE	CONSTRUCTION DOCUMENTS
SCALE	AS NOTED
FILE NAME	16-112
DRAWN BY	CR
CHECKED BY	CR
DATE	03-26-18

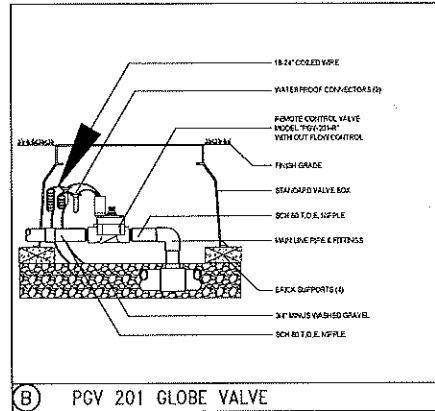
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DRAWING TITLE	IRRIGATION PLAN
CONSULTANTS	
SIGNATURE AND DATED SEAL	

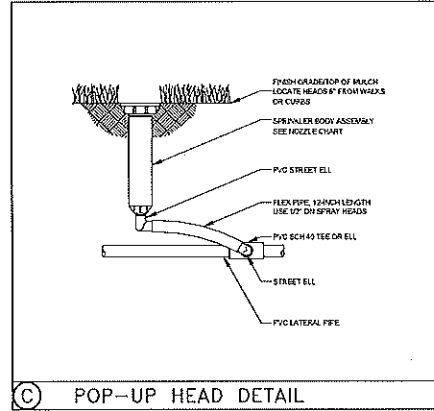
IRRIGATION DETAILS



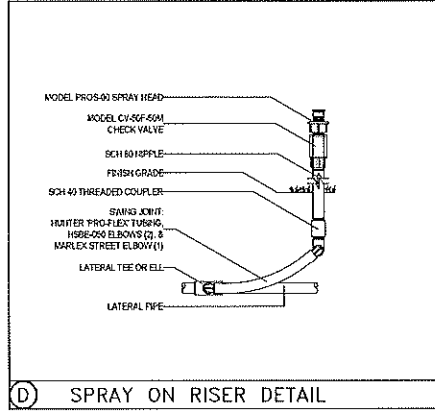
A ACC CONTROLLER WALL MOUNT



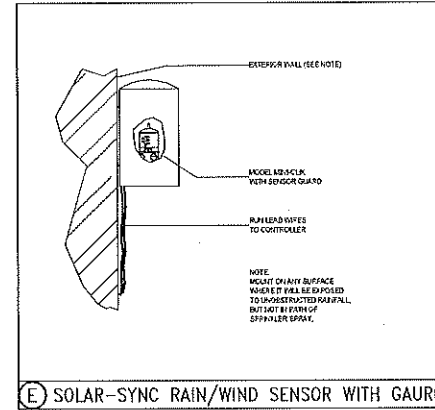
B PGV 201 GLOBE VALVE



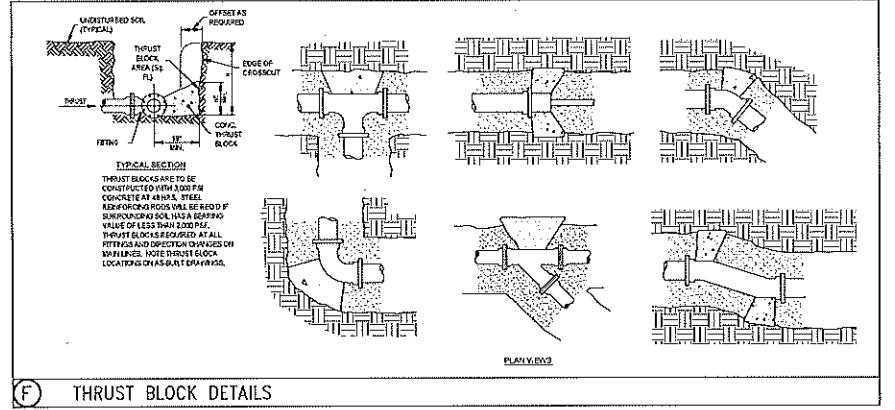
C POP-UP HEAD DETAIL



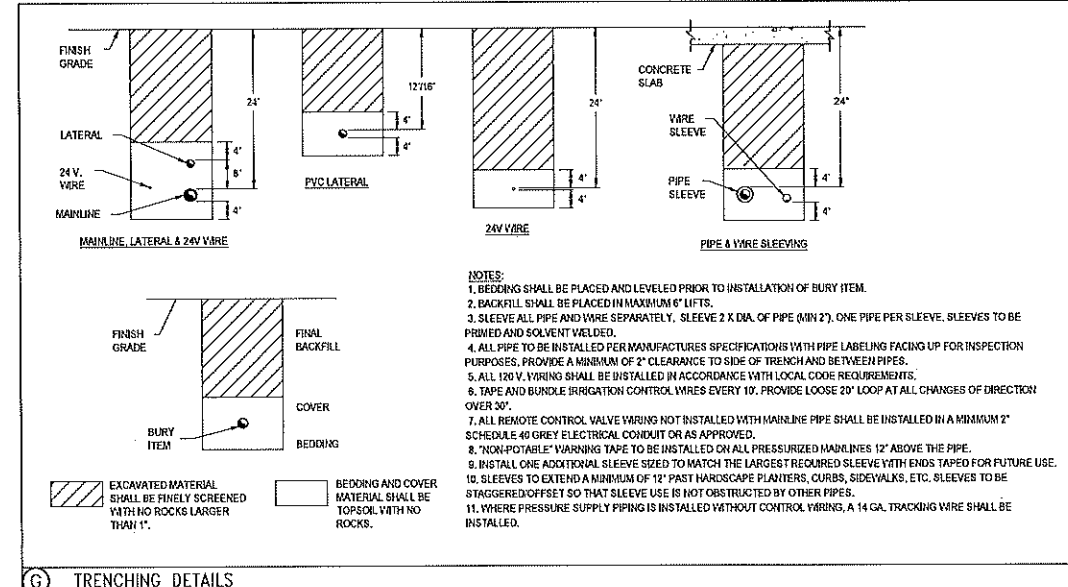
D SPRAY ON RISER DETAIL



E SOLAR-SYNC RAIN/WIND SENSOR WITH GAURD



F THRUST BLOCK DETAILS



G TRENCHING DETAILS

IRRIGATION NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- ABSOLUTELY NO RISERS SHALL BE USED ON THIS PROJECT.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

SPRAY NOZZLE CHART

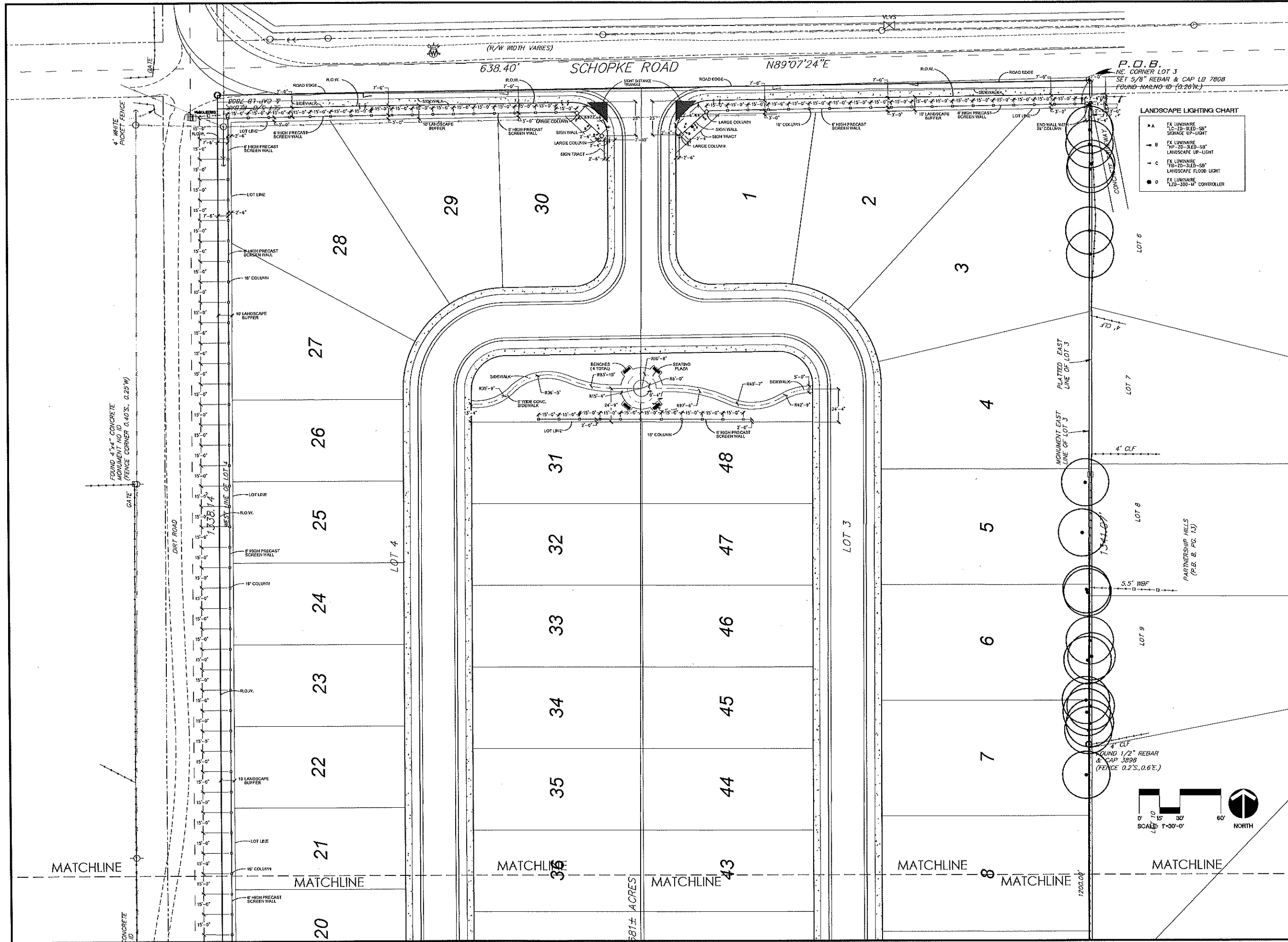
TYPE	SYM	NOZZLE	NOZZLE PATTERN	GPM
MP1000 8'-15' radius	A	MARCOON	90° ADJUSTABLE ARC	.21
	B	MARCOON	180° ADJUSTABLE ARC	.42
	C	LT. BLUE	210° ADJUSTABLE ARC	.49
	D	LT. BLUE	270° ADJUSTABLE ARC	.63
	E	OLIVE	360° ARC	.84
	F	BLACK	90° ADJUSTABLE ARC	.43
MP2000 13'-21' radius	G	BLACK	180° ADJUSTABLE ARC	.77
	H	GREEN	210° ADJUSTABLE ARC	.86
	I	GREEN	270° ADJUSTABLE ARC	1.10
	J	RED	360° ARC	1.48
	K	BLUE	90° ADJUSTABLE ARC	.86
	L	BLUE	180° ADJUSTABLE ARC	1.82
MP3000 22'-30' radius	M	YELLOW	210° ADJUSTABLE ARC	2.12
	N	YELLOW	270° ADJUSTABLE ARC	2.73
	O	GRAY	360° ARC	3.64
	P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
	Q	IVORY	5x15' LEFT STRIP	.22
	R	COPPER	5x15' RIGHT STRIP	.22
STRIPS & CORNERS	S	BROWN	5x30' SIDE STRIP	.44
	T	PCH 10	0.50 GPM FLOOD BUBBLER	.50
	U	PCH 50	1.00 GPM FLOOD BUBBLER	1.00
	Y	SR-4Q	90° 4' RADIUS	.22
BUBBLERS AND MICRO-SPRAYS	W	SR-4H	180° 4' RADIUS	.44
	AA	ORANGE	90° ADJUSTABLE ARC	.23
	BB	ORANGE	180° ADJUSTABLE ARC	.42
	CC	ORANGE	210° ADJUSTABLE ARC	.43
MP800 6'-12' radius	DD	GREEN	360° ARC	.78

SYMBOL	DESCRIPTION	QUANTITIES
■	4" BUBBLER SPRAY - HUNTER IND. 'PROS-04-PRS40' BODY W/ PCN-10 NOZZLES	163
●	12" POP-UP SPRAY - HUNTER IND. 'PROS-12-PRS40' BODY W/MP800 NOZZLES	14
○	6" POP-UP SPRAY - HUNTER IND. 'PROS-06-PRS40' BODY W/MP1000 NOZZLES	109
●	12" POP-UP SPRAY - HUNTER IND. 'PROS-12-PRS40' BODY W/MP1000 NOZZLES	57
●	4" POP-UP SPRAY - HUNTER IND. 'PROS-4-PRS40' BODY W/MP1000 NOZZLES	114
□	6" POP-UP SPRAY - HUNTER IND. 'PROS-06-PRS40' BODY WITH MP2000 NOZZLES	19
⊗	HUNTER 'CV-FS-A5-40' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 1" + 2"	6
⊙	HUNTER ICC2 CONTROLLER, '12C-800-PP WITH ICM-800 AND ICM-2200 MODULES. INSTALL WITH A SOLAR-SYNC SENSOR AND BY-PASS BOX. GROUND WITH AN 8' COPPER CLAD ROD.	1
⊕	HUNTER SOLAR-SYNC SENSOR	1
■	2" IRRIGATION REUSE METER TO PROVIDE 80 GPM AT 50 PSI	1 (BY OWNER)
⊗	2-1/2" IRRIGATION GATE VALVE	1
—	LATERAL LINE - SCH 40 PVC - SIZE PER PLAN	SEE PLAN
—	2-1/2" MAINLINE - SCH 40 PVC SIZE PER PLAN	SEE PLAN
▨	SLEEVING - SCH. 40 PVC MIN. DEPTH OF 24"	SEE PLAN

WATERING SCHEDULE

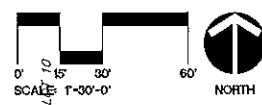
ZONE #	WATER TYPE	WATERING TIME	GAL. PER MINUTE	GAL. PER WATERING	PRECIP. IN INCHES
1	SHRUBS	20 MIN.	44.39 GPM	887.80 GPW	0.43"
2	BUBBLERS	15 MIN.	30.00 GPM	450.00 GPW	0.43"
3	GRASS	60 MIN.	59.40 GPM	3,564.0 GPW	0.45"
4	SHRUBS	20 MIN.	38.59 GPM	771.80 GPW	0.43"
5	BUBBLER	15 MIN.	69.00 GPM	1,035.0 GPW	0.43"
6	BUBBLER	15 MIN.	66.00 GPM	990.00 GPW	0.43"
TOTAL			2 HRS-25 MIN.	307.38 GPM / 6,668.6 GPW	
WATERING SCHEDULE & USAGE CALCULATIONS				15,337.20 GAL / WEEK - SUMMER (MAR 15-OCT 14 (2 TIMES / WEEK))	
				7,668.60 GAL / WEEK - WINTER (OCT 15-MAR 14 (1 TIME / WEEK))	
				598,150.80 GAL / YEAR (78 WATERINGS PER YEAR)	
				418,705.56 GAL / YEAR W/ 30% REDUCTION FOR SOLAR-SYNC	

**ZONE RUN TIMES SHOWN ARE FOR AFTER PLANT ESTABLISHMENT PERIOD (90 DAYS).



LANDSCAPE LIGHTING CHART

- A FX LUMINAIRE "L2D-3LED-58" SPRING UP-LIGHT
- B FX LUMINAIRE "LP-2D-3LED-58" LANDSCAPE UP-LIGHT
- C FX LUMINAIRE "T8-2D-3LED-58" LANDSCAPE FLOOD LIGHT
- D FX LUMINAIRE "L2D-300-W" CONTROLLER



BORRELLI + PARTNERS
ARCHITECTS & PLANNERS
ORLANDO, FL 32838 (407) 418-1318
REGISTERED PROFESSIONAL ENGINEER
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
REGISTERED PROFESSIONAL SURVEYOR

SIGNATURE AND DATED SEAL

CONSULTANTS

DRAWING TITLE

LEGACY HILLS

HARDSCAPE PLAN

PROJECT NO.	REV.	DESCRIPTION	DATE	PROJECT ADDRESS
16412				

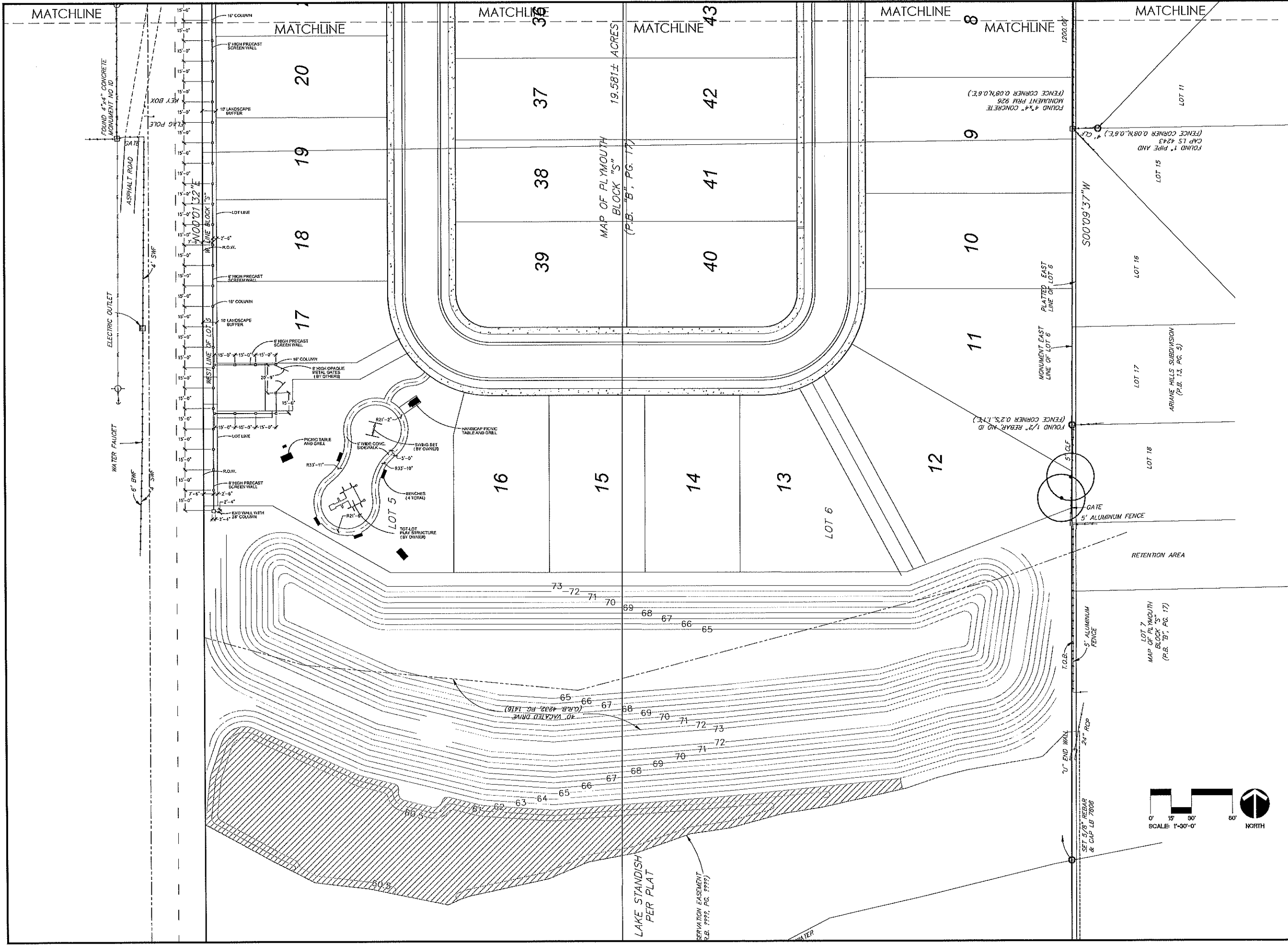
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SCALE	AS SHOWN
FILE NAME	16412
DRAWN BY	CR
CHECKED BY	CR
DATE	01/26/18

H-100

CITY OF APOPKA, FLORIDA

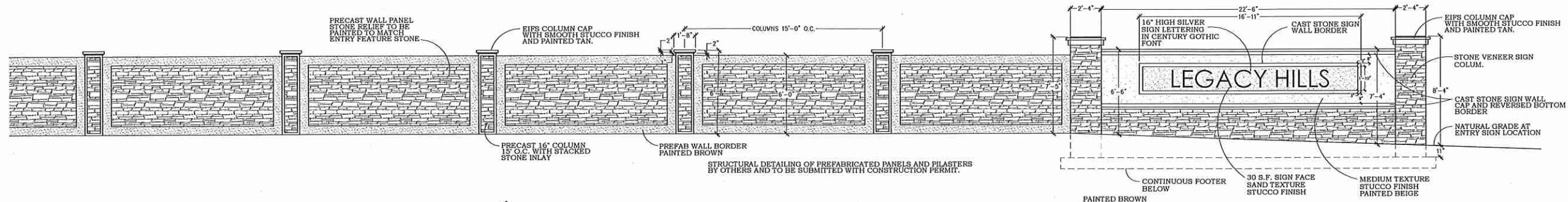
OWNER NAME AND ADDRESS

RE DEVELOPMENT

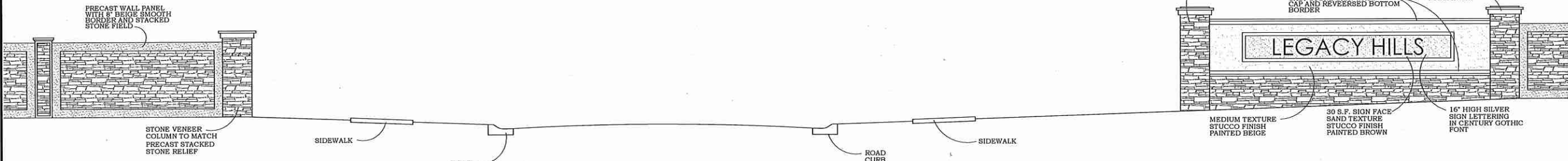


LEGACY HILLS	
DRAWING TITLE	CONSULTANTS
HARDSCAPE PLAN	
PROJECT NO. 16-112 NAME CONSTRUCTION DOCUMENTS SCALE AS NOTED FILE NAME 16-112 DRAWN BY CR CHECKED BY CR DATE 01-26-18	REV. 1 DESCRIPTION DATE PROJECT ADDRESS CITY OF APOPKA, FLORIDA OWNER NAME AND ADDRESS 161 DEVELOPMENT
SIGNATURE AND DATED SEAL 	

H-101



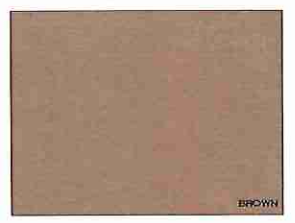
A ROAD FRONTAGE WALL, COLUMNS AND ENTRY SIGN - WEST SIDE
SCALE: 1/4"=1'-0"



B ROAD FRONTAGE WALL, COLUMNS AND ENTRY SIGN - EAST SIDE
SCALE: 1/4"=1'-0"



STACKED STONE COLOR



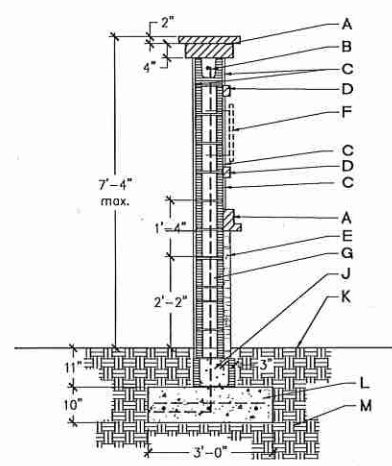
PREFAB WALL BORDER AND SIGN FACE COLOR



SIGN WALL COLOR

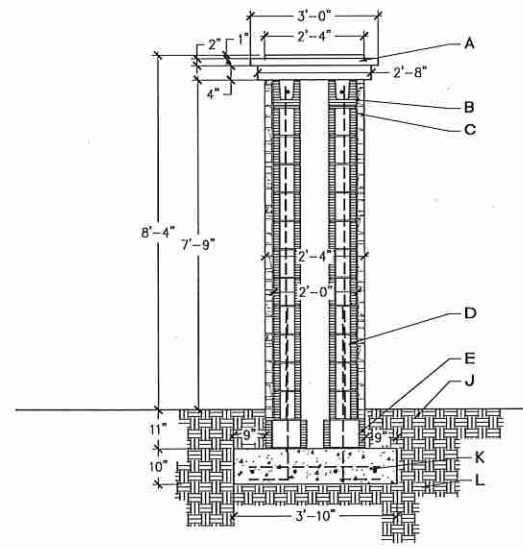


CAPS AND TRIM COLOR



NOTES

- A. PRECAST STONE WALL CAP AND BASE BORDER TRIM. ATTACH TO WALL UTILIZING RAKED MORTAR BED AND TRUSS TIES.
- B. 8"x8"x16" CMU LINTEL BLOCK WITH (1)#5 RE-BAR CONT. FILL ALL CELLS WITH MORTAR.
- C. APPLY MIN. 5/8" THICK STUCCO IN MEDIUM FINISH TO WALL AS SHOWN. PAINT COLOR BY OWNER.
- D. 3" SQUARE CAST STONE SIGN TRIM. COLOR MATCH ALL WALL DETAILING AND COLUMN CAPS.
- E. ATTACH 3" THICK STACKED STONE VENEER SIGN WALL UTILIZING TRUSS TIES AND MORTAR. STONE TYPE TO BE 'XX' BY J&H STONE IN 'XX' COLOR.
- F. 16" HIGH RAISED SIGN LETTERING IN CENTURY GOTHIC FONT - ATTACH TO WALL UTILIZING PIN MOUNTS.
- G. 7'-4" HIGH, 8"x8"x16" CMU BLOCK SIGN WALL WITH (1)#5 RE-BAR VERTICAL @ 32" O.C. AND END CONDITIONS. FILL CELLS WITH MORTAR.
- J. 12"x8"x16" CMU STEM WALL. FILL ALL CELLS WITH CONCRETE. ALLOW 4 DAYS FOR CONCRETE TO CURE PRIOR TO WALL CONSTRUCTION.
- K. FINISH GRADE.
- L. 10" THICK x 3'-0" WIDE 3,000 P.S.I. CONCRETE FOOTER W/ (3)#5 RE-BAR CONTINUOUS AND 1-#5 LAP BAR EVERY 24" O.C. AS SHOWN. PROVIDE (1)#5 VERT. RE-BAR @ 32" O.C. AND END CONDITIONS.
- M. CLEAN BACKFILL COMPACTED TO 95% PROCTOR DENSITY.



NOTES

- A. EIFS COLUMN CAP. ATTACH TO COLUMN UTILIZING RAKED MORTAR BED.
- B. 8"x8"x16" CMU LINTEL BLOCK WITH (1)#5 RE-BAR CONT.
- C. ATTACH 2" THICK STONE VENEER WITH TRUSS TIES AND MORTAR. STYLE TO BE 'STACKSTONE' IN BUCKS CREEK SAGE COLOR BY J&H STONE OR APPROVED EQUAL.
- D. 2'-0" SQUARE 8"x8"x16" CMU BLOCK COLUMN WITH (1)#5 RE-BAR VERTICAL AT EACH CORNER. FILL CELLS WITH CONC.
- E. 8"x12"x16" CMU STEM WALL. FILL ALL CELLS WITH CONCRETE.
- J. FINISH GRADE.
- K. 10" THICK x 3'-10" SQUARE 3,000 P.S.I. CONCRETE FOOTER W/ (4) #5 RE-BAR IN EACH CORNER. PROVIDE (1)#5 VERT. RE-BAR IN EACH CORNER.
- L. CLEAN BACKFILL COMPACTED TO 95% PROCTOR DENSITY.

C WALL COLORS
NOT TO SCALE

D SINGLE SIDED ENTRY SIGN WALL
SCALE: 1/2"=1'-0"

E ENTRY SIGN WALL COLUMN
SCALE: 1/2"=1'-0"

BORRELLI + PARTNERS
Architectural Firm
3750 WINDY HILLS BLVD
ORLANDO, FL 32834-4077 • 407-113-1138
ORLANDO, FL 32834-4077 • 407-113-1138
ORLANDO, FL 32834-4077 • 407-113-1138

SIGNATURE AND DATED SEAL
CHRISTOPHER D. BICE
REGISTERED PROFESSIONAL ARCHITECT
FLORIDA LICENSE NO. 12411
EXPIRES 12/31/2018

CONSULTANTS

LEGACY HILLS
DRAWING TITLE
HARDSCAPE ELEVATIONS AND DETAILS

PROJECT ADDRESS
CITY OF APOKA, FLORIDA
OWNER NAME AND ADDRESS
RE DEVELOPMENT

REV.	DESCRIPTION	DATE
16-112	PROJECT NO.	
	PHASE	
	SCALE	
	AS NOTED	
16-112	FILE NAME	
	DRAWN BY	
	COR	
	COR	
	COR	
	DATE	01/26/18

H-102



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	February 12, 2019
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Preliminary Development Plan		Aerial Map
		Preliminary Development Plan
		Master Plan

SUBJECT: PRELIMINARY DEVELOPMENT PLAN – LEGACY HILLS SUBDIVISION

REQUEST: RECOMMEND APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN FOR LEGACY HILLS SUBDIVISION.

SUMMARY:

OWNER/APPLICANT: JEL Land Development, LLC c/o Dustin Lucas

PROJECT ENGINEER: GTC Engineering Corporation c/o Claude L. Cassagnol, P.E.

LOCATION: South of Schopke Road and West of Schopke Lester Road

EXISTING USE: Vacant land

FUTURE LAND USE: Residential Low (Max. 5 du/ac)

ZONING: PUD (Planned Unit Development) District

PROPOSED DEVELOPMENT: Single-Family Residential Subdivision (48 Lots; min. 7,500 sq. ft. lot area, 60 ft. min. lot width; lot size varies as set forth in the PUD Master Plan)

PROPOSED DENSITY: 2.78 du/ac

TRACT SIZE: 19.6 +/- acres

DEVELOPABLE AREA: 17.24 +/- acres

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Future Land Use – In Progress	PD (ZIP)	Fisher Plantation Subdivision
East (City)	Residential Low	R-1A	Partnership Hills and Ariane Hills Residential Subdivisions
South (City)	Residential Low	R-1A	Lake Standish & Woodlands
West (County)	Low Density Residential	A-1	Single Family Homes

PROJECT DESCRIPTION: This Preliminary Development Plan is in accordance with the PUD (Planned Unit Development) Zoning and Master Plan approved by the City Council on August 1, 2018 via Ordinance No. 2660. A 48 lot single-family subdivision is proposed, with lot widths ranging from 60 to 85 feet wide. The 60’ wide lots are reserved for the interior of the subdivision and along the western boundary. Lots with larger lot widths are proposed to abut existing subdivisions such as Fisher Plantation, Partnership Hills, and Ariane Hills.

A 10 feet landscape/wall buffer is proposed on the western and northern boundary lines of Legacy Hills, while a 5.37 acre retention/conservation area is proposed at the southern end of the subdivision. In addition, tracts for a playground and a picnic area are provided on the Preliminary Development Plan. The surrounding properties consist primarily of single-family, residential, subdivisions, including Partnership Hills and Ariane Hills to the East, Fisher Plantation to the North, vacant woodlands to the south, and single family homes to the west.

Lot Width Table:

Typical Lot Width	Number of units	Percentage of development
60-feet	32	66.7%
70-feet	10	20.8%
85-feet	6	12.5%
Total	48	100%

Proposed Setbacks:

Setback	Min. Standard
Front*	25’
Side	7.5’
Rear	25’
Corner	25’

*Front-entry garage must be setback 30 feet.

ACCESS: The access point for the subdivision, known as “Legacy Hills”, is proposed off of Schopke Road.

STORMWATER: The stormwater management system includes an on-site retention area, located on the southern portion of the project area.

RECREATION: Tract E, located at the Southwestern end of the subdivision is dedicated for recreation. Playground equipment is proposed on Tract E. A passive recreation area is also provided in Tract B just to the south of the entrance to the community.

BUFFER(S)/LANDSCAPING: Highrise Oaks, Live Oaks, Southern Magnolias, and Bald Cypresses are proposed throughout the subdivision. Each lot shall have two, 3” DBH shade trees at time of individual construction. An irrigation plan is required with the submittal of a Final Development Plan.

SCHOOL CAPACITY REPORT: School concurrency shall be required at Final Development Plan approval, and no development activity can occur until such time that a concurrency mitigation agreement has been approved by OCPS.

ORANGE COUNTY NOTIFICATION: The County was notified of the public hearings on January 4, 2019 and through the Development Review Committee meeting notifications.

PUBLIC HEARING SCHEDULE:

February 12, 2019 – Planning Commission, 5:30 p.m.
March 6, 2019 – City Council, 1:30 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends finds the Legacy Hills PDP to be consistent with the approved Master Plan and Land Development Code, and recommends approval of the Legacy Hills Subdivision – Preliminary Development Plan, subject to the findings of this staff report.

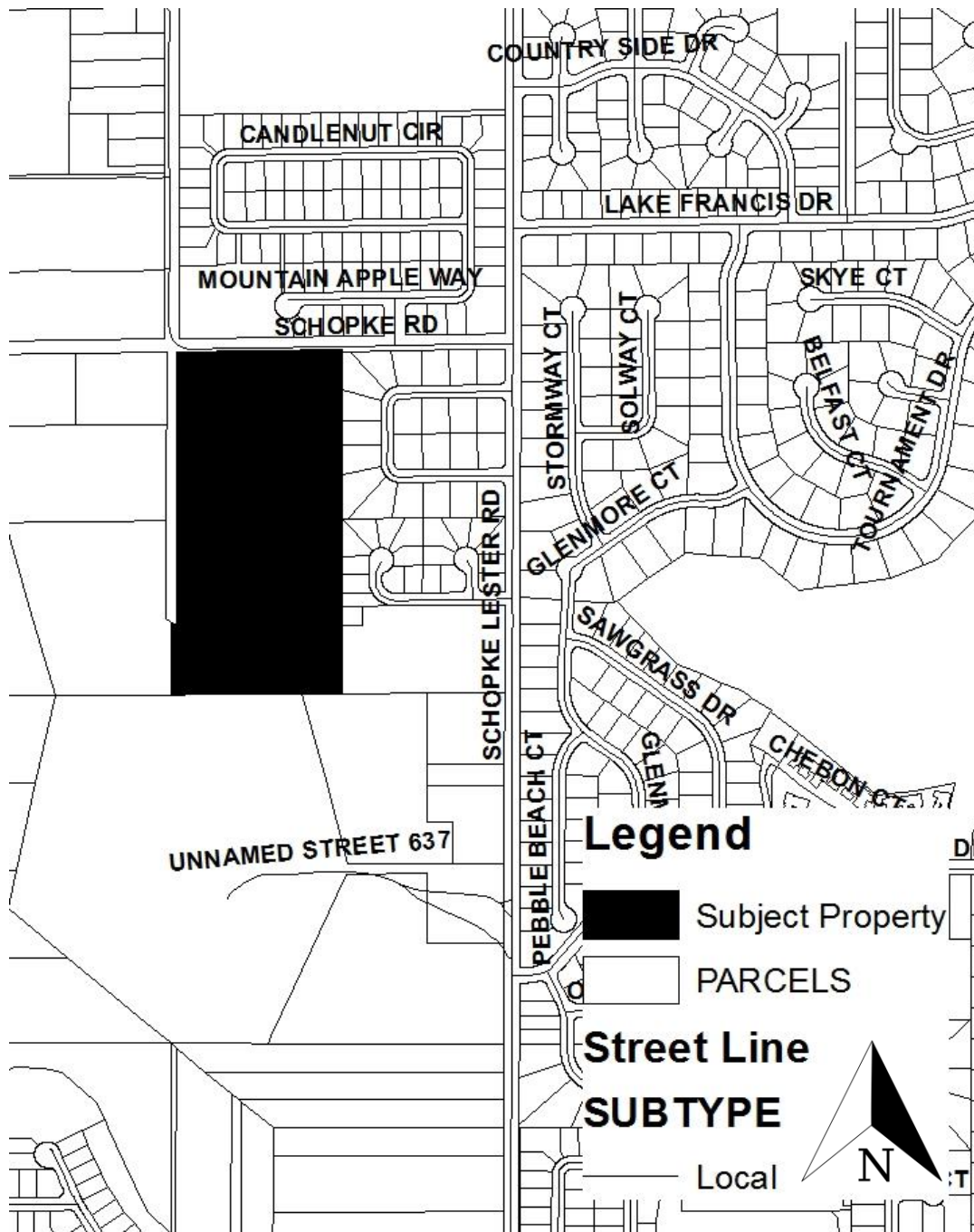
Recommended Motion: Finds the Legacy Hills PDP to be consistent with the approved Master Plan and with the Land Development Code, and recommend approval of the Legacy Hills Subdivision – Preliminary Development Plan, subject to the findings of the staff report.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

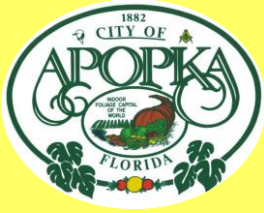
Project Name: Legacy Hills Subdivision – Preliminary Development Plan
Property Owner: JEL Land Development, LLC
Applicant: GTC Engineering Corporation c/o Claude L. Cassagnol, P.E.
Total Site Area: 19.67 +/- acres
Parcel ID #s: 06-21-28-7172-19-030

VICINITY MAP



AERIAL MAP





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Preliminary Development Plan

MEETING OF: February 12, 2019
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Preliminary Dev. Plan

SUBJECT: PONKAN RESERVE RESIDENTIAL SUBDIVISION – PRELIMINARY DEVELOPMENT PLAN

REQUEST: RECOMMEND APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN FOR PONKAN RESERVE SUBDIVISION

SUMMARY:

OWNER/APPLICANT: Ponkan Reserve South, LLC, c/o Chuck Hiott, P.E.
ENGINEER: BESH, Inc., c/o Charles Hiott, P.E.
LOCATION: 318 and 326 West Ponkan Road
PARCEL ID #s: 28-20-28-0000-00-006 and 28-20-28-0000-00-062
FUTURE LAND USE: Residential Low Suburban (up to 3.5 du/ac)
ZONING: R-1AA (Residential Single-Family District)
EXISTING USE: Vacant
PROPOSED USE: 14 Single Family Residential Lots (Min. 12,500 sq. ft.)
TRACT SIZE: 7.49 +/- acres
PROPOSED DENSITY: 1.87 du/ac

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Mixed Use	Mixed -EC	Hillside at Wekiva Residential Community
East (City)	Residential Low Suburban	R-1AA	Single Family Home
South (City)	Residential Low Suburban	R-1AA	Vacant-Grazing\Paulucci Acres
West (City)	Residential Low Suburban	R-1AA	Single Family Home

PROJECT SUMMARY: The Ponkan Reserve Subdivision – Preliminary Development Plan proposes the development of 14 single family residential lots. The minimum typical lot width is 95 feet with a typical lot size of 13,500 square feet. The required minimum living area for a house in this zoning district is 1,700 sq. ft. square feet as set forth in Chapter 2 of the Land Development Code for single-family lots located within the R-1AA zoning. The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	20'
Corner	25'

*Front-entry garage must be setback 30 feet.

ACCESS: Ingress/egress access points for the development will be via full access onto Ponkan Road.

TRANSPORTATION: Per Code, a transportation impact analysis (TIA) was not required for this development as it generates under 400 daily trips.

STORMWATER: The stormwater management system includes an on-site retention area and located on the southern portion of the project site. The stormwater pond design meets the City’s Land Development Code requirements.

RECREATION: The applicant proposes a total of 1.67 acres to be open space/recreation. 1.27 of the open space area will also service as retention area. There is no requirement to provide a pocket park for those subdivisions with less than 20 units. Additionally, the applicant is dedicating 20-foot wide for right-of-way, approximately 0.16 acre in size, to the City adjacent to and on its entire frontage on Ponkan Road.

BUFFER(S)/LANDSCAPING: As required by the Land Development Code, three canopy-type trees shall be planted on each single family lot such as Live Oak and Red Maple trees. River Birch trees and Live Oak trees will be planted within Tract A Recreation/Retention Area. A six-foot high wall will be located adjacent to Ponkan Road within a 10-foot wide landscaped buffer that includes Live Oak and Foxtail Palms.

SCHOOL CAPACITY REPORT: A school concurrency mitigation agreement has been executed and a copy of the letter from Orange County Public Schools (OCPS) has been supplied to Staff.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the plat for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

February 12, 2019 – Planning Commission, 5:30 p.m.

March 6, 2019 – City Council, 1:30 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Ponkan Reserve Subdivision Preliminary Development Plan subject to the findings of this staff report.

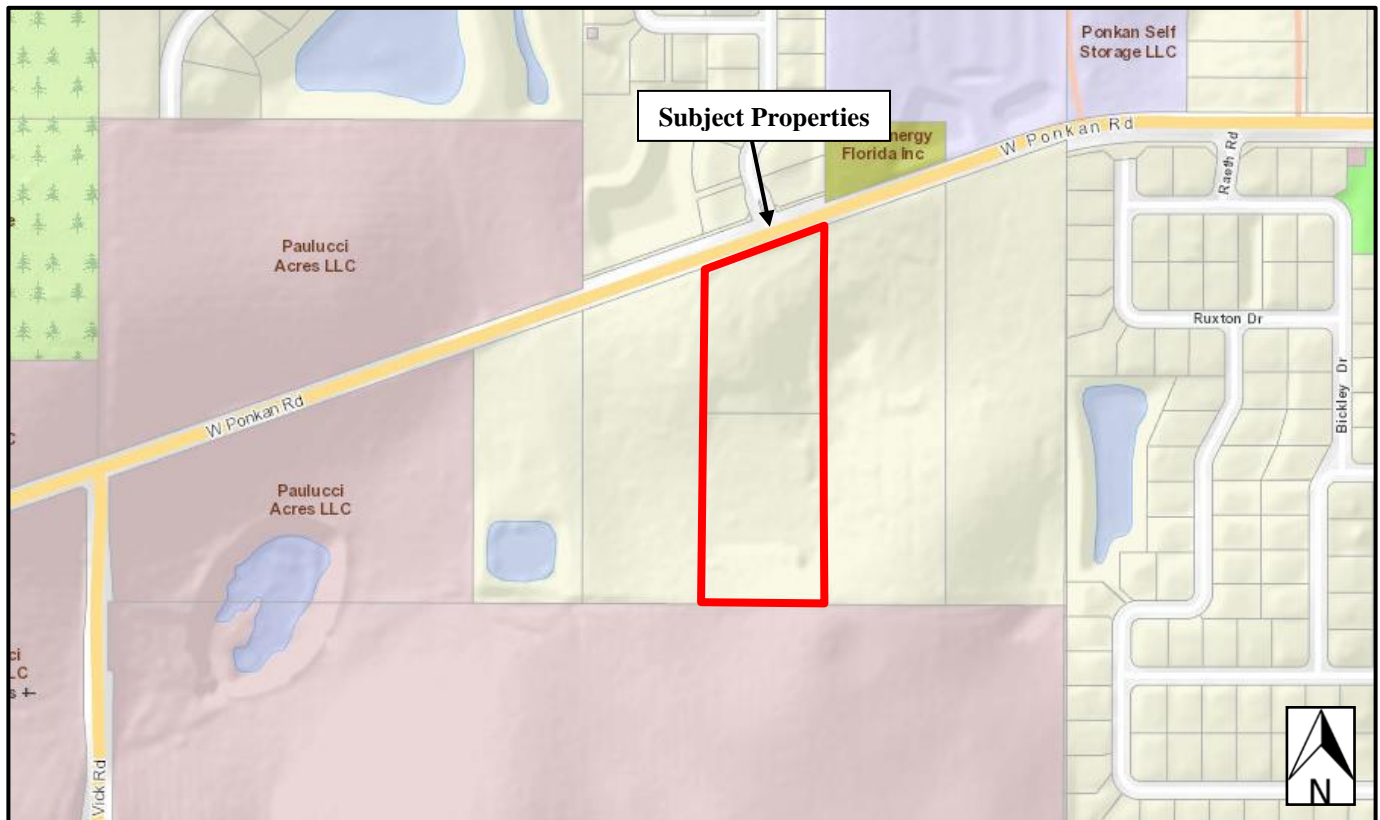
Planning Commission: Find the Ponkan Reserve Subdivision Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Ponkan Reserve Subdivision Preliminary Development Plan, subject to the findings of this staff report.

Planning Commission Role: To advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

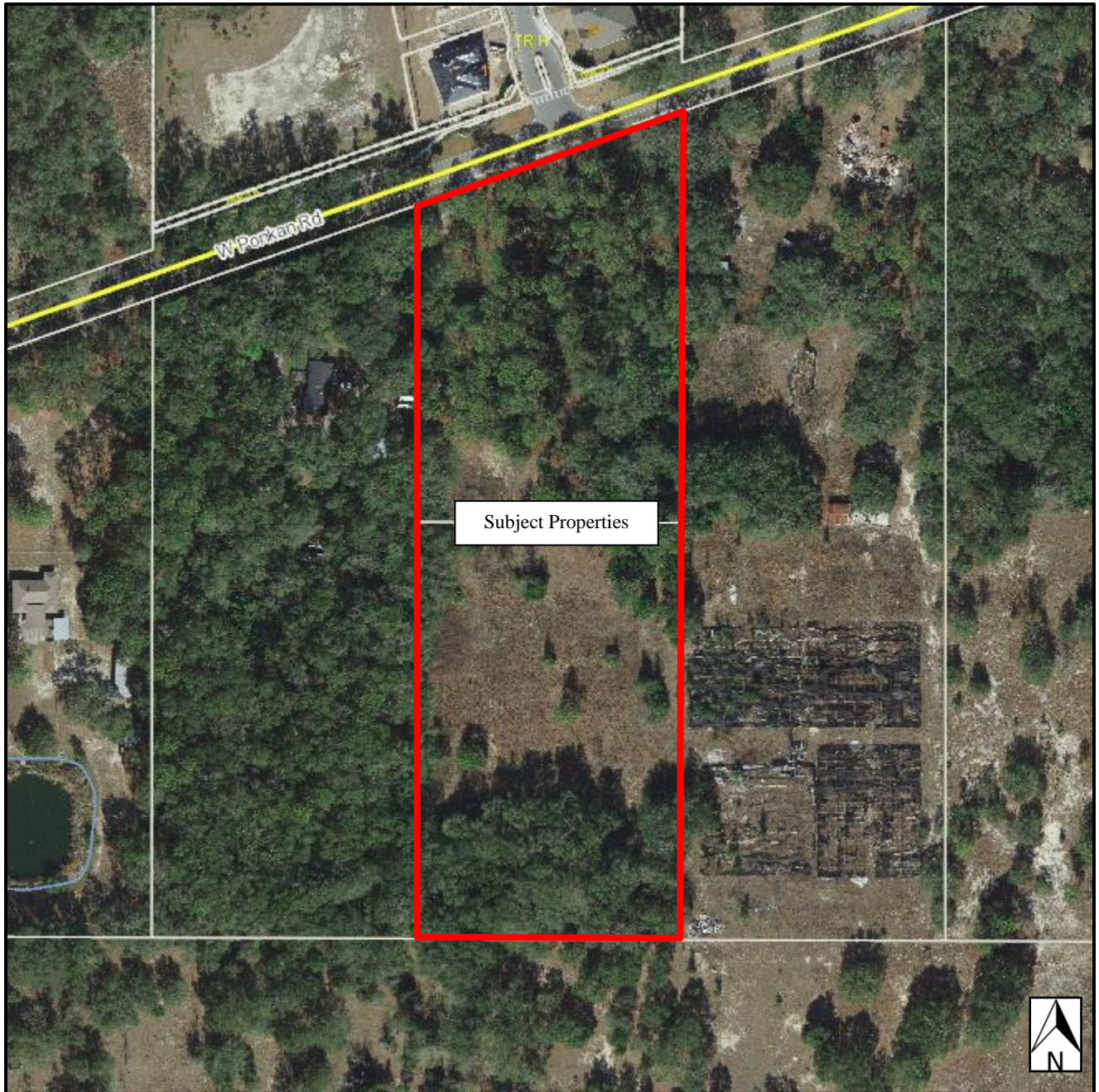
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project Name: Ponkan Reserve Subdivision – Preliminary Development Plan
Property Owner: Ponkan Reserve South, LLC
Applicant: BESH Inc. c/o Charles Hiott, P.E.
Total Site Area: 7.31 +/- acres
Parcel ID #s: 28-20-28-0000-00-006 and 28-20-28-0000-00-062

VICINITY MAP



AERIAL MAP



PRELIMINARY DEVELOPMENT PLAN/SUBDIVISION PLAN FOR PONKAN RESERVE

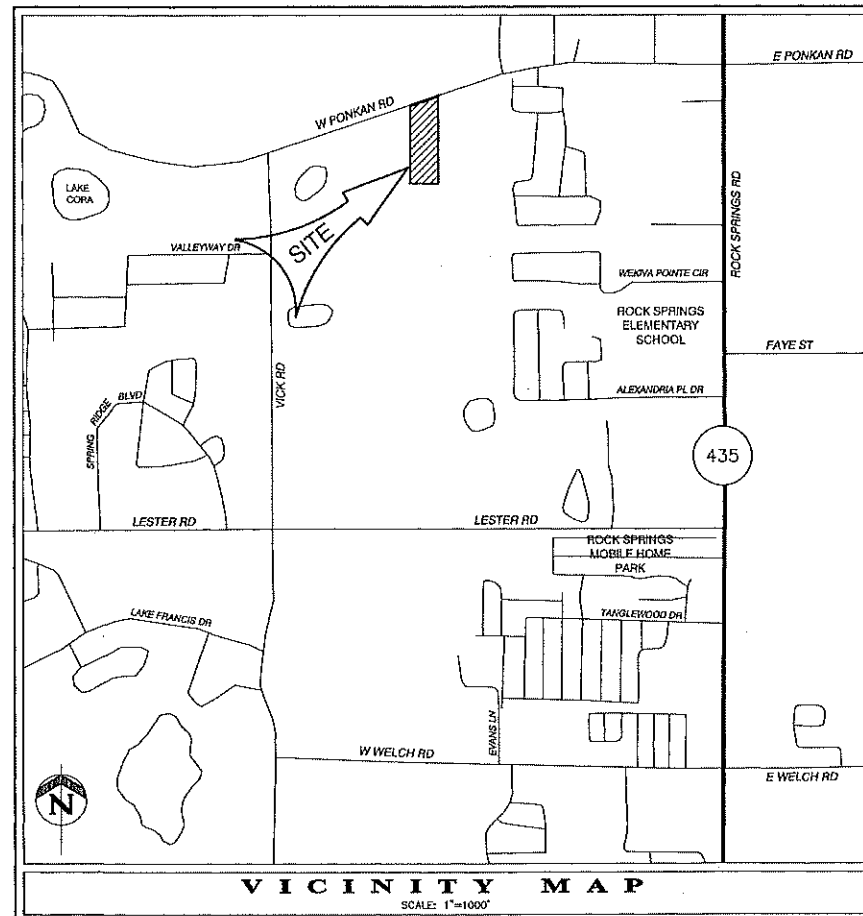
PARCEL ID# 28-20-28-0000-00-006 & 28-20-28-0000-00-062
SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST
CITY OF APOPKA
ORANGE COUNTY, FLORIDA

SITE DATA TABLE	
PARCEL ID# NUMBER	28-20-28-0000-00-006 & 28-20-28-0000-00-062
FUTURE LAND USE	FES (CENTRAL LOW SUBURBAN)
ZONING	R-1AA (SINGLE FAMILY RESIDENTIAL)
ADJACENT LAND USE	NORTH: MIXED USE EAST: RESIDENTIAL LOW SUBURBAN SOUTH: RESIDENTIAL LOW SUBURBAN WEST: RESIDENTIAL LOW SUBURBAN
ADJACENT ZONING	NORTH: CO (OFFICE) EAST: R-1AA (SINGLE FAMILY RES) SOUTH: R-1AA (SINGLE FAMILY RES) WEST: R-1AA (SINGLE FAMILY RES)
ACREAGE/SQUARE FOOTAGE	ACRES: 7.6877 SF: 335,292
BUILDING HEIGHT	PROPOSED: LESS THAN 25' MAX: 35'
DENSITY	PROPOSED: 1.87 UNITS PER ACRE MAX: 3.5 UNITS PER ACRE
BUILDING SETBACKS	PROPOSED: FRONT: 25' SIDE: 10' REAR: 20' CORNER: 25' REQUIRED: FRONT: 25' SIDE: 10' REAR: 20' CORNER: 25'
OPEN SPACE	PROPOSED: SF: 80,150 ACRES: 1.41 REQUIRED: SF: ACRES
TREE BANK MITIGATION FEE	
VARIANCE REQUEST	YES NO

OWNER/DEVELOPER:
PONKAN RESERVE SOUTH, LLC
1490 SUNSHADOW DRIVE
CASSELBERRY, FLORIDA 32707
PHONE: (321) 203-4514
E-MAIL: BARRY@HOMESTOOWNFL.COM

ENGINEER:
BOOTH, ERN, STRAUGHAN & HIOTT, INC.
902 NORTH SINCLAIR AVENUE
TAVARES, FLORIDA 32778
PHONE: (352) 343-8481
CONTACT: CHARLES C. HIOTT, P.E.
E-MAIL: CHIOTT@BESANDH.COM

SURVEYOR:
BISHMAN SURVEYING & MAPPING, INC.
132 W PLANT STREET
WINTER GARDEN, FLORIDA 34787-3165
PHONE: (407) 905-8877
CONTACT: ARON D. BISHMAN, P.S.M.
E-MAIL: ARON@BISHMANSURVEYING.COM



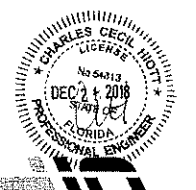
NOTES:

1. A LETTER MUST BE OBTAINED FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSIONER (FWCC) REGARDING WILDLIFE MANAGEMENT PLAN, PRIOR TO ANY CONSTRUCTION ACTIVITIES OCCURRING ON SITE.
2. RESIDENTIAL ARCHITECTURE MUST MEET THE INTENT OF THE CITY'S DEVELOPMENT DESIGN GUIDELINES.

VARIANCE (V) OR WAIVER (W) REQUEST TABLE				
CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION

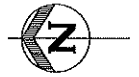
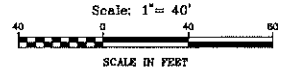
INDEX OF SHEETS

- 1 COVER SHEET
- 2 BOUNDARY & TOPOGRAPHIC INFORMATION
- 3 AERIAL PHOTOGRAPH
- 4 EROSION CONTROL & DEMOLITION PLAN
- 5 PRELIMINARY PLAT
- 5A FIRE TRUCK TURNING MOVEMENTS
- 6 GRADING & DRAINAGE PLAN
- 7 UTILITY PLAN
- 8 NAHELE TRAIL - PLAN & PROFILE
- 9 PAVING & DRAINAGE DETAILS
- 10-12 WATER & SEWER DETAILS
- 13 LIFT STATION DETAILS
- 14 MISCELLANEOUS DETAILS
- 1 SUBDIVISION LIGHTING CALCULATIONS
- 1 SUBDIVISION CONSTRUCTION SHEET
- L-1 OVERALL LANDSCAPE PLAN
- L-1.1 ENTRY FEATURE LANDSCAPE PLAN
- L-2 LANDSCAPE DETAILS AND SPECIFICATIONS
- TM-1 TREE MITIGATION PLAN



Certificate of Authorization Number: 27029
Good... Better... BESH!

S:\BDD\City of Apopka\2015\09\0000 Ponkan Reserve\CONSTRUCTION\151075 0000 Ponkan Reserve\KACD 2014.dwg, 12/20/2018 10:15:48 AM, DWG to PDF.plt



DATE	REVISION
12-02-16	1 REVISED PER 11-02-16 CITY OF APOPKA DRC COMMENTS
10-18-17	2 REVISED PER JUNE 2017 CITY OF APOPKA DRC COMMENTS
02-16-18	3 REVISED PER DECEMBER 2017 CITY OF APOPKA DRC COMMENTS
07-13-18	4 REVISED PER MARCH 2018 CITY OF APOPKA DRC COMMENTS
	5
	6
	7
	8

PONKAN RESERVE
AERIAL PHOTOGRAPH

SOUTHWESTERN SURVEYORS AND ENGINEERS
 LAND PLANNERS
 902 N. Shucart Avenue
 Tallahassee, Florida 32310
 Office: 352-543-3441
 Fax: 352-576-8195
 Certificate of Authorization Number: 27029
 Geod. - Bethe... #8591

DATE: 09-16-16
 DESIGNED BY: CCH
 DRAWN BY: CCH/RLG
 CHECKED BY: CCH
 JOB NO.: 161079.0000
 FILE NAME: PONKAN RESERVE

Sheet 3

CHARLES CECIL HOTT
 LICENSE
 DECEMBER 2018
 FLORIDA
 PROFESSIONAL ENGINEER
 CHARLES C. HOTT
 PROFESSIONAL ENGINEER NO. 64813

EROSION CONTROL MEASURES

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

EROSION AND SEDIMENT CONTROL

A. EROSION CONTROL DURING CONSTRUCTION

1. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICABLE TIME AND MAINTAINED THROUGHOUT CONSTRUCTION. EROSION CONTROL STRUCTURES MAY BE REMOVED AFTER THE UNDERLYING AREA HAS BEEN STABILIZED BY SOIL COVER OR VEGETATION AS DETERMINED BY THE CONTRACTOR.
2. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMIC, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSIDERED AS A SUBSTITUTE FOR PERMANENT MEASURES.
3. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICABLE TIME AND MAINTAINED THROUGHOUT CONSTRUCTION. ONE OF THE FIRST CONSTRUCTION ACTS SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND THE FURNISHING OF THE PROJECT OR THE ENTIRE WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
4. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED TO MAINTAIN PROPER DRAINAGE PATTERNS AND TO PREVENT EROSION AND SEDIMENTATION ON PLACEMENT OF ASPHALT SURFACES WITHIN THE AREA TO BE SERVED BY THESE FACILITIES. TO PREVENT EROSION IN STORAGE, COLLECTION AND TREATMENT AREAS, ALL EXPOSED AREAS SHALL BE STABILIZED WITH PERMANENT MEASURES PRIOR TO ANY GRADE OR CONSTRUCTION.
5. EROSION CONTROL STRUCTURES, SUCH AS SILT FENCES AND BARRIERS, SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND EXISTING AND FUTURE WIND AND WAVE FORCES AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL MAINTAIN THE LIMITS OF AREA EXPOSED AT ANY ONE TIME AND THE DURATION OF EXPOSURE.
7. STORM WATER MEASURES SHALL BE INSTALLED FOR PROTECTION OF SEDIMENT CONTROL STRUCTURES AND AREAS TO BE SERVED BY THESE FACILITIES AFTER THE CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE ARE COMPLETED.
8. THE CONTRACTOR SHALL INSTALL A PERMANENT VEGETATIVE COVER FOR PROPOSED AND EXISTING AREAS. THE VEGETATIVE COVER SHALL BE ESTABLISHED WITHIN 90 DAYS AFTER THE COMPLETION OF THE CONSTRUCTION OF THE PROJECT. THE VEGETATIVE COVER SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. THE VEGETATIVE COVER SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. THE VEGETATIVE COVER SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
9. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION.
10. PLACEMENT OF BARRIERS OR SILT FENCES SHALL BE ACCOMPLISHED PROMPTLY.
11. MATERIAL FROM EXCAVATION SHALL BE STOCKPILED IN AREAS WHICH ARE PROTECTED FROM EROSION AND SEDIMENTATION. STOCKPILES SHALL BE COVERED WITH PERMANENT MEASURES TO PREVENT EROSION AND SEDIMENTATION. STOCKPILES SHALL BE COVERED WITH PERMANENT MEASURES TO PREVENT EROSION AND SEDIMENTATION. STOCKPILES SHALL BE COVERED WITH PERMANENT MEASURES TO PREVENT EROSION AND SEDIMENTATION.
12. ANY ADJACENT AREAS TO BE SERVED BY THESE FACILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION.
13. TO PREVENT EROSION, A CONTRACTOR SHALL PROVIDE A WATER FLOW CONTROL SYSTEM AS NECESSARY TO MAINTAIN VEGETATIVE COVER.
14. IF THE SPECIAL CONDITIONS RESULT IN ANY AREAS WHERE EROSION OR SEDIMENTATION IS LIKELY TO OCCUR, THE CONTRACTOR SHALL PROVIDE EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY, IN ACCORDANCE WITH THE SPECIAL CONDITIONS OF THE FLORIDA LAND USE CODE, CHAPTER 62, PART 1, AND ANY OTHER APPLICABLE REGULATIONS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDEP).

B. PERMANENT EROSION CONTROL

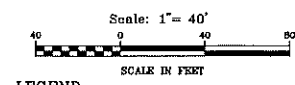
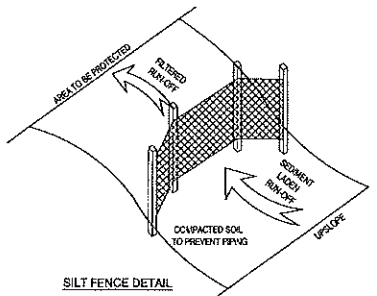
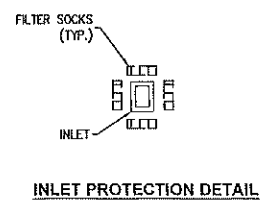
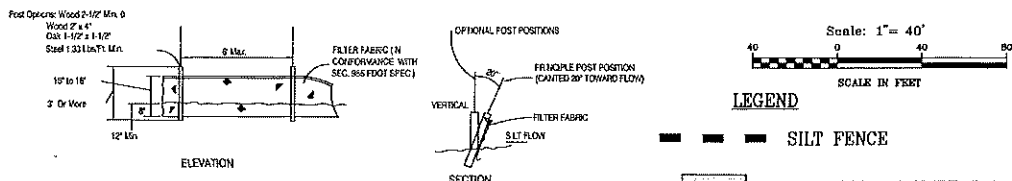
ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SPECIFIED ON THE CONSTRUCTION PLANS AND AS APPROVED BY THE CONTRACTOR'S SPECIALTY CONSULTANT. PERMANENT VEGETATIVE COVER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

STORM WATER MANAGEMENT SYSTEM

THE STORM WATER RUNOFF FROM THE PROJECT SHALL BE COLLECTED AND CONVEYED TO THE NEAREST EXISTING STORM WATER COLLECTION SYSTEM OR TO A DEDICATED STORM WATER COLLECTION SYSTEM. THE STORM WATER RUNOFF SHALL BE COLLECTED AND CONVEYED TO THE NEAREST EXISTING STORM WATER COLLECTION SYSTEM OR TO A DEDICATED STORM WATER COLLECTION SYSTEM. THE STORM WATER RUNOFF SHALL BE COLLECTED AND CONVEYED TO THE NEAREST EXISTING STORM WATER COLLECTION SYSTEM OR TO A DEDICATED STORM WATER COLLECTION SYSTEM.

GENERAL NOTES

1. CONTRACTOR TO OBTAIN ALL PERMITS FOR THE COMPLETE CONSTRUCTION OF PROJECT.
2. SILT FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL FENCE TO BE WITHIN THE 10' BUFFER ZONE OF THE PROJECT SITE.
3. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION.
4. ALL SITE WASTE MATERIALS SHALL BE STORED IN CONTAINERS OR COVERED WITH PERMANENT MEASURES TO PREVENT EROSION AND SEDIMENTATION. ALL WASTE MATERIALS SHALL BE STORED IN CONTAINERS OR COVERED WITH PERMANENT MEASURES TO PREVENT EROSION AND SEDIMENTATION. ALL WASTE MATERIALS SHALL BE STORED IN CONTAINERS OR COVERED WITH PERMANENT MEASURES TO PREVENT EROSION AND SEDIMENTATION.
5. TEMPORARY EROSION CONTROL STRUCTURES TO BE UTILIZED THROUGHOUT CONSTRUCTION AT AREAS WHERE EROSION OR SEDIMENTATION IS LIKELY TO OCCUR. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION.
6. ALTERNATE EROSION CONTROL STRUCTURES, SUCH AS SILT FENCES AND BARRIERS, SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND EXISTING AND FUTURE WIND AND WAVE FORCES AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. TEMPORARY CONSTRUCTION ENTRANCE AND EXIT SHALL BE DESIGNED TO PREVENT EROSION AND SEDIMENTATION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION.
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9. CONSTRUCTION OF THE OPERATIONAL CONTROL STRUCTURES SHALL BE ACCOMPLISHED PROMPTLY. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION.
10. ALL EXISTING TREES TO BE REMOVED SHALL BE REMOVED PROMPTLY. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION.

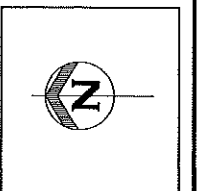
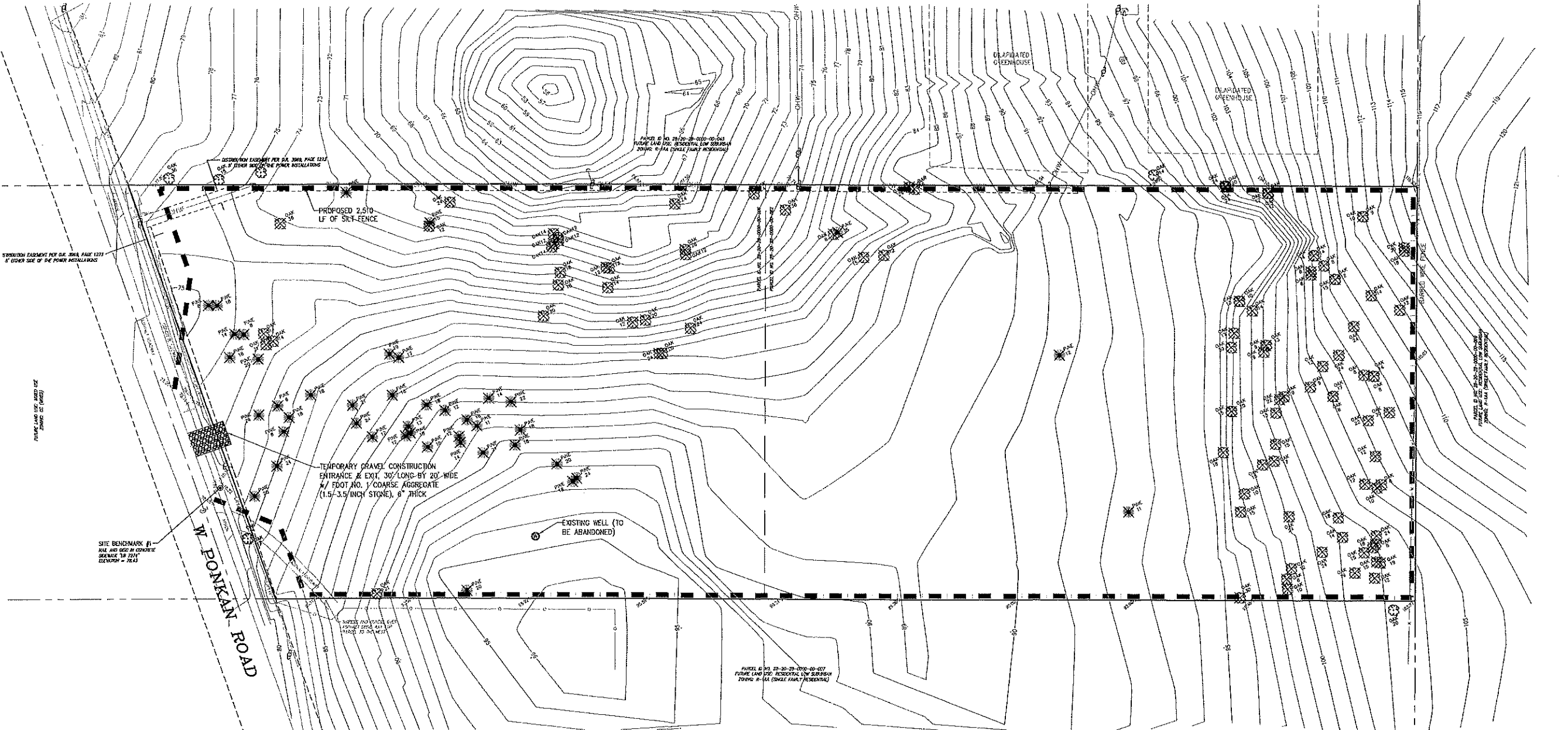


LEGEND

- SILT FENCE
- PAVEMENT, CONCRETE & BUILDING TO BE REMOVED
- TREE TO BE REMOVED

EROSION CONTROL STRUCTURE

THE FOLLOWING REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICABLE TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMIC, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EFFICIENCY IN LIEU OF PERMANENT MEASURES. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER THROUGHOUT CONSTRUCTION.



DATE	REVISION	BY	DESCRIPTION
12-02-16	1	CH	REVISION PER 11-02-16 CITY OF APPOKA, INC. COMMENTS
09-20-17	2	CH	REVISED TREES TO BE REMOVED
10-18-17	3	CH	REVISION PER JUNE 2017 CITY OF APPOKA, INC. COMMENTS
02-16-18	4	CH	REVISION PER DECEMBER 2017 CITY OF APPOKA, INC. COMMENTS
07-13-18	5	CH	REVISION PER MARCH 2018 CITY OF APPOKA, INC. COMMENTS

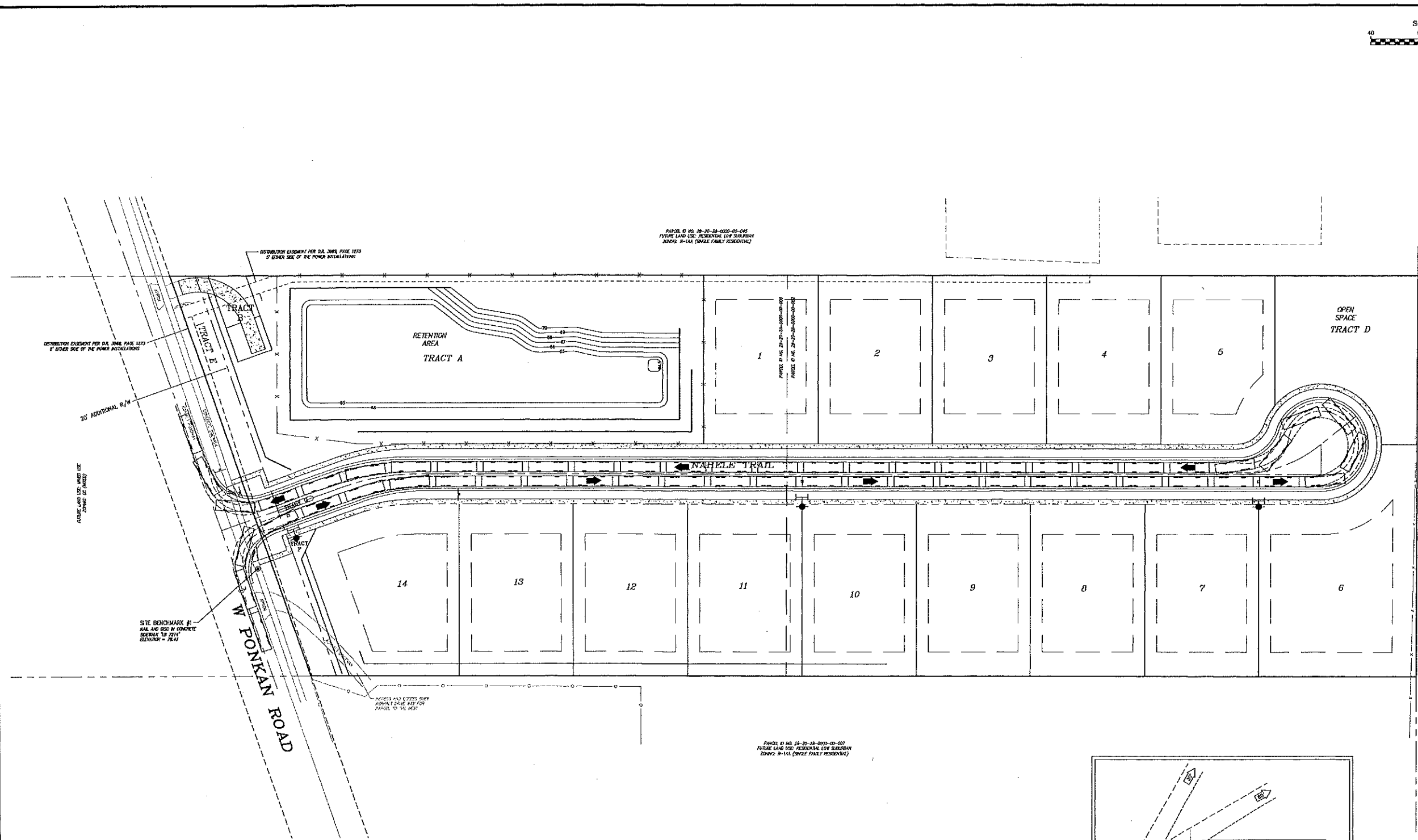
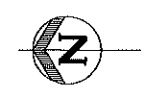
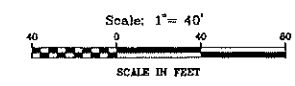
PONKAN RESERVE
EROSION CONTROL & DEMOLITION PLAN

BOOTH & STRAUGHAN AND PARTNERS
 LAND SURVEYORS
 500 N. 31st Avenue
 Treviso, Florida 32787
 Phone: 407-262-2828
 Fax: 407-262-2828
 Certificate of Authorization Number: 27028
 Good... Better... BEST!

DATE:	09-16-16
DESIGNED BY:	CGH
DRAWN BY:	CGH/RLG
CHECKED BY:	CGH
JOB NO.:	161079.0000
FILE NAME:	PONKAN RESERVE

Sheet 4

CHARLES C. HATTOME
 PROFESSIONAL ENGINEER NO. 54813



DATE	REVISION	REVISION COMMENTS
07-13-18	1	REVISED PER MARCH 2018 CITY OF HONOLULU DISC COMMENTS
	2	
	3	
	4	
	5	
	6	
	7	
	8	

**PONKAN RESERVE
FIRE TRUCK
TURNING MOVEMENTS**

BOOTH LERN STRAUGHMAN AND HOTT
ENGINEERS SURVEYORS LAND PLANNERS
10 YEARS OF EXPERIENCE
10 YEARS OF SERVICE
10 YEARS OF PASSION
10 YEARS OF INTEGRITY
10 YEARS OF COMMITMENT
10 YEARS OF DEDICATION
10 YEARS OF EXCELLENCE
10 YEARS OF INNOVATION
10 YEARS OF PROGRESS
10 YEARS OF GROWTH
10 YEARS OF SUCCESS
10 YEARS OF ACHIEVEMENT
10 YEARS OF INSPIRATION
10 YEARS OF MOTIVATION
10 YEARS OF ENTHUSIASM
10 YEARS OF PASSION
10 YEARS OF COMMITMENT
10 YEARS OF INTEGRITY
10 YEARS OF DEDICATION
10 YEARS OF EXCELLENCE
10 YEARS OF INNOVATION
10 YEARS OF PROGRESS
10 YEARS OF GROWTH
10 YEARS OF SUCCESS
10 YEARS OF ACHIEVEMENT
10 YEARS OF INSPIRATION
10 YEARS OF MOTIVATION
10 YEARS OF ENTHUSIASM

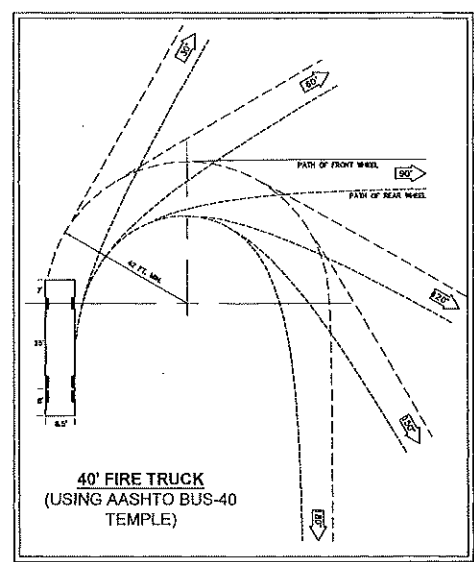
Certificate of Authorization Number: 27029
Gospod... Better... BEST!

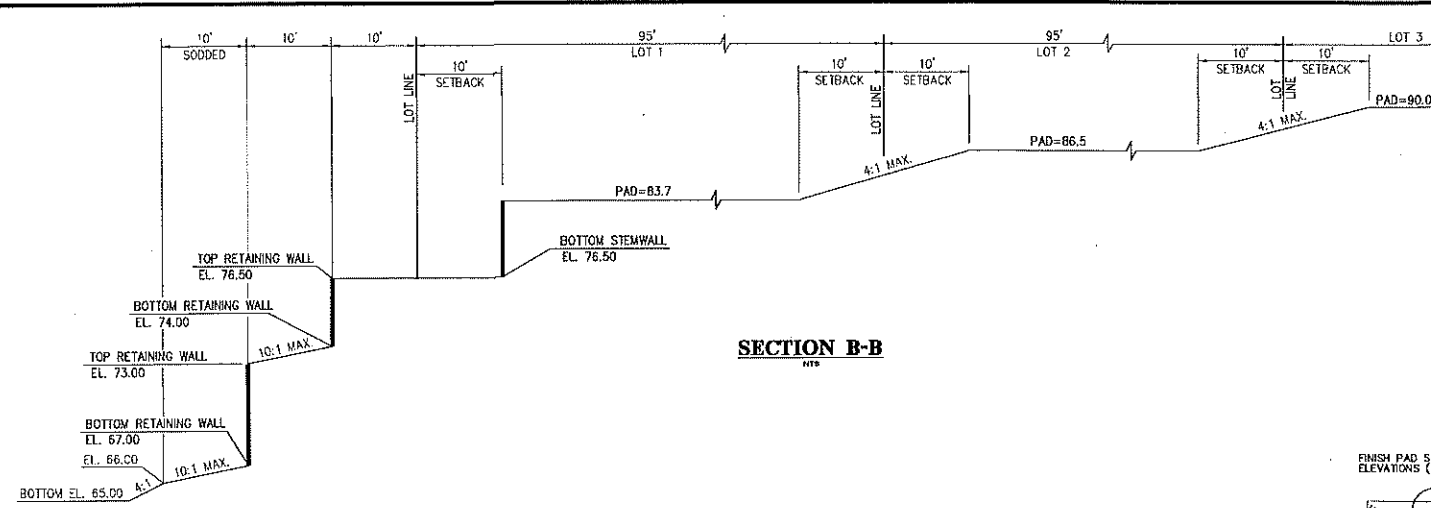
DATE: 02-16-18
DESIGNED BY: CCH
DRAWN BY: CCH/RLG
CHECKED BY: CCH
JOB NO.: 161079.0000
FILE NAME: PONKAN RESERVE
Sheet 5A

CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER NO. 54813
FLORIDA
LICENSED PROFESSIONAL ENGINEER
NO. 54813
EXPIRES 12/31/2018

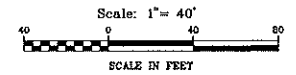
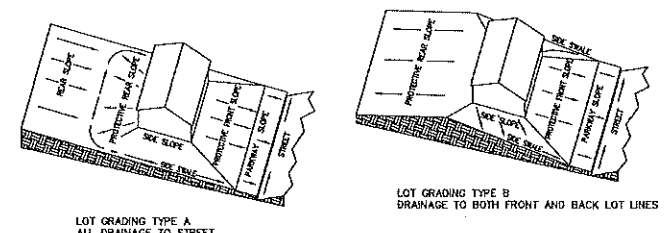
LEGEND

- FIRE HYDRANT ASSEMBLY
- PATH OF VEHICLE
- PATH OF FRONT WHEEL
- PATH OF REAR WHEEL
- FIRE TRUCK
- FIRE TRUCK DIRECTION





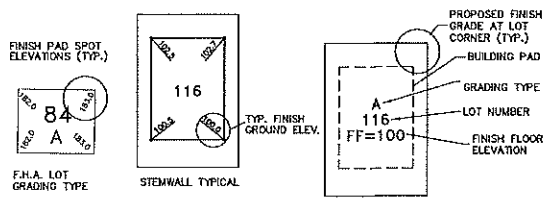
SECTION B-B



NOTE: PROPOSED EARTHWORK SHALL BALANCE ON-SITE. IF SITE DOES NOT BALANCE A SUMMARY OF QUANTITIES BEING ADDED OR REMOVED FROM SITE TO BE PROVIDED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

LEGEND

—●—	STORM DRAIN
—	STORM INLET
○	STORM MANHOLE
□-27	STRUCTURE NUMBER
—	EXISTING GRADE CONTOUR
—	FINISH GRADE CONTOUR
•	EXISTING SPOT ELEVATION
•	PROPOSED SPOT ELEVATION
→	FLOW ARROW
DE	DRAINAGE EASEMENT
UE	UTILITY EASEMENT



FHA GRADING SCHEMES
NOT TO SCALE

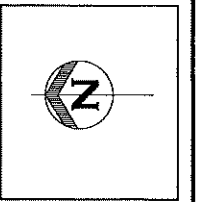
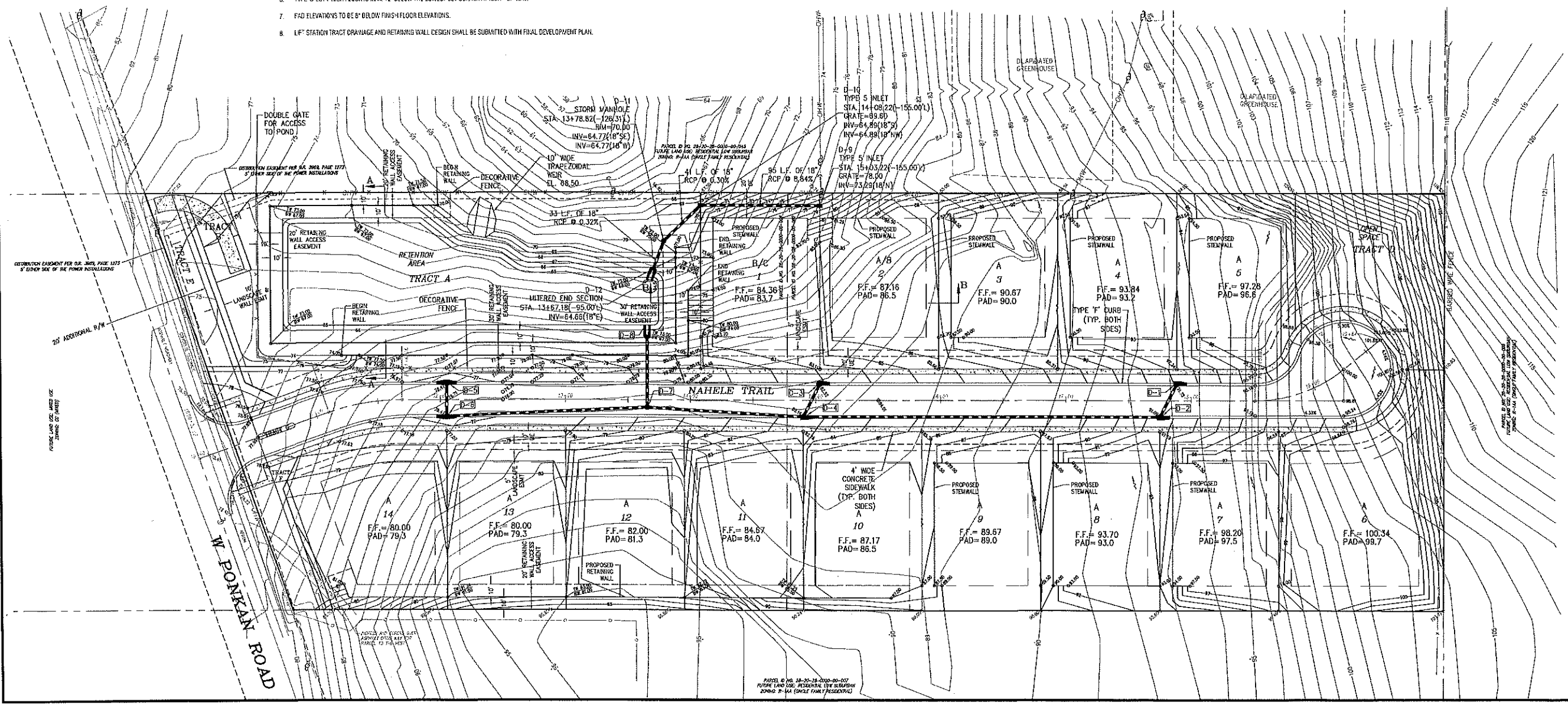
GENERAL NOTES:

1. ALL FINISH FLOOR ELEVATIONS SHALL BE A MINIMUM OF 6" ABOVE THE HIGHEST GRADE ADJACENT TO BUILDING PAD. FLOOR ELEVATIONS SHOWN ARE BASED ON THE MINIMUM FRONT SETBACK. ALL GRADING TYPE A & B LOT FINISH FLOORS SHALL BE AT LEAST 15" ABOVE THE HIGHEST ROAD CROWN ALONG LOT FRONTAGE.
2. DRIVEWAYS SHALL NOT EXCEED A SLOPE OF 14% ±.
3. LOTS WHICH HAVE NO BUILDING ENVELOPES SHOWN ARE TO BE GRADED TO LOT CORNER GRADES INDICATED, AND SPLIT LEVEL OR STEM WALL HOMES WILL BE DETERMINED BY BUILDING CONTRACTOR.
4. TYPE 'A' LOT FINISH FLOOR IS MIN. 18" ABOVE THE HIGHEST LOT CORNER AT RIGHT-OF-WAY.
5. TYPE 'B' LOT FINISH FLOOR IS MIN. 15" ABOVE THE HIGHEST LOT CORNER AT RIGHT-OF-WAY.
6. TYPE 'C' LOT FINISH FLOOR IS MAX. 12" BELOW THE LOWEST LOT CORNER AT RIGHT-OF-WAY.
7. FFD ELEVATIONS TO BE 6" BELOW FINISH FLOOR ELEVATIONS.
8. 1/4" STATION TRACT DRAINAGE AND RETAINING WALL DESIGN SHALL BE SUBMITTED WITH FINAL DEVELOPMENT PLAN.

FINISH PADS TO BE FILLED IN 12" LIFTS AND COMPACTED TO 95% PER AASHTO-T199. FINISH FLOOR ELEVATIONS TO BE 6" MINIMUM ABOVE FINISH PAD ELEVATIONS.

STORM SYSTEM STATEMENT:

STORM WATER MANAGEMENT SYSTEM TO BE DESIGNED IN ACCORDANCE WITH THE CITY OF APOPKA AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD). STORM WATER MANAGEMENT SYSTEM TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. STORM RUNOFF WILL BE COLLECTED BY ROADS AND STORM SEWERS, HENCE CONVEYED TO RETENTION PONDS WITH PARTICULAR ATTENTION WILL BE GIVEN TO WATER QUALITY AND DISCHARGE RATES IF ANY, SO AS TO MAINTAIN THE PRECIPITATION DISCHARGE RATES.



DATE	REVISION
12-05-16	1. REVISED PER 11-30-16 CITY OF APOPKA DRC COMMENTS
10-05-17	2. REVISED PER JUNE 2017 CITY OF APOPKA DRC COMMENTS
02-16-18	3. REVISED PER DECEMBER 2017 CITY OF APOPKA DRC COMMENTS
07-13-18	4. REVISED PER MARCH 2018 CITY OF APOPKA DRC COMMENTS

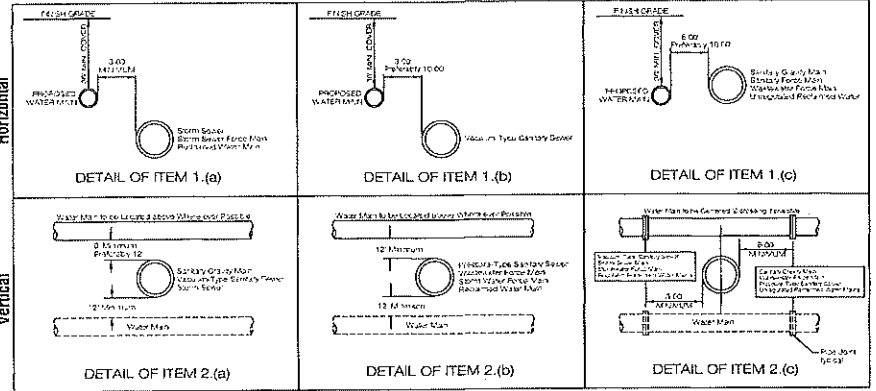
PONKAN RESERVE GRADING & DRAINAGE PLAN

DATE:	09-16-16
DESIGNED BY:	GCH
DRAWN BY:	CCH/RLG
CHECKED BY:	GCH
JOB NO.:	161079.0000
FILE NAME:	PONKAN RESERVE

Sheet 6

STUDY OF APOPKA 161079.0000 Ponkan Reserve, CIVIL CONSTRUCTION 161079.0000 Ponkan Reserve, 12/21/2018 8:21:18 PM, CCHG, 161079.gcd

UTILITY SEPARATIONS



General Water Notes

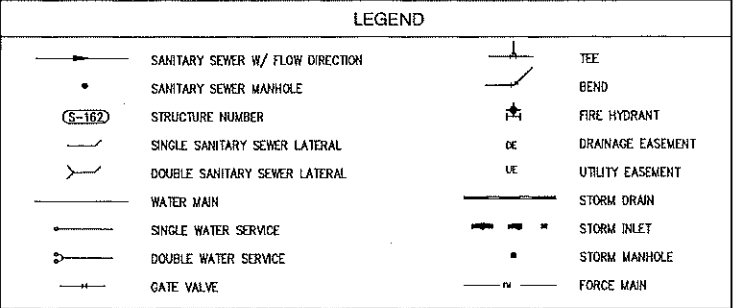
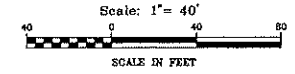
1. WATER SYSTEM COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS, CLEANED, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AVMA STANDARDS AND CHAPTER 62-555 FLORIDA ADMINISTRATIVE CODE.
2. ALL PIPING SHALL BEAR THE "UP" SEAL FOR PORTABLE WATER.
3. WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, OR 18 FOR PIPE SIZES 4" - 12". PIPES 14" OR LARGER SHALL BE AWWA C-905, DR 18. ALL COUPLINGS, CLEANING COMPOUNDS, SOLVENTS, LUBRICANTS, AND PIPE PREPARATION, FOR LAYING, SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURERS LATEST RECOMMENDATIONS.
4. DEPTH OF WATER LINES TO BE 36" MINIMUM COVER FROM FINISH GRADE.
5. WATER MAINS TO BE LOCATED 6" FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
6. ALL SLEEVES UNDER PAVEMENT SHALL EXTEND 8" BEYOND THE BACK OF CURB.
7. DISINFECTING: FOLLOWING THE PRESSURE TESTING, THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM. DISINFECTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF AVMA STANDARD C691 "DISINFECTING WATER MAINS", AND ALL APPROPRIATE AGENCY APPROVAL.
8. ALL HYDROSTATIC TEST SHALL BE IN ACCORDANCE WITH AWWA C200 FOR DUCTILE IRON PIPE AND C900/C905 FOR PVC PIPE.
9. TWO INCH (2") WATER MAINS SHALL BE POLYETHYLENE (PE). FOUR INCH (4") TO TWELVE INCH (12") WATER MAINS SHALL BE POLYVINYLCHLORIDE (PVC). HOPE DIRECTIONAL BORE, OR DUCTILE IRON PIPE (DIP). ALL PVC PIPE SHALL BE POTABLE WATER BLUE, HAVE IDENTIFYING TAPE AND LOCATION TAPE ON TOP. PVC PIPE 4" TO 12" IN DIAMETER SHALL MEET REQUIREMENTS OF ANSI/AWWA C-900, C-905. PVC PIPE 14" TO 18" IN DIAMETER SHALL MEET REQUIREMENTS OF ANSI/AWWA C-905, DR-18. HOPE PIPE SHALL MEET REQUIREMENTS OF ANSI/AWWA C-905, DR-9 AND DR-11.

Utility Construction Notes (DEP)

- 62-555.314 Location of Public Water System Mains:
- For the purpose of this section, the terms "Water Mains" shall mean mains, including treatment plant process piping, conveying either raw, partially treated, or finished drinking water; Fire Hydrant leads; and service lines that are under the control of a Public Water System and that have an inside diameter of three (3") inches or greater.
1. Horizontal Separation Between Underground Water Mains and Sanitary or Storm Sewers, Wastewater or Storm Water, Force Mains, Reclaimed Water Pipelines, and On-site Sewage Treatment and Disposal Systems:
 - a. New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (3) Three Feet between the outside of the WATER MAIN and the outside of any existing or proposed Storm Sewer, Storm Water Force Main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
 - b. New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (3) Three Feet, and preferably (10) Ten Feet, between the outside of the WATER MAIN and the outside of any existing or proposed vacuum-type Sanitary Sewer.
 - c. New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (6) Six Feet, and preferably (10) Ten Feet, between the outside of the WATER MAIN and the outside of any existing or proposed Gravity- or Pressure-type Sanitary Sewer, Wastewater Force Main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610 F.A.C. The Minimum Horizontal Separation Distance between WATER MAINS and Gravity-type Sanitary Sewers shall be reduced to (3) Three Feet where the BOTTOM of the WATER MAIN is laid at least (6) Six Inches above the Top of the Sewer.
 - d. New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (10) Ten Feet between the outside of the WATER MAIN and all parts of any existing or proposed "On-site Sewage Treatment and Disposal System" as defined in Section 381.005(2), F.S. and Rule 64E-6.002, F.A.C.
 2. Vertical Separation Between Underground WATER MAINS and Sanitary or Storm Sewers, Wastewater or Storm Water, Force Mains, and Reclaimed Water Pipelines:
 - a. New or relocated underground WATER MAINS crossing any existing or proposed gravity- or vacuum-type sanitary sewer or storm sewer shall be laid so the outside of the WATER MAIN is at least (6) Six inches, and preferably (12) inches, or at least (12) inches below the outside of the other pipeline. However, it is preferable to lay the WATER MAIN "ABOVE" the other pipeline.
 - b. New or relocated, underground WATER MAINS crossing any existing or proposed pressure-type sanitary sewer, wastewater or stormwater Force Main, or Pipeline conveying reclaimed water shall be laid so the outside of the WATER MAIN is at least (12) inches ABOVE or BELOW the Outside of the other pipeline. However, it is preferable to lay the WATER MAIN above the other pipeline.
 - c. At the utility crossings described in paragraphs (a) & (b) Above, one full length of Water Main Pipe shall be centered above or below the other pipeline so the WATER MAIN JOINTS will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all WATER MAIN JOINTS are at least (3) Three feet from all joints in vacuum-type Sanitary Sewers, Storm Sewers, Stormwater Force Mains, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least (6) Six Feet from all joints in Gravity- or Pressure- type Sanitary Sewers, Wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.
 3. Separation Between WATER MAINS and Sanitary or Storm Sewer Manholes:
 4. Separation Between Fire Hydrant Drains and Sanitary or Storm Sewers, Wastewater or Stormwater Force Mains, Reclaimed Water Pipelines, and On-site Sewage Treatment and Disposal Systems. New or relocated Fire Hydrants with underground drains shall be located so that the drains are at least (3) Three Feet from any existing or proposed storm sewer, Stormwater force main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.; at least (3) Three Feet, from any existing or proposed gravity- or Pressure-type Sanitary Sewer, Wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.; and at least (10) Ten Feet from any existing or proposed "on-site sewage treatment and disposal system" as defined in Section 381.005(2), F.S. and Rule 64E-6.002, F.A.C.
 5. Exceptions/Mitigation: Adherence to the above Constraints and Separations in Items 1 through 4 shall be complied to, "WITHOUT EXCEPTION". If for some reason where it is not technically feasible or Economically Sensible that Items 1 through 4 cannot be complied with, Contractor will Stop Work and notify the Engineer of record for the appropriate solution, which will be submitted to The Department of Environmental Protection for APPROVAL, prior to work commencing.

Sanitary Sewer Note

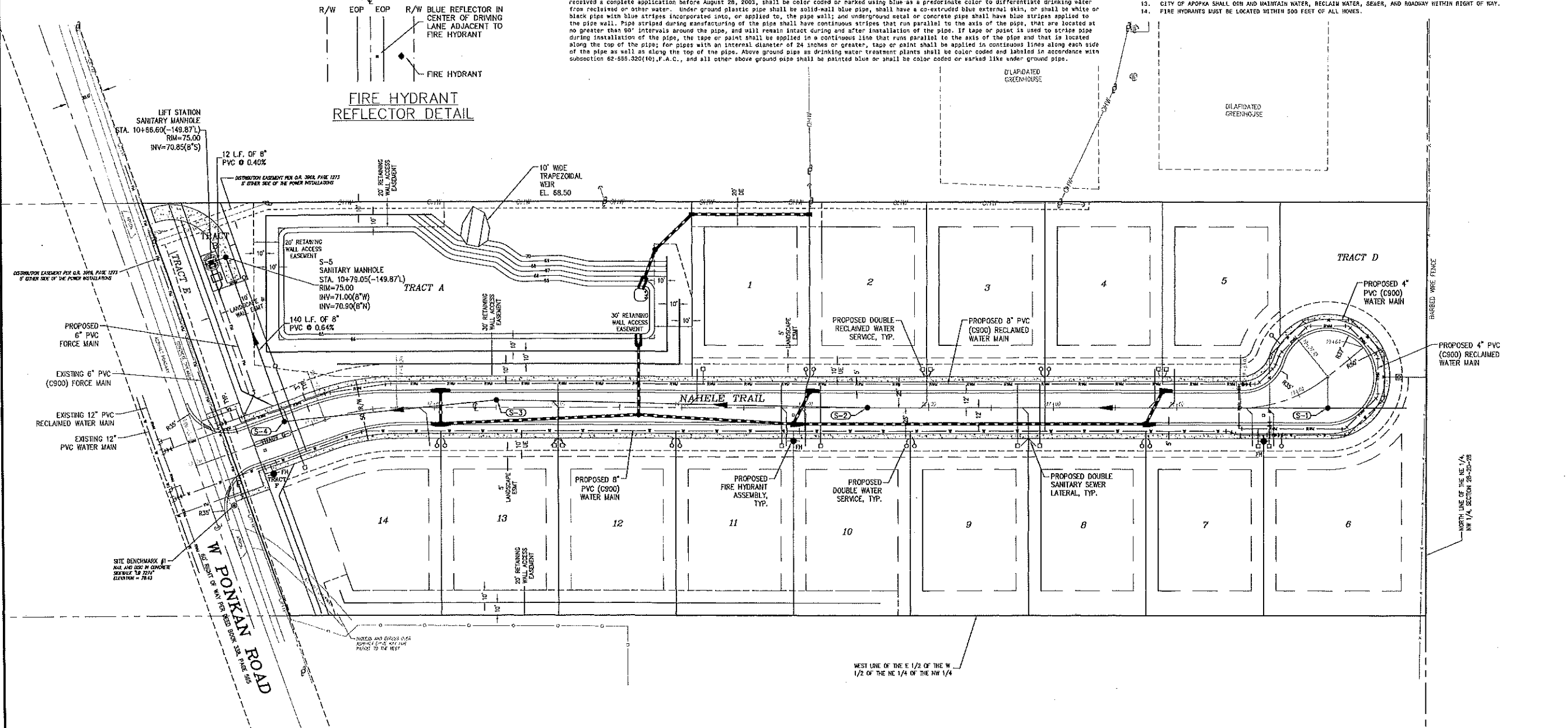
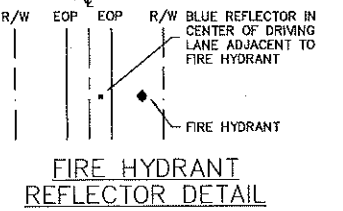
1. FOUR INCH (4") TO TWENTY FOUR INCH (24") SEWER FORCE MAINS SHALL BE POLYVINYLCHLORIDE (PVC) OR DUCTILE IRON PIPE (DIP) BASED ON PRESSURE. ALL PVC PIPE SHALL BE SEWER GREEN WITH IDENTIFYING TAPE AND LOCATING WIRE. PVC FORCE MAIN PIPE SHALL MEET REQUIREMENTS OF ANSI/AWWA C-900, DR 14 AND DR 18 FOR SIZES FOUR INCH (4") THROUGH TWELVE INCH (12"); C-905, DR18 FOR SIZES 14" THROUGH 36".



- NOTES:
1. THE PROPERTY WILL NOT BE A GATED COMMUNITY. THE STREETS WILL BE PUBLIC AND DEDICATED TO THE CITY OF APOPKA.
 2. CONTRACTOR SHALL ESTABLISH BEST MANAGEMENT PRACTICES AND EROSION CONTROL METHODS PRIOR TO COMMENCING ANY SITE CLEARING OR DEMOLITION AND SHALL MAINTAIN THOSE BARRIERS UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER (SEE MOST RECENT FOOT STANDARD SPECIFICATIONS)
 3. EROSION CONTROL MEASURES SHOWN ON THIS DRAWING ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS THE REQUIREMENTS OF ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
 4. ALL STATION AND OFFSETS REFER TO CENTERLINE ROAD CONSTRUCTION UNLESS OTHERWISE NOTED IN THE PLANS.
 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY EXCAVATION.
 6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 7. ALL HYDROSTATIC TEST SHALL BE IN ACCORDANCE WITH AWWA C200 FOR DUCTILE IRON PIPE AND AWWA C900 FOR PVC PIPE.
 8. THE DISINFECTION FOR WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH AWWA C691 (DISINFECTING WATER MAINS).
 9. ALL POLYETHYLENE MATERIAL SHALL BE PER AWWA C901.
 10. WELLS TO BE ABANDONED BY PROPER PERMITTING (BY OTHERS)
 11. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF APOPKA UTILITY CONSTRUCTION SPECIFICATIONS.
 12. ALL ROADWAYS, WATER LINE INFRASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
 13. CITY OF APOPKA SHALL OWN AND MAINTAIN WATER, SEWER, AND ROADWAY WITHIN RIGHT OF WAY.
 14. FIRE HYDRANTS MUST BE LOCATED WITHIN 500 FEET OF ALL HOMES.

Color Coding

All water main pipes, including fittings, installed on or after August 28, 2003, except pipe installed under a construction permit for which the Department received a complete application before August 28, 2003, shall be color coded or marked using blue as a predominant color to differentiate drinking water from reclaimed or other water. Under ground plastic pipe shall be solid-wall blue pipe, shall have a co-extruded blue external skin, or shall be white or black pipe with blue stripes incorporated into, or applied to, the pipe wall; and underground metal or concrete pipe shall have blue stripes applied to the pipe wall. Pipe striped during manufacturing of the pipe shall have continuous stripes that run parallel to the axis of the pipe, that are located at no greater than 90° intervals around the pipe, and will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint shall be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipes with an internal diameter of 24 inches or greater, tape or paint shall be applied in continuous lines along each side of the pipe as well as along the top of the pipe. Above ground pipe as drinking water treatment plants shall be color coded and labeled in accordance with subsection 62-555.320(10), F.A.C., and all other above ground pipe shall be painted blue or shall be color coded or marked like underground pipe.

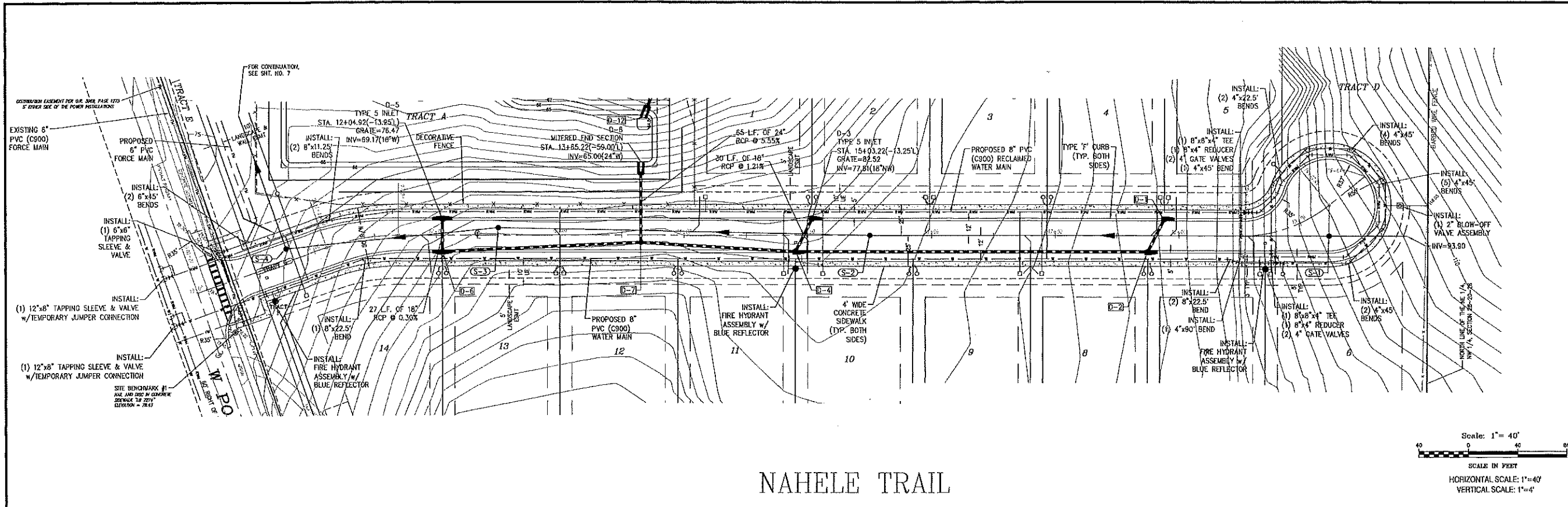


PONKAN RESERVE UTILITY PLAN

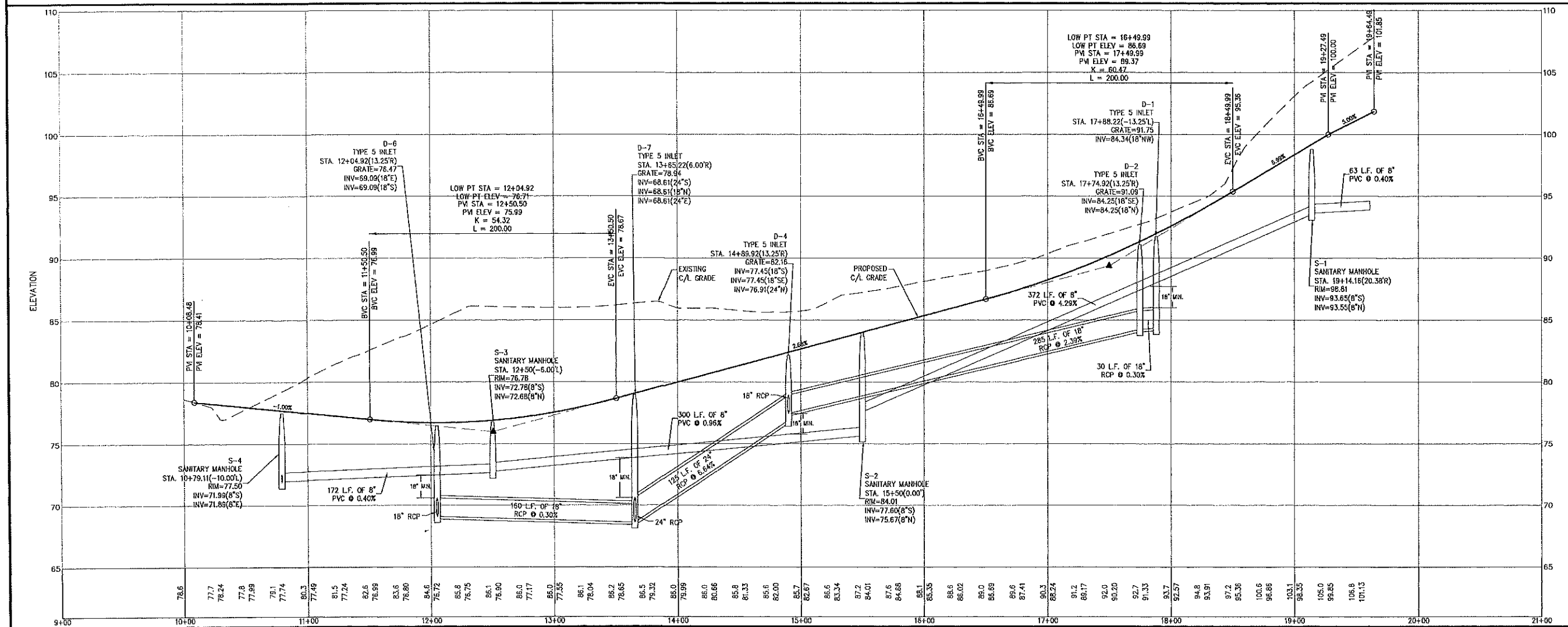
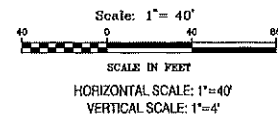
DATE: 09-16-16
 DESIGNED BY: CCH
 DRAWN BY: CCH/RLG
 CHECKED BY: CCH
 JOB NO.: 161079.0000
 FILE NAME: PONKAN RESERVE

Sheet 7

Professional Engineer No. 54113
 License No. 12038
 State of Florida



NAHELE TRAIL



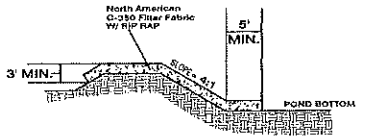
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10-10-17	2	REVISED PER JUNE 2017 CITY OF APOPKA DRC COMMENTS
10-16-18	3	REVISED PER DECEMBER 2017 CITY OF APOPKA DRC COMMENTS
07-13-18	4	REVISED PER MARCH 2018 CITY OF APOPKA DRC COMMENTS
	5	
	6	
	7	
	8	

PONKAN RESERVE
NAHELE TRAIL
PLAN & PROFILE

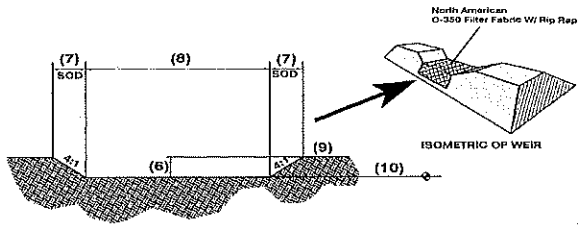
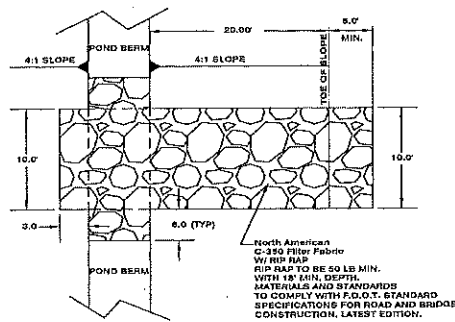
DATE:	09-16-18
DESIGNED BY:	CCH
DRAWN BY:	RLG
CHECKED BY:	CCH
JOB NO.:	161079.0000
FILE NAME:	PONKAN RESERVE

Sheet 8

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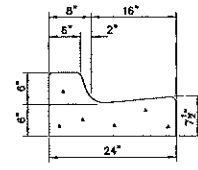


CONCRETE WEIR SECTION
NTS



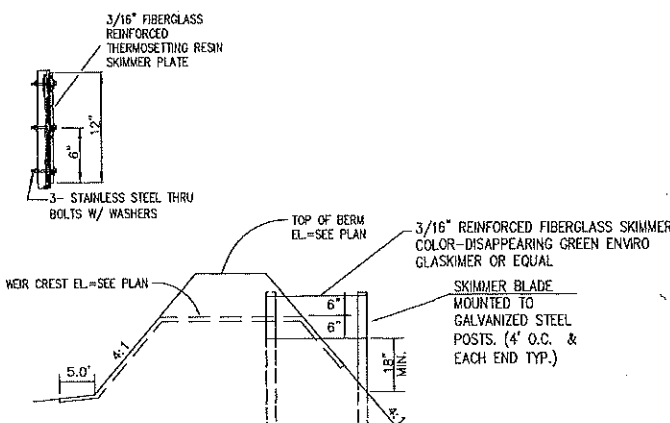
TYPICAL WEIR SECTION
(FOR WET RETENTION)

WEIR SECTION DATA					
WRA NUMBER	(6) (ft)	(7) (ft)	(8) (ft)	(9) (ft)	(10) (ft)
D.R.A. 1	1.50	6.00	10.00	70.00	68.50

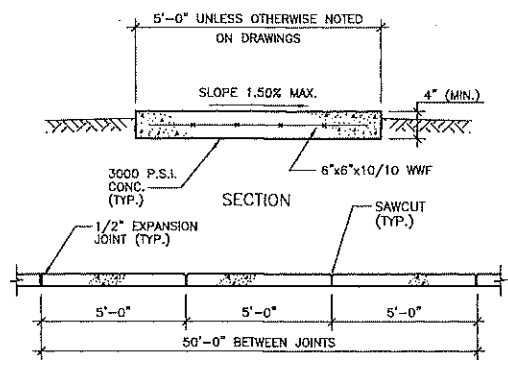


TYPE "F" CURB DETAIL
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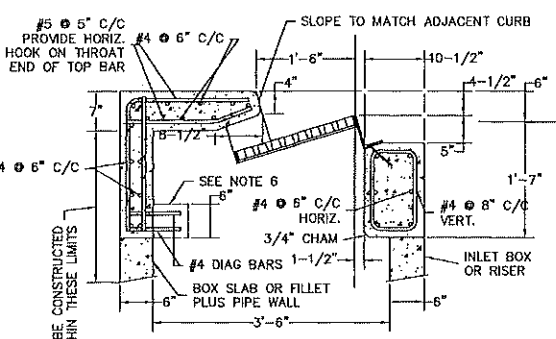
FOR CORNER RADI ON ALL CURBS SHOWN, SEE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX 300 TO BE CONSTRUCTED WITH 3000 P.S.I. CONCRETE WITH 1/2" TO 1/4" CONTROL JOINTS AT 10.00' CENTERS



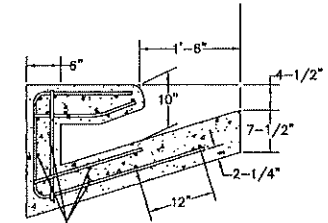
ELEVATION
SKIMMER DETAIL



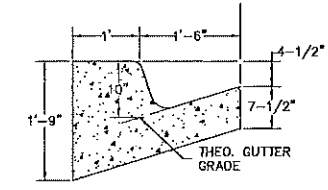
CONCRETE WALKWAY DETAIL
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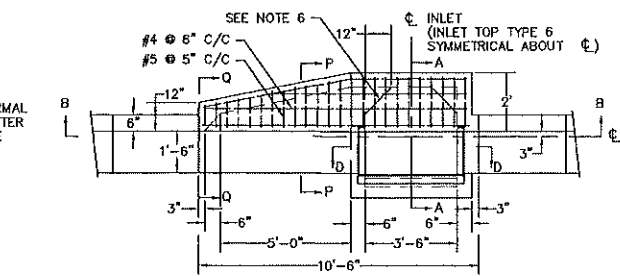
SECTION A-A



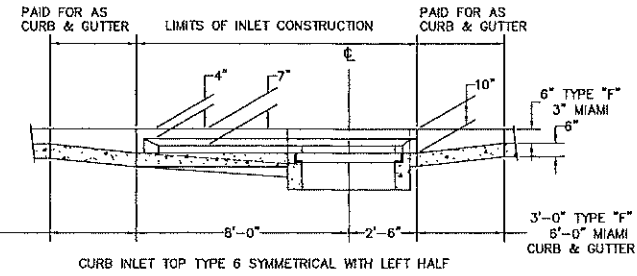
SECTION P-P



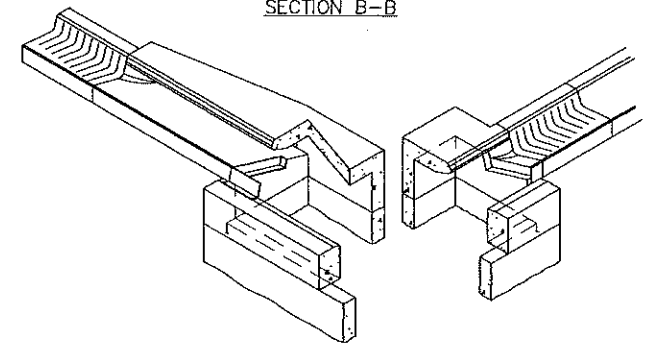
SECTION Q-Q



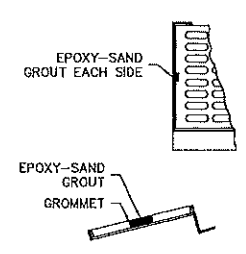
TOP VIEW



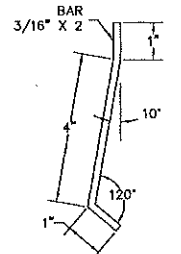
SECTION B-B



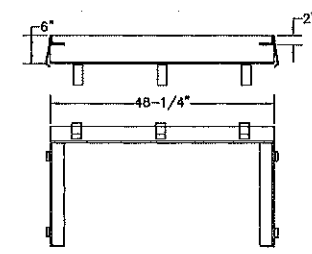
SECTION SHOWING FRAME SEAT AND THROAT RECESS



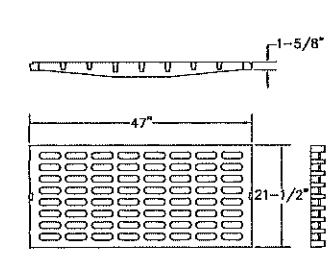
GROUTING DETAIL



ANCHOR DETAIL



STEEL ANGLE FRAME

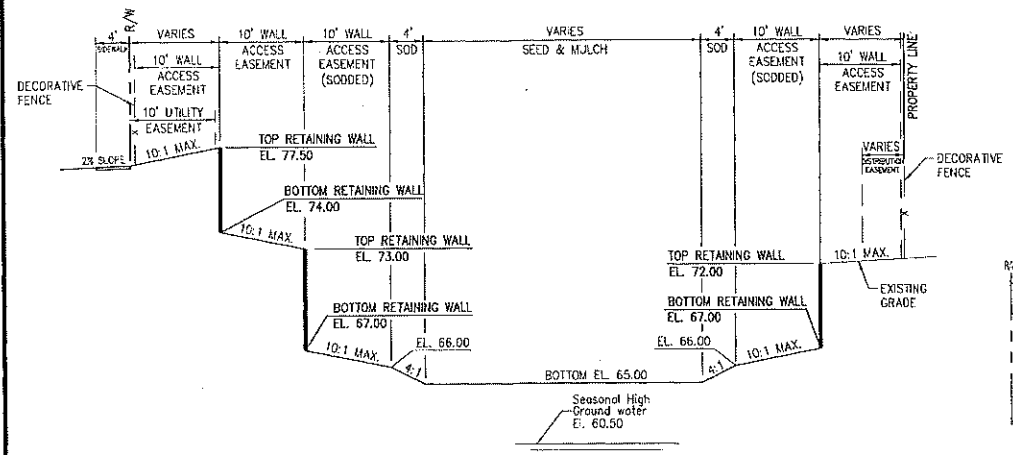


CAST IRON COVER

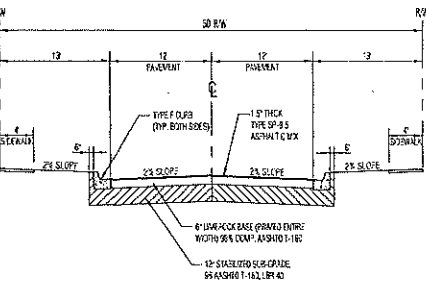
CURB INLET TOPS TYPES 5 & 6

GENERAL NOTES

1. THE FINISHED GRADE AND SLOPE OF THE INLET TOPS ARE TO CONFORM WITH THE FINISHED CROSS SLOPE AND GRADE OF THE PROPOSED SIDEWALK AND/OR PARKWAY.
2. WHEN UNITS ARE TO BE CONSTRUCTED ON A CURVE, REFER TO THE PLANS TO DETERMINE THE RADIUS AND, WHERE NECESSARY, MODIFY THE INLET DETAILS ACCORDINGLY. BEND STEEL WHEN NECESSARY.
3. ALL REINFORCING STEEL SHALL HAVE 1-1/4" MINIMUM COVER UNLESS OTHERWISE SHOWN. INLET TOPS SHALL BE CAST-IN-PLACE OR PRECAST CONCRETE.
4. PRECASTING OF THIS INLET TOP WILL BE PERMITTED. PRECAST UNITS SHALL CONFORM TO THE DIMENSIONS SHOWN OR IN ACCORDANCE WITH APPROVED SHOP DRAWINGS. REQUEST FOR SHOP DRAWING APPROVAL SHALL BE DIRECTED TO THE ENGINEER.
5. CONCRETE MEETING THE REQUIREMENTS OF A.S.T.M. C 478 (4,000 P.S.I.) MAY BE USED IN LIEU OF CLASS 1 CONCRETE FOR PRECAST UNITS, MANUFACTURED IN PLANTS WHICH ARE UNDER STANDARD OPERATING PROCEDURES FOR THE INSPECTION OF PRECAST CONCRETE PRODUCTS.
6. THE CORNER FILLETS SHOWN FOR RECTANGULAR THROATS ARE NECESSARY ONLY WHEN THROATS ARE TO BE USED IN CONJUNCTION WITH CIRCULAR INLET BOTTOMS OR WHEN USED ON SKEW WITH RECTANGULAR INLET BOXES.
7. FOR INLET BOXES SEE FOOT INDEX NO. 425.
8. THESE INLET TOPS ARE DESIGNED FOR USE WITH STANDARD CURB AND GUTTER TYPE E AND TYPE F. LOCATE OUTSIDE OF PEDESTRIAN CROSSWALK WHERE PRACTICAL.
9. SEE FOOT INDEX NO. 425 FOR SUPPLEMENTAL DETAILS.
10. ALL STEEL USED FOR THE GRATING FRAME SHALL MEET THE REQUIREMENTS OF A.S.T.M. A-36.
11. CAST IRON COVERS SHALL BE USED. IRON COVERS SHALL BE CLASS NO. 30 CASTINGS IN ACCORDANCE WITH A.S.T.M. A-48.
12. CURB INLET FRAME AND GRATE SHALL BE US FOUNDRY # 5160 OR EQUAL.
13. COVERS ARE TO BE GROUTED IN ACCORDANCE WITH THE GROUTING DETAIL IN LIEU OF TACK WELDING.
14. INLET TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR CURB INLETS TYPE 5 OR 6.



RETENTION AREA
SECTION A-A
NTS



50' RIGHT-OF-WAY TYPICAL STREET SECTION
(20 M.P.H. DESIGN SPEED)
NOT TO SCALE

DATE	REVISION	DESCRIPTION
12-02-16	1	REVISED PER 11-02-16 CITY OF APOPKA DRC COMMENTS
10-19-17	2	REVISED PER JUNE 2017 CITY OF APOPKA DRC COMMENTS
02-16-18	3	REVISED PER DECEMBER 2017 CITY OF APOPKA DRC COMMENTS
07-15-18	4	REVISED PER MARCH 2018 CITY OF APOPKA DRC COMMENTS

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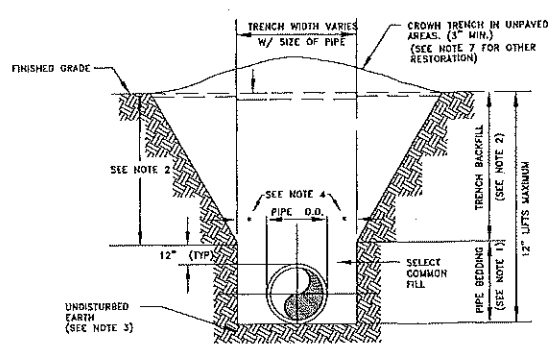
PONKAN RESERVE PAVING & DRAINAGE DETAILS

BOOTH BEN STRAUBER AND HOTT
ENGINEERS
SURVEYORS
LAND PLANNERS
10000 W. UNIVERSITY BLVD., SUITE 100
MIRAGE, FLORIDA 32951
Tel: 352-243-8888
Fax: 352-243-8895
Certificate of Authorization Number: 27029
Geod. - Rebr. - 65584

DATE: 09-16-16
DESIGNED BY: CCH
DRAWN BY: CCH/RLG
CHECKED BY: CCH
JOB NO.: 161079.0000
FILE NAME: PONKAN RESERVE

Sheet 9

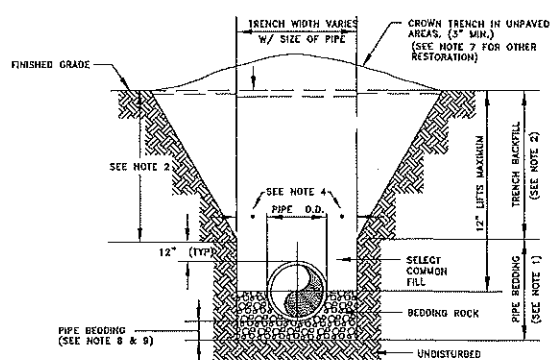
CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER
FLORIDA
NOVEMBER 15, 2008
12000 W. UNIVERSITY BLVD., SUITE 100
MIRAGE, FLORIDA 32951
Tel: 352-243-8888
Fax: 352-243-8895



- NOTES:
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS TO AASHTO T-180.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE CITY.
 - (*) 15" MAX. FOR PIPE DIAMETERS LESS THAN 24", AND 24" FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.
 - SURFACE RESTORATION WITHIN CITY RIGHT-OF-WAY, SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS.
 - ALL UNPAVED DISTURBED AREAS SHALL BE SOEDED TO MATCH ADJACENT DOMINANT GRASS SPECIES.

TYPE "B" BEDDING AND OPEN-CUT DETAIL

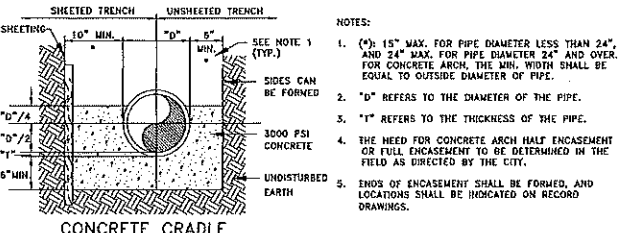
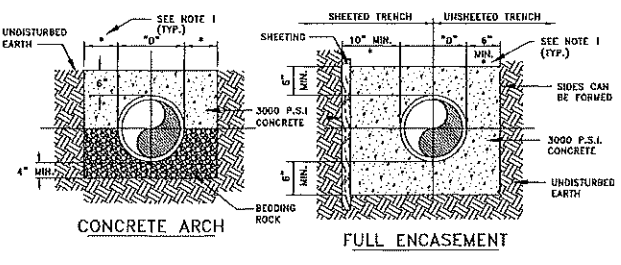
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 100



- NOTES:
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - USE OF TYPE A BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY.
 - (*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - GRAVITY SEWERS SHALL UTILIZE TYPE A BEDDING IF REQUIRED BY THE CITY. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER LESS THAN 15" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
 - DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL COVER DEPTH OF BEDDING ROCK BELOW THE PIPE. THE CITY SHALL DETERMINE IN THE FIELD IF REMOVAL OF UNSUITABLE MATERIAL IS REQUIRED TO REACH A SUITABLE FOUNDATION.
 - ALL UNPAVED DISTURBED AREAS SHALL BE SOEDED TO MATCH ADJACENT DOMINANT GRASS SPECIES.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF THE GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY RIGHT-OF-WAY, SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS.

TYPE "A" BEDDING AND OPEN-CUT DETAIL

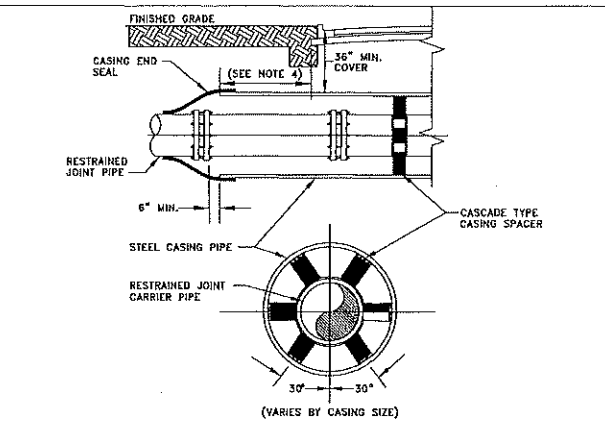
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 101



- NOTES:
- (*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND OVER. FOR CONCRETE ARCH, THE MIN. WIDTH SHALL BE EQUAL TO OUTSIDE DIAMETER OF PIPE.
 - "D" REFERS TO THE DIAMETER OF THE PIPE.
 - "T" REFERS TO THE THICKNESS OF THE PIPE.
 - THE NEED FOR CONCRETE ARCH HALF ENCASEMENT OR FULL ENCASEMENT TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY.
 - ENDS OF ENCASEMENT SHALL BE FORMED, AND LOCATIONS SHALL BE INDICATED ON RECORD DRAWINGS.

CONCRETE ARCH AND ENCASEMENT DETAILS

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 102



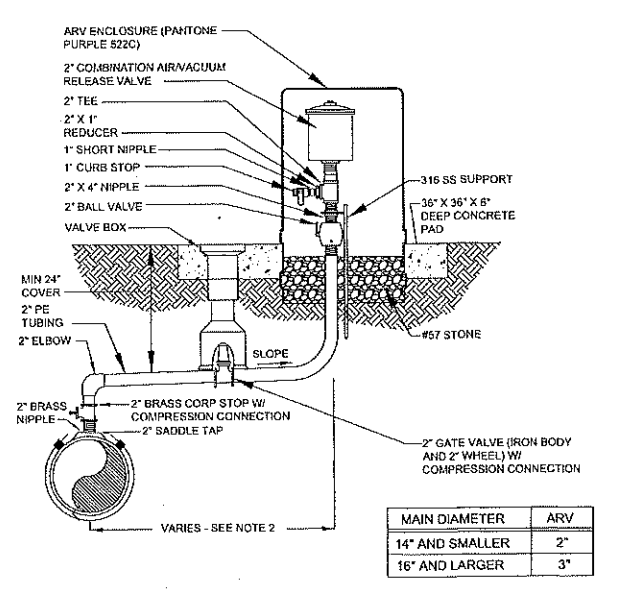
(VARIES BY CASING SIZE)

CARRIER PIPE NOMINAL DIAMETER	4	6	8	10	12	16	20	24	30	36	42
MINIMUM CASING OUTSIDE DIAMETER (INCHES)	15	16	18	20	24	30	36	42	48	54	60
MINIMUM CASING WALL THICKNESS (INCHES)	.250"	.250"	.250"	.250"	.250"	.312"	.375"	.500"	.500"	.500"	.500"

- NOTES:
- WHEN CONSTRUCTION IS WITHIN FOOT OR RAILROAD JURISDICTION, ADDITIONAL REQUIREMENTS SHALL BE MET.
 - DISTANCE BETWEEN SPACERS TO BE PER MANUFACTURER'S SPECIFICATIONS.
 - NO FLOWABLE FILL BETWEEN THE ANNULAR SPACE OF THE CASING OR CARRIER PIPE.
 - WHERE PRACTICAL, CASING SHALL EXTEND 10 FEET BEYOND EDGE OF PAVEMENT AND SHALL NOT BE LESS THAN 6 FEET BEYOND EDGE OF PAVEMENT IN ANY CASE. THE CITY MAY REQUIRE LONGER CASING FOR DEEPER BORES.

BORING AND JACKING DETAIL

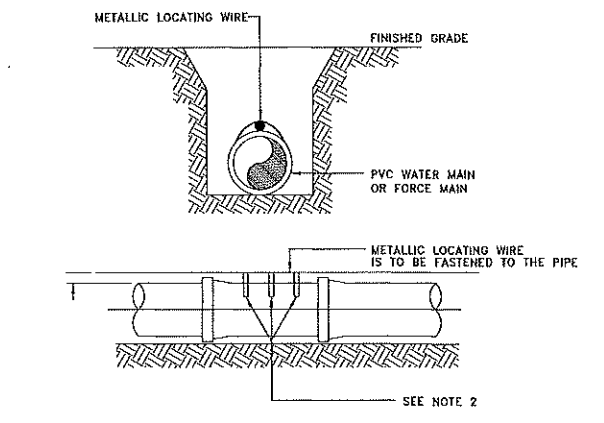
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 108



- NOTES:
- FOR RECLAIMED WATER USE ONLY.
 - OFFSET DISTANCE TO BE FIELD DETERMINED AND AS CLOSE TO THE RW LINE AS POSSIBLE.
 - ADJUST HORIZONTAL LOCATION OF SIDEWALK, AS REQUIRED TO AVOID ARV ENCLOSURE.
 - LOCATE ARV ENCLOSURE WITHIN 6" OF RW LINE.

OFFSET COMBINATION AIR/VACUUM RELEASE VALVE DETAIL - RECLAIMED WATER ONLY

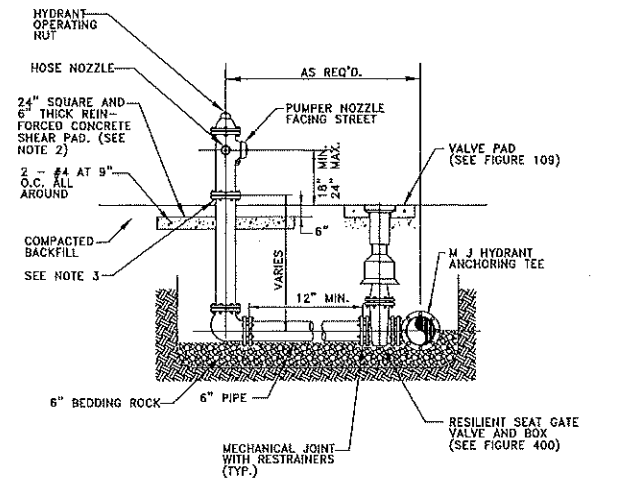
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 113



- NOTES:
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 AWG-SOLID CCS REINFORCED TRACER WIRE-INSULATED 30 MIL HDPE - 30 VOLT MFG. BY COPPERHEAD INDUSTRIES, LLC OR EQUAL) CAPABLE OF DETECTION BY A CABLE LOCATOR.
 - SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE AND ATTACHED WITH DUCT TAPE OR NYLON STRAPS AT 3 LOCATIONS PER JOINT. LOCATING WIRE SHALL TERMINATE AT THE TEST STATION BOX AS SHOWN IN FIG. 109.
 - BE CAPABLE OF EXTENDING 12" ABOVE TOP OF TEST STATION BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
 - SPICES SHOULD BE MADE USING STANDARDS AND PRODUCTS DESIGNED FOR DIRECT BURIAL CONDUCTORS.
 - WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

PVC PIPE LOCATING WIRE DETAIL

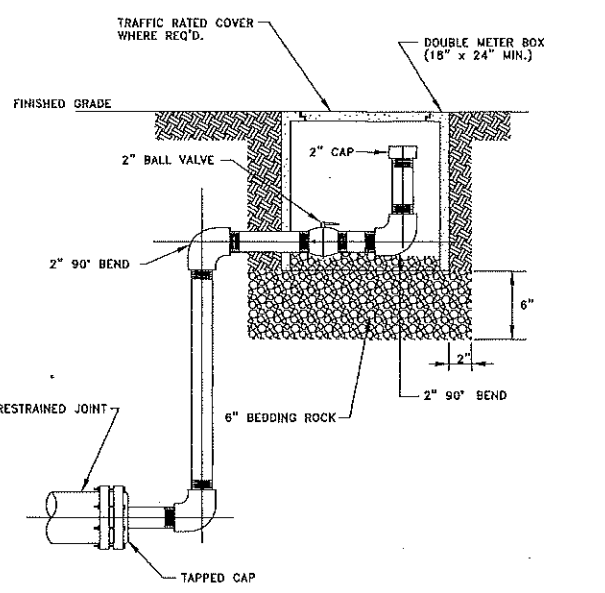
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 118



- NOTES:
- FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE.
 - THE SHEAR PAD SHALL BE RECESSED SIX (6) INCHES BELOW THE FINISHED GRADE AND THE RECESSED SECTION SOEDED.
 - CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE A TWELVE (12) INCH MINIMUM.
 - FIRE HYDRANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE CITY OF APOPKA UTILITIES DESIGN CONSTRUCTION STANDARDS MANUAL.

FIRE HYDRANT ASSEMBLY DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 402



- NOTES:
- ALL 2 INCH PIPE AND FITTINGS SHALL BE SCHEDULE 40 GALVANIZED STEEL OR BRASS WITH THREADED (NPT) JOINTS. USE TEFLON TAPE ON JOINTS.
 - COLOR SHALL BE APPROPRIATE FOR USE.

BLOWOFF VALVE DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 403

REVISION

NO.	DATE	DESCRIPTION
1	12-02-15	REVISED PER 11-02-15 CITY OF APOPKA DIR COMMENTS

PONKAN RESERVE WATER & SEWER DETAILS

BOOTH ERN STRAUGHAN & HIOTT, INC. ENGINEERS SURVEYORS

10 YEARS OF EXPERIENCE

1000 N. W. 10th Street, Suite 200, Fort Lauderdale, FL 33304

Phone: (954) 349-3377

Certificate of Authorization Number: 27029

Good... Better... BEST!

DATE: 09-16-16

DESIGNED BY: CCH

DRAWN BY: CCH/RLG

CHECKED BY: CCH

JOB NO.: 161079.0000

FILE NAME: PONKAN RESERVE

Sheet 10

CHARLES C. HIOTT, P.E.

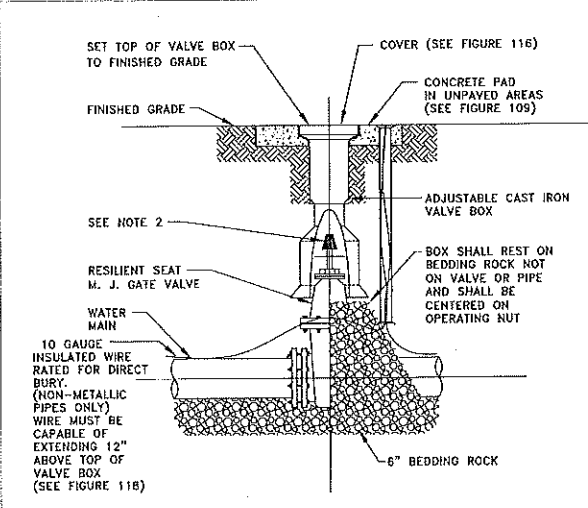
PROFESSIONAL ENGINEER

FLORIDA

NO. 54613

DATE: DEC 11 2018

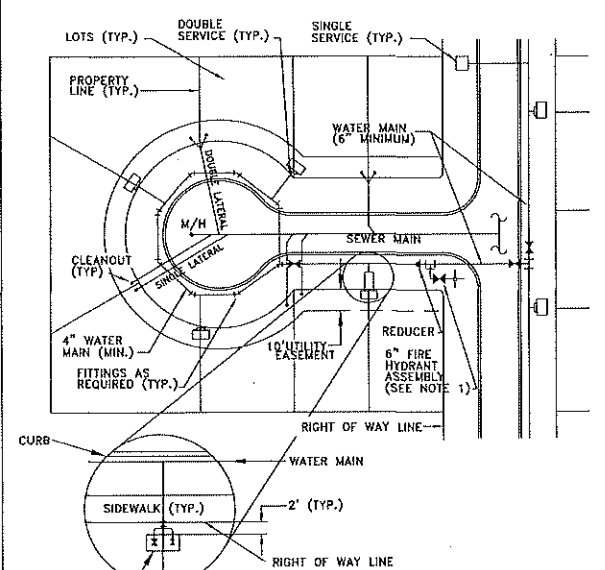
NOTE: THE DETAILS AND SPECIFICATIONS SHOWN ON THIS SHEET WERE SUPPLIED BY THE CITY OF APOPKA AND NOT BY BOOTH ERN STRAUGHAN & HIOTT, INC. BOOTH ERN STRAUGHAN & HIOTT, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF THE DETAILS, DESIGNS, AND SPECIFICATIONS SHOWN ON THIS SHEET.



- NOTES:
1. PVC EXTENSIONS MAY BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO WITHIN A 3 FEET BELOW FINISHED GRADE.

GATE VALVE AND BOX DETAIL

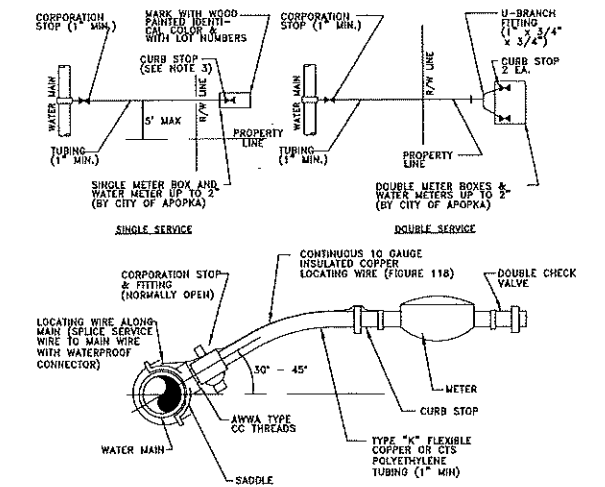
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 400



- NOTES:
1. ANCHORING TYPE 90° BEND SHALL ONLY BE USED WHERE RIGHT-OF-WAY CONSTRUCTION WILL NOT ALLOW INSTALLATION OF A STRAIGHT ASSEMBLY.
 2. POTABLE WATER AND RECLAIMED WATER MAINS SHALL BE LOOPED THROUGHOUT CUL-DE-SAC.

TYPICAL SERVICE LOCATION DETAIL

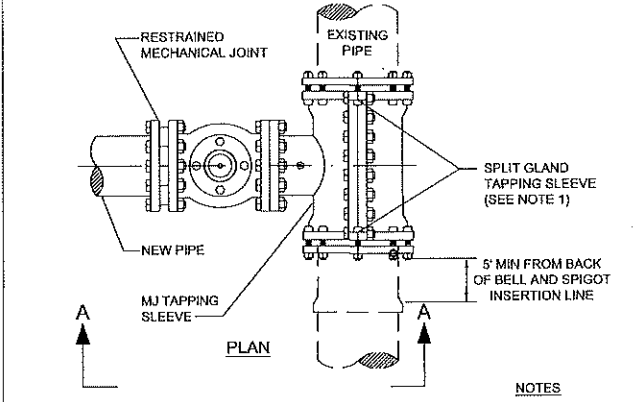
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 404



- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
 2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 3. EACH SERVICE SHALL TERMINATE AT A CURB STOP(S) WHICH SHALL BE BURIED APPROXIMATELY 3' BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" x 2" x 18" STAKE WITH THE TOP PAINTED BLUE FOR POTABLE WATER AND PURPLE FOR RECLAIMED WATER, AND MARKED WITH THE NUMBER OF THE LOT(S) TO BE SERVED.
 4. RECLAIMED WATER SERVICES SHALL USE PURPLE COLORED CTS POLYETHYLENE TUBING.
 5. POTABLE WATER SERVICES SHALL USE BLUE COLORED CTS POLYETHYLENE TUBING.
 6. ALL SERVICE UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE INSTALLED IN A MINIMUM 2" PVC SLEEVE.

WATER SERVICE CONNECTION DETAIL

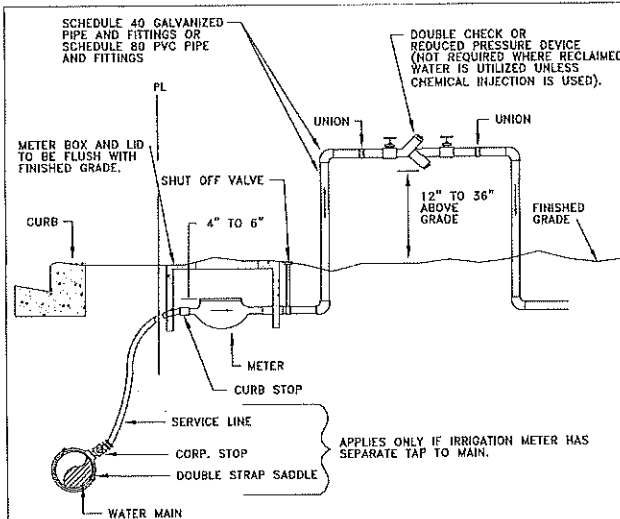
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 405



- NOTES:
1. SIZE ON SIZE WET TAPS WILL CALL FOR FULL ENCIRCLMENT STAINLESS STEEL MJ TAPPING SLEEVE; MUELLER H-304, OR EQUAL.
 2. ALL NEWLY INSTALLED TAPPING SLEEVES & TAPPING VALVES SHALL BE PNEUMATICALLY TESTED AT A TEST PRESSURE OF 150PSI FOR A PERIOD OF THIRTY MINUTES.

SECTION A - A WATER AND RECLAIMED WATER MAINS WET TAP TIE-IN DETAIL

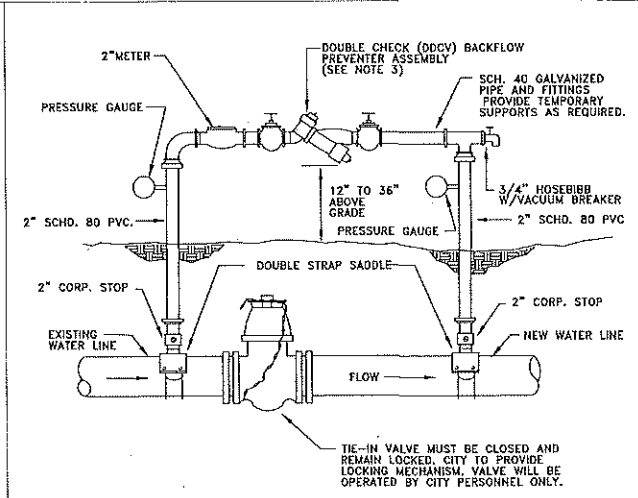
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 406



- NOTES:
1. A POSITIVE DIELECTRIC CONNECTION SHALL BE MADE BETWEEN ALL GALVANIZED AND BRASS COMPONENTS.
 2. METER SHALL BE INSTALLED JUST INSIDE THE ROW LINE OR PROPERTY LINE AND IN NO CASE SHALL IT BE INSTALLED IN THE SIDEWALK OR OTHER PAVED AREAS.
 3. DOUBLE CHECK VALVES MAY BE USED AS LONG AS THEIR ARE NO CHEMICALS OR A WELL ON SITE.
 4. A PVB DEVICE SHALL BE 12-INCHES MINIMUM ABOVE HIGHEST OUTLET OR SPRAYHEAD
 5. ALL BACKFLOW PREVENTION DEVICES ARE TO BE AWWA APPROVED.

IRRIGATION METER AND DOUBLE CHECK VALVE OR REDUCED PRESSURE BACKFLOW PREVENTER

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 502



- NOTE:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, ASSEMBLY, AND THE INSTALLATION OF THE DEVICE.
 2. SEE FIGURE 504C FOR PROCEDURES.
 3. DDCV IS MINIMUM PROTECTION REQUIRED, A RPZ DEVICE MAY BE REQUIRED DEPENDING ON PROJECT. PROVIDE COPY OF LATEST CERTIFICATION TEST RESULTS.

TEMPORARY JUMPER CONNECTION

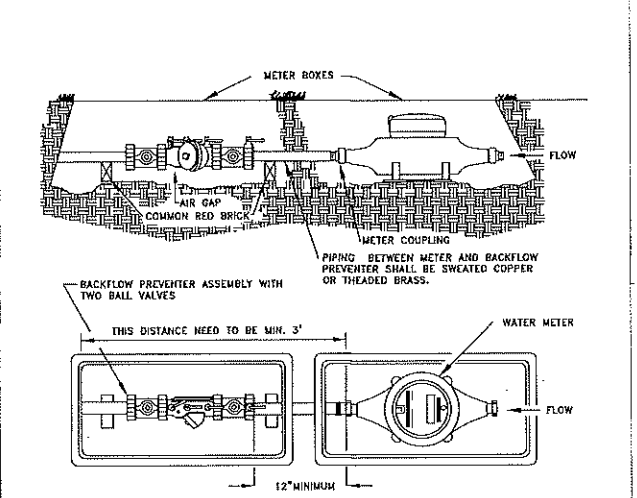
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 504 A

TEMPORARY JUMPER CONNECTION NOTES:

1. A temporary jumper connection is required of all connections between existing active water mains and proposed new water main improvements.
2. Figures 504 A and 504 B to be used for filling any new water main of any size from existing active water mains and for flushing of new mains up to 8 inches in diameter (2.5 FPS minimum velocity) and for pulling bacteriological samples from any new water main of any size. The jumper connection shall be maintained until after filling, flushing and disinfection of the new mains has been successfully completed and cleared for use from the Florida Department of Environmental Protection (FDEP) and other pertinent agencies have been received. The jumper connection shall also be used to maintain a minimum pressure of 20 psi in the new mains after disinfection and until the FDEP clearance letter is obtained. Throat blocking and/or restraints shall be provided temporarily, as required. Pipes and fittings used for connecting the new pipe to the existing pipe shall be disinfected prior to installation in accordance with AWWA C651, 2005 edition. The tapping sleeve and the exterior of the main to be tapped shall be disinfected by spraying or swabbing per section II of AWWA C651-05.
3. Flushing of 10 inches in diameter and larger water mains may be done through the tie-in valve under very controlled conditions. The following procedures shall be followed:
 - A. The tie-in valves shall be operated and pressure tested in the presence of the City engineer to verify water tightness prior to tie-in. Valves which are not water tight shall be replaced with a new valve installed immediately adjacent to the existing valve.
 - B. The temporary jumper connection shall be constructed as detailed. The jumper connection shall be used to fill the new water main and for providing water for bacteriological sampling of the new main as required by the FDEP permit.
 - C. Flushing shall not be attempted during peak demand hours of the existing water mains.
 - D. All downstream valves in the system must be open prior to opening the tie-in valve.
 - E. Provide for and monitor the pressure in the tie-in point. The pressure in the existing main must not drop below 35 psi.
 - F. The tie-in valve shall be opened a few turns only, ensuring a pressure drop across the valve is greater than 10 psi.
 - G. The tie-in valve shall be locked closed by the City personnel until flushing begins.
 - H. The tie-in valve shall be opened only for flushing of the new main. The procedure shall be directed by the City and observed by the engineer.
 - I. After flushing, the tie-in valve shall be closed and locked in the closed position by the City personnel.
4. The contractor shall provide documentation demonstrating that the double check backflow prevention device has been tested and is in good working order at the time of installation.
5. Except as required by flush lines of greater than 8 inches in diameter, the tie-in valve shall remain closed and shall be locked in the closed position by the City. The tie-in valve shall remain locked closed until the new system has been cleared for use by FDEP and all other pertinent agencies.
6. Upon receipt of clearance for use from FDEP and all other pertinent agencies, the contractor shall remove the temporary jumper connection. The corporation stops are to be closed and plugged with 2 inch brass plugs.
7. All installation and maintenance of the temporary jumper connection and associated backflow prevention device, fittings, valve, etc. shall be the responsibility of the contractor.

PROCEDURES FOR TEMPORARY JUMPER CONNECTION

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 504 C



1. A 3' PIECE OF STRAIGHT PIPE MUST BE CONNECTED TO METER USING THE DESIGNATED HOLES IN THE METER BOX BEFORE ANY ANGLES ARE CONNECTED. THE SAME RULES APPLY FOR DOUBLE METER HOOD-UPS.
2. BACKFLOW DEVICE AND METER ARE TO BE SET BY THE CITY FOR METERS 2-INCH OR LESS IN SIZE.

POTABLE WATER SERVICE DETAIL FOR LOTS SERVED WITH RECLAIMED WATER

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 505

NOTE: THE DETAILS AND SPECIFICATIONS SHOWN ON THIS SHEET WERE SUPPLIED BY THE CITY OF APOPKA AND NOT BY BOOTH ERN STRAUGHAN & HIOTT, INC. BOOTH ERN STRAUGHAN & HIOTT, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF THE DETAILS, DESIGNS, AND SPECIFICATIONS SHOWN ON THIS SHEET.

REVISION	DATE	BY	CHKD	APP'D
1	12-22-15			

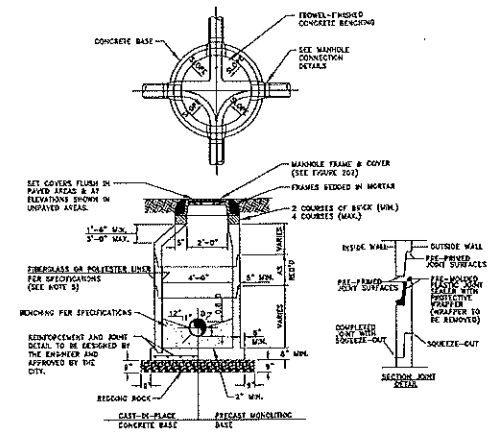
PONKAN RESERVE WATER & SEWER DETAILS

BOOTH ERN STRAUGHAN & HIOTT, INC.
 ENGINEERS • SURVEYORS • LAND SURVEYORS
 1100 W. PALM BLVD., SUITE 200
 APOPKA, FLORIDA 32703
 PHONE: 352-242-8485
 FAX: 352-242-8485
 Certificate of Authorization Number: 27029
 Good... Better... BEST!

DATE:	09-16-16
DESIGNED BY:	CCH
DRAWN BY:	CCH/RLG
CHECKED BY:	CCH
JOB NO.:	161079.0000
FILE NAME:	PONKAN RESERVE

Sheet 11

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 No. 54815
 State of Florida
 2018
 PROFESSIONAL ENGINEER NO. 54813

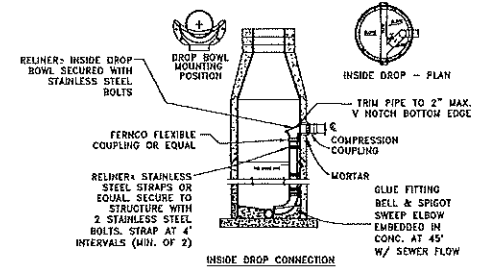


FORCE MAIN MANHOLE LINER*

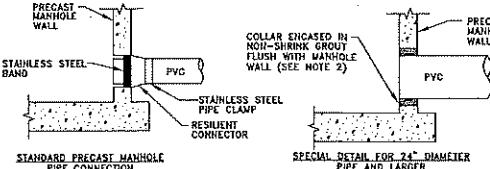
- NOTES:
- MANHOLE SHOW IS FOR SEWER SIZE 8" THRU 24". SEE SECTION 20.4 OF THE MANUAL FOR MANHOLE DIAMETER FOR SEWERS LARGER THAN 24".
 - DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS.
 - THE THICKNESS OF THE LINER SHALL BE 3/8" MINIMUM.
 - EACH BEICH WALL SHALL BE A MINIMUM OF 18 INCHES LONG FROM THE WALL OF THE MANHOLE TOWARD THE CENTER.
 - SANITARY SEWER MANHOLES MAY BE REQUIRED TO BE LINED IN ACCORDANCE WITH THE CITY OF APOPKA LIST OF APPROVED MATERIALS AND PRODUCTS AS DIRECTED BY THE CITY.

TYPICAL MANHOLE

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 200



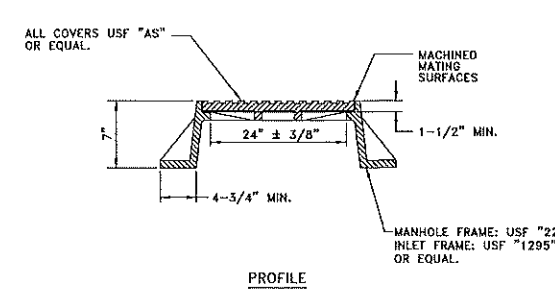
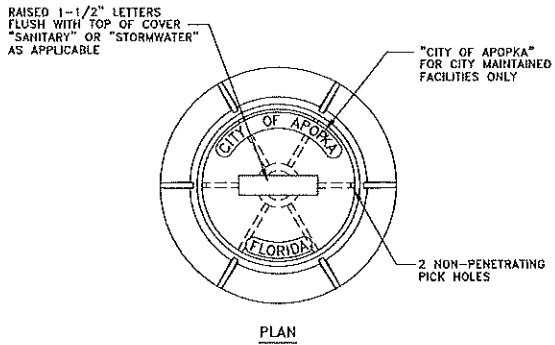
- NOTES:
- ALL INSIDE DROP CONNECTIONS FOR SERVICES AND COLLECTOR SEWERS SHALL USE THE DROP BOWL AS PRODUCED BY: RELINER-DURAM, INC. 53 MT. ARCHER RD, LYME, CT 06371 (860)434-0277 FAX: (860)434-3193 OR EQUAL.
 - SECURE DROP PIPE TO MANHOLE WALL WITH RELINER-DURAM, INC STAINLESS STEEL ADJUSTABLE CLAMPING BRACKETS.
 - FORCE MAIN RECEIVING MANHOLES MAY BE REQUIRED TO BE LINED IN ACCORDANCE WITH THE CITY OF APOPKA LIST OF APPROVED MATERIALS AND PRODUCTS AS DIRECTED BY THE CITY.



- NOTES:
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - THE CITY MAY APPROVE ALTERNATE WATERTIGHT CONNECTION DETAILS FOR CONNECTION OF 24" DIAMETER PIPES AND LARGER.
 - AN INSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 24" OR MORE ABOVE THE OUTFLOW PIPE INVERT.
 - CONCRETE TO BE MINIMUM OF 3000 PSI.

MANHOLE CONNECTION DETAILS

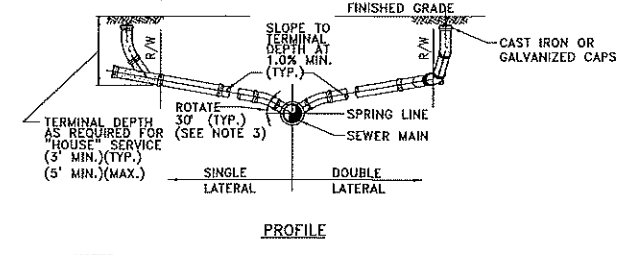
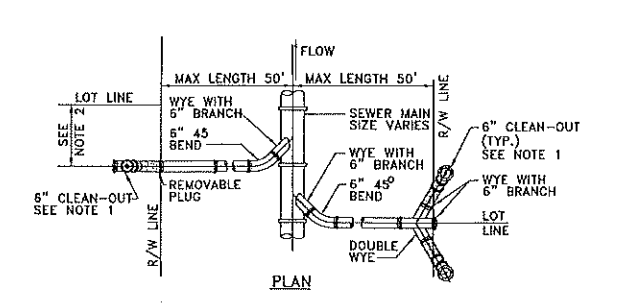
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 201



- NOTES:
- MANHOLE FRAME AND COVER ARE TO BE TRAFFIC BEARING RATED H-20, CLASS 30 MEETING ASTM A 48.

STANDARD MANHOLE FRAME AND COVER

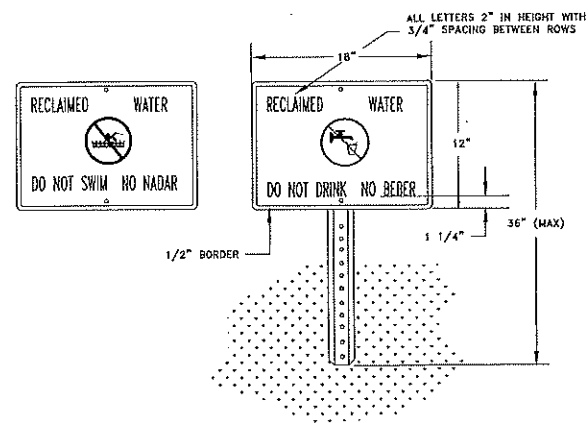
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 202



- NOTES:
- CLEAN-OUT (SHOWN SHADED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - RESIDENTIAL SERVICES SHALL BE 4 INCHES & NON-RESIDENTIAL SERVICES SHALL BE 6 INCHES IN DIAMETER AS A MINIMUM.
 - GALVANIZED OR CAST IRON CLEAN-OUT CAP SHALL BE USED ON THE STUBOUT FOR EACH SERVICE.
 - LATERAL SHALL BE MARKED WITH AN "S" STAMPED OR CUT IN THE CURB.

SERVICE LATERAL DETAIL

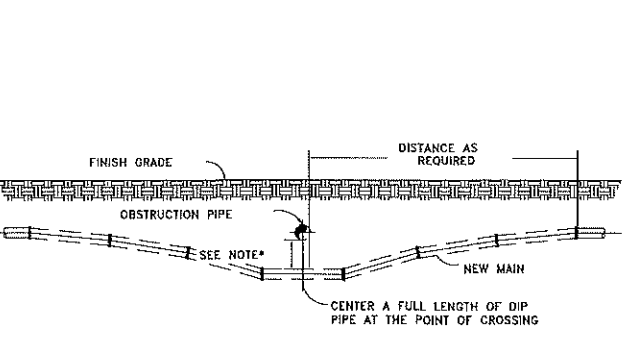
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 204



- NOTES:
- HEIGHT OF SIGN WILL DEPEND ON LOCATION AND SURROUNDING LANDSCAPE PLANT TYPES. IN ALL CASES, THE SIGN SHALL BE VISIBLE TO THE PUBLIC.
 - BACKGROUND SHALL BE WHITE, LETTERS AND FIGURES SHALL BE BLACK. PROHIBITIVE SYMBOL SHALL BE RED.
 - ENGINEERING GRADE REFLECTIVE MATERIALS SHALL BE USED.
 - POST SHALL BE U CHANNEL 12 FT. 2 LB. HOT ROLLED HIGH TENSILE RAIL OR BILLET STEEL, HOT DIP GALVANIZED PER ASTM A-123.
 - MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
 - SIGNS SHALL BE PLACED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY APPROVED ENGINEERING PLANS AND/OR AS APPROVED BY PUBLIC SERVICES DEPARTMENT.

RECLAIMED WATER ADVISORY SIGN

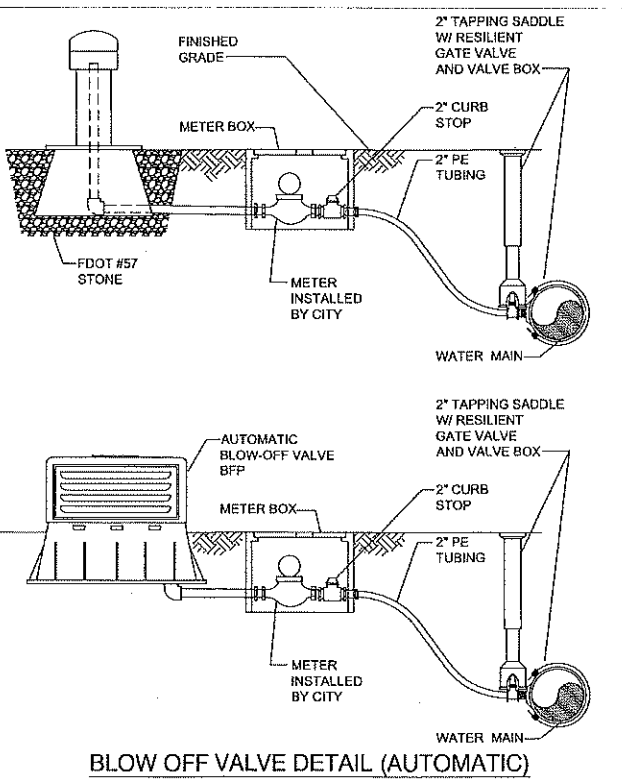
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 115



- NOTES:
- 18" MINIMUM CLEARANCE FOR WATER, SEWER AND RECLAIMED WATER MAIN CROSSINGS
 - 12" MINIMUM CLEARANCE REQUIRED FOR OTHER TYPE UTILITY CROSSINGS.
 - SEE ENCASUREMENT DETAIL IF MINIMUM CLEARANCE CANNOT BE OBTAINED.
- * CONSTRUCT UNIFORM PIPE DEFLECTION NOT TO EXCEED 75% OF MANUFACTURER RECOMMENDED MAXIMUM DEFLECTION PER PIPE JOINT

UTILITY CROSSING PIPE DEFLECTION DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 117



BLOW OFF VALVE DETAIL (AUTOMATIC)

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 403 A

REVISION

NO.	DATE	DESCRIPTION
1	12-22-15	REVISED PER 11-22-15 CITY OF APOPKA BDC COMMENTS

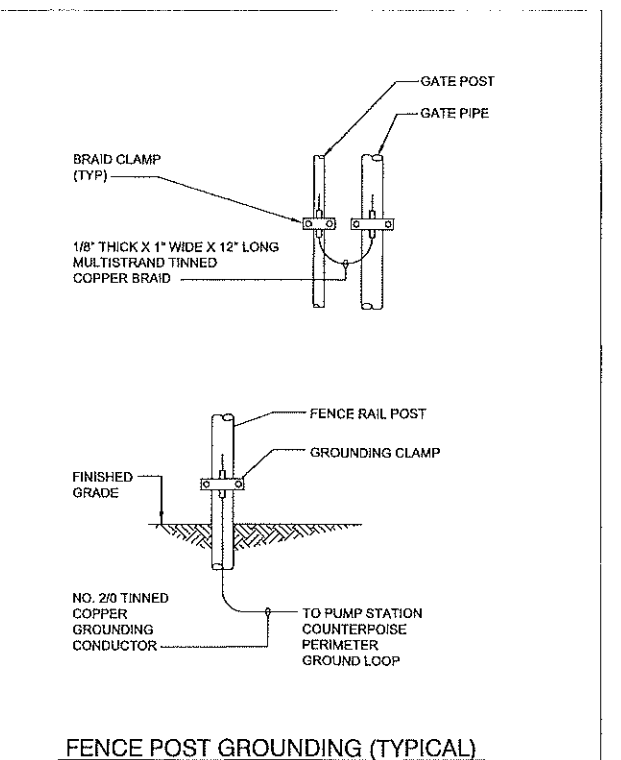
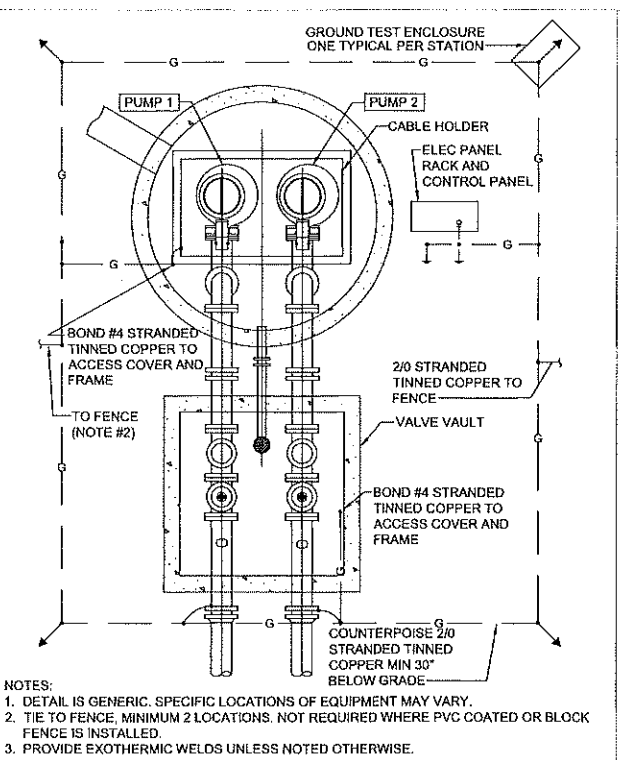
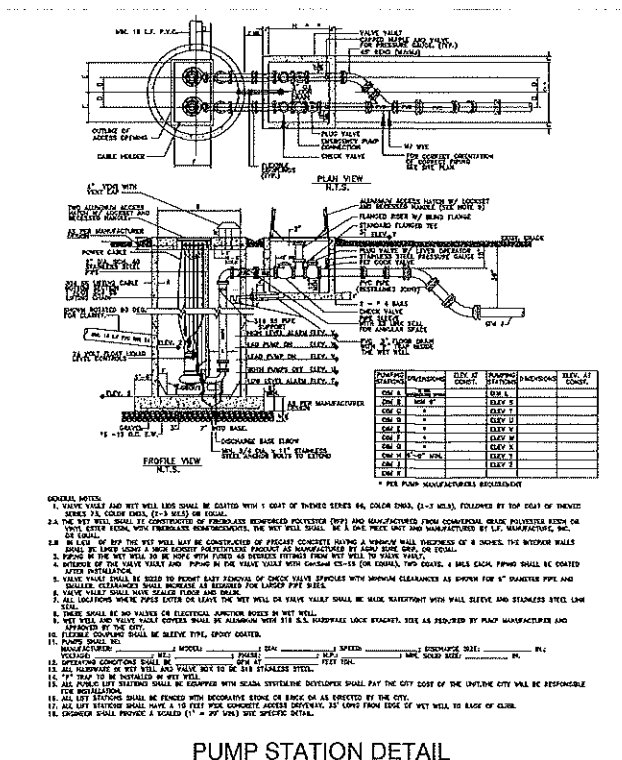
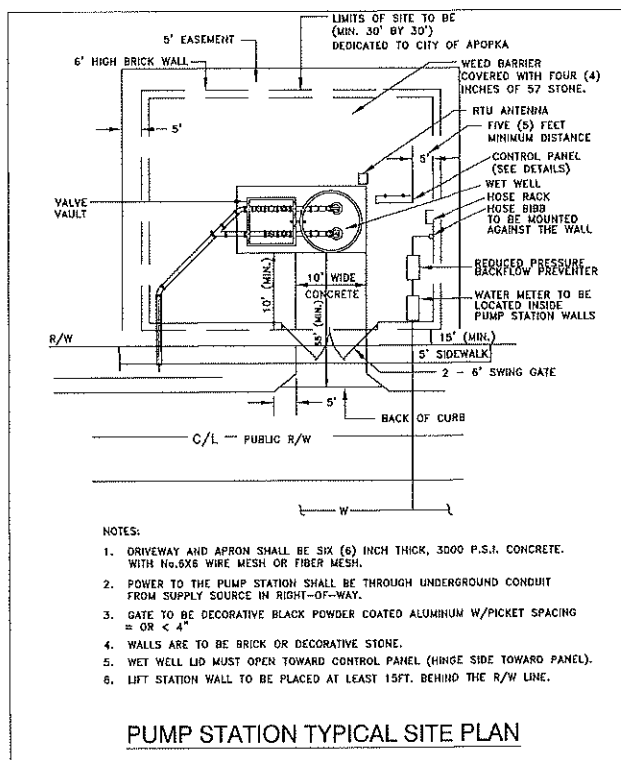
PONKAN RESERVE WATER & SEWER DETAILS

CHARLES C. HOTT
LICENSED PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 64813

DATE: 09-16-16
 DESIGNED BY: CCH
 DRAWN BY: CCH/RLG
 CHECKED BY: CCH
 JOB NO.: 161079.0000
 FILE NAME: PONKAN RESERVE
 Sheet 12

CHARLES C. HOTT
LICENSED PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 64813

NOTE: THE DETAILS AND SPECIFICATIONS SHOWN ON THIS SHEET WERE SUPPLIED BY THE CITY OF APOPKA AND NOT BY BOOTH ERN STRAUGHAN & HIOTT, INC. BOOTH ERN STRAUGHAN & HIOTT, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF THE DETAILS, DESIGNS, AND SPECIFICATIONS SHOWN ON THIS SHEET.

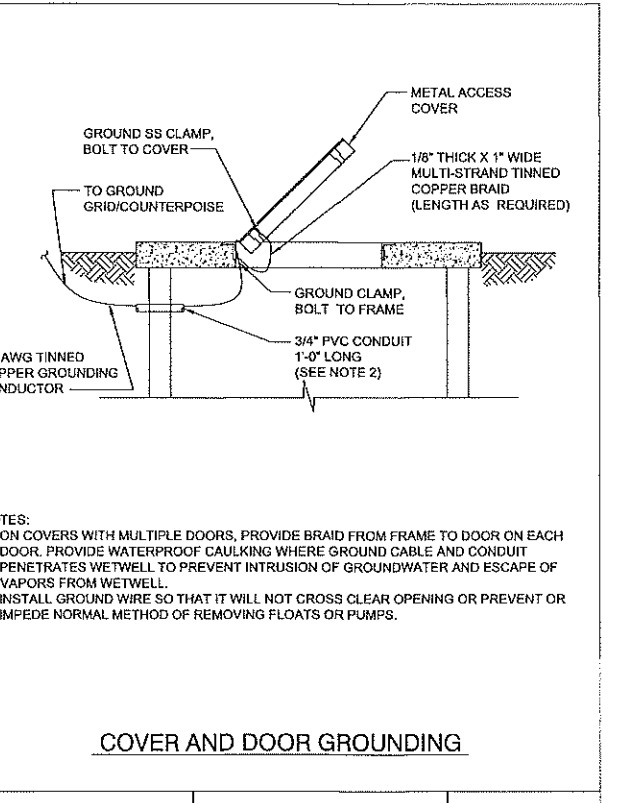
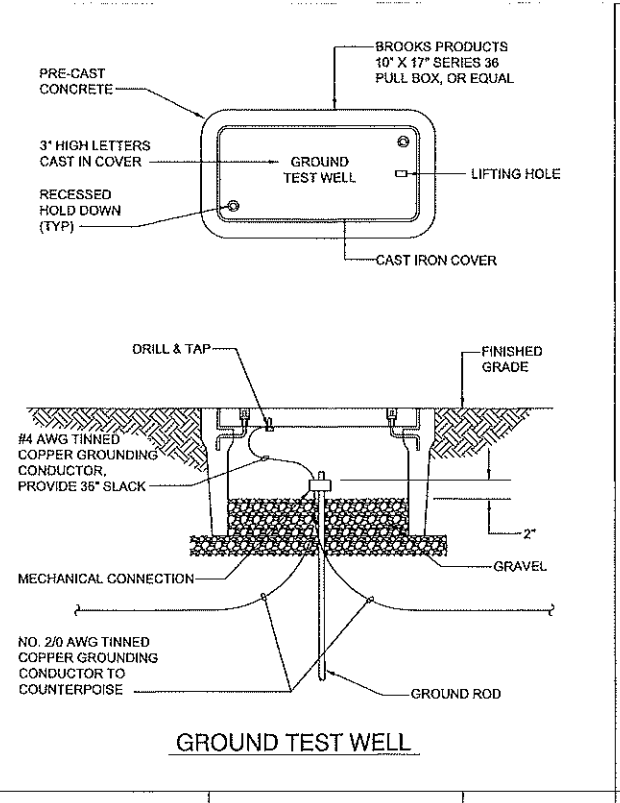
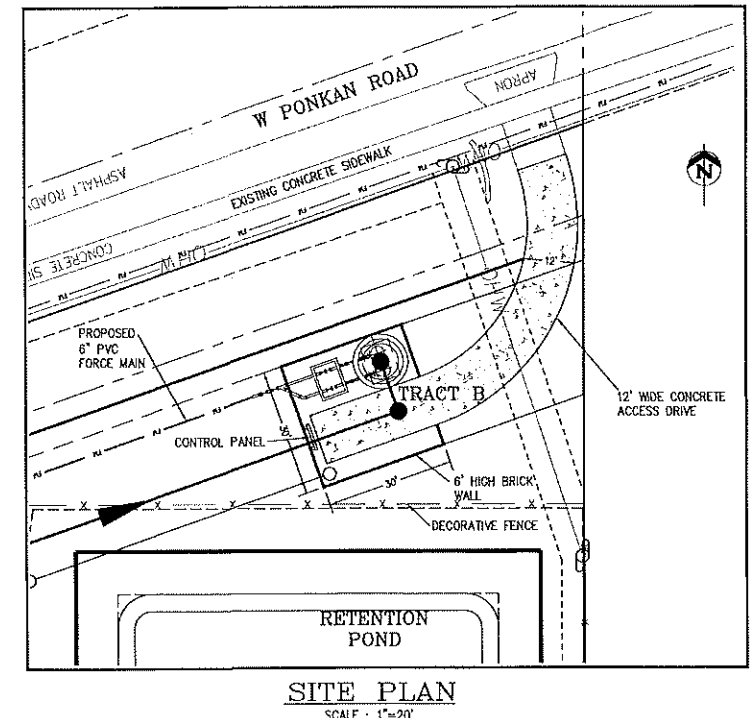


CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 300

CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 301

CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 307

CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 307 A



CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 307 B

CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 307 C

NOTE:
THE DETAILS AND SPECIFICATIONS SHOWN ON THIS SHEET WERE SUPPLIED BY THE CITY OF APOPKA AND NOT BY BOOTH ERN STRAUGHAN & HIOTT, INC. BOOTH ERN STRAUGHAN & HIOTT, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF THE DETAILS, DESIGNS, AND SPECIFICATIONS SHOWN ON THIS SHEET.

DATE	REVISION	DESCRIPTION
09-16-16	1	DESIGNED PER 11-02-16 CITY OF APOPKA DRC COMMENTS
09-16-16	2	REVISION PER DECEMBER 2017 CITY OF APOPKA DRC COMMENTS
07-15-18	3	REVISION PER MARCH 2018 CITY OF APOPKA DRC COMMENTS

PONKAN RESERVE LIFT STATION DETAILS

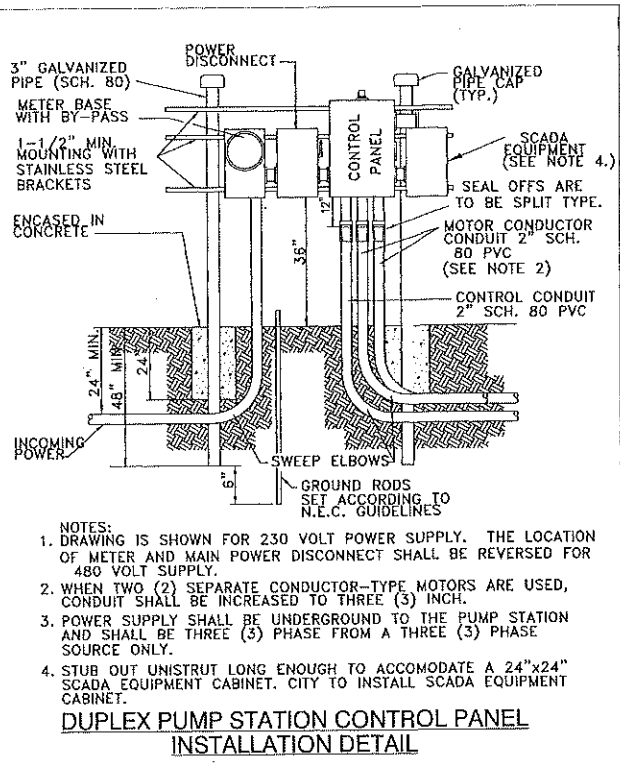
BOOTH ERN STRAUGHAN & HIOTT, INC.
ENGINEERS
1000 N. GARDNER AVENUE
TALLAHASSEE, FLORIDA 32304-1000
TEL: 904.241.1000
FAX: 904.241.1001

Certificate of Authorization Number: 27029
Geod. Bldg. REG591

DATE:	09-16-16
DESIGNED BY:	CCH
DRAWN BY:	CCH/RLG
CHECKED BY:	CCH
JOB NO.:	161079.0000
FILE NAME:	PONKAN RESERVE

Sheet 13

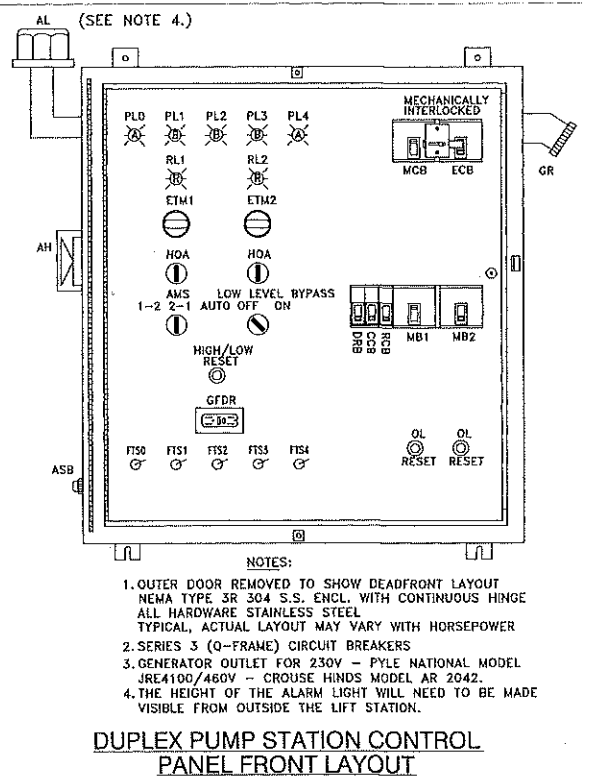
CHARLES C. HOTT, III
PROFESSIONAL ENGINEER NO. 54813



- NOTES:
- DRAWING IS SHOWN FOR 230 VOLT POWER SUPPLY. THE LOCATION OF METER AND MAIN POWER DISCONNECT SHALL BE REVERSED FOR 480 VOLT SUPPLY.
 - WHEN TWO (2) SEPARATE CONDUCTOR-TYPE MOTORS ARE USED, CONDUIT SHALL BE INCREASED TO THREE (3) INCH.
 - POWER SUPPLY SHALL BE UNDERGROUND TO THE PUMP STATION AND SHALL BE THREE (3) PHASE FROM A THREE (3) PHASE SOURCE ONLY.
 - STUB OUT UNISTRUT LONG ENOUGH TO ACCOMMODATE A 24"x24" SCADA EQUIPMENT CABINET. CITY TO INSTALL SCADA EQUIPMENT CABINET.

DUPLIX PUMP STATION CONTROL PANEL INSTALLATION DETAIL

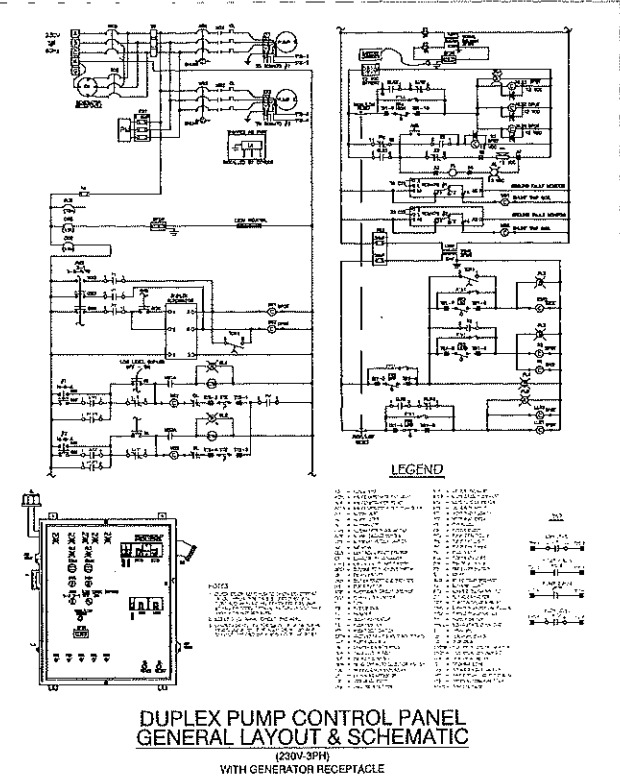
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 302



- NOTES:
- OUTER DOOR REMOVED TO SHOW DEADFRONT LAYOUT NEMA TYPE 3R 304 S.S. ENCL. WITH CONTINUOUS HINGE ALL HARDWARE STAINLESS STEEL TYPICAL, ACTUAL LAYOUT MAY VARY WITH HORSEPOWER
 - SERIES 3 (Q-FRAME) CIRCUIT BREAKERS
 - GENERATOR OUTLET FOR 230V - PYLE NATIONAL MODEL JRE4100/480V - CROUSE HINDS MODEL AR 2042.
 - THE HEIGHT OF THE ALARM LIGHT WILL NEED TO BE MADE VISIBLE FROM OUTSIDE THE LIFT STATION.

DUPLIX PUMP STATION CONTROL PANEL FRONT LAYOUT

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 303

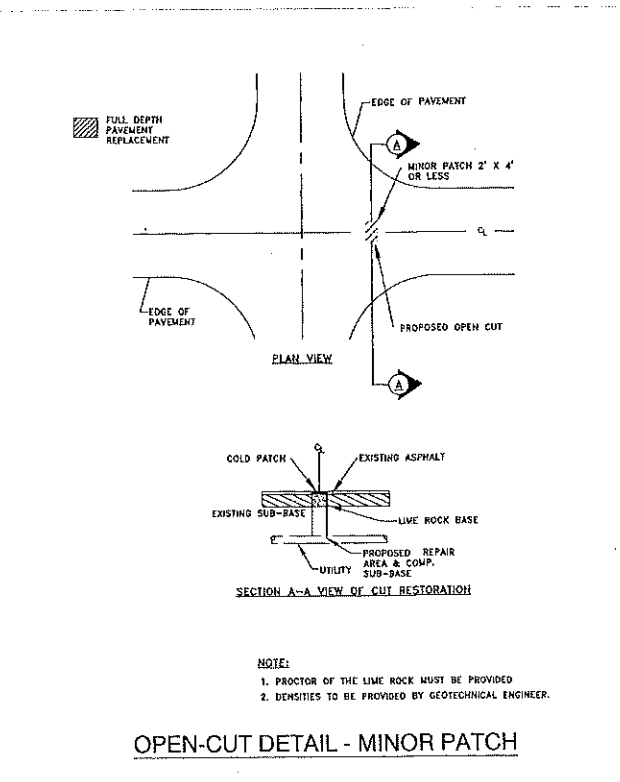


DUPLIX PUMP CONTROL PANEL GENERAL LAYOUT & SCHEMATIC

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 305 A

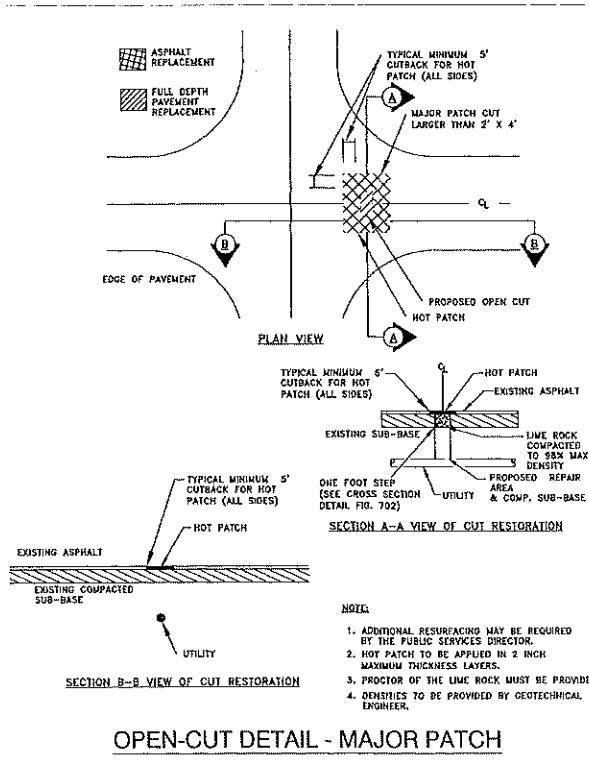
GENERAL NOTES

- Governing standards and specifications on this project are considered the Florida Department of Transportation (FDOT) Design Standards (2013 Edition), FDOT Standard Specifications for Road and Bridge Construction (2013 Edition), and City of Apopka Utilities Design and Construction Standards Manual (2014 Edition).
- All personal property, except mail boxes located within the public right-of-way (not relocated by the property owner), shall be removed by the Contractor as necessary to construct the project in accordance with the Construction Plans. Mail boxes shall be relocated by the Contractor in accordance with FDOT Index No. 532.
- The disposal of excess earthwork materials shall be the responsibility of the Contractor. Approval of disposal sites shall be obtained from the City of Apopka prior to disposal.
- All existing trees and stumps within the right-of-way and limit of the project are to be removed as clearing and grubbing unless otherwise directed.
- Seed and mulch all disturbed areas not covered by sod unless otherwise directed.
- All pavement offsets shown are to the proposed centerline of construction, as where radius dimensions are to the edge of pavement, unless otherwise noted.
- Turnout locations and widths shown in the Construction Plans are approximate and may be adjusted as necessary or as directed by the Engineer. All turnouts shall be constructed in accordance with FDOT Index No. 515.
- The various permits included in the bid specifications payment are included in the bid price for Section 104. The Contractor shall perform his work in accordance with the requirements of "Prevention, Control, and Abatement of Erosion and Water Pollution", excluding items specified elsewhere. Environmental controls shall be used at locations designated in the plans and/or designated by the Engineer.
- The information shown on these drawings concerning type and location of underground and other utilities are based on available records and surveys, but is not guaranteed to be accurate or all inclusive. The Contractor shall make his own determination as to the type and location of utilities as may be necessary to avoid damage there to, and is responsible for coordinating utility relocation.
- Prior to ordering drainage structure, the Contractor shall determine if drainage utility conflicts exist. Information about possible conflicts shall be submitted to the Engineer as soon as possible after discovery of such for resolution.
- The Contractor shall notify all gas utility companies a minimum of two working days prior to excavation as required by Chapter 77-153 of the Florida Statutes.
- All intermittent - pipe joints shall be filled with non-shrink grout, covered with an asphaltic mastic coating, and wrapped with a filter fabric material per Section 13.03.03 of the Orange County Road Construction Specifications.
- All curb inlets, ditch bottom inlets, and manholes shall have traffic bearing frames and covers or grates meeting AASHTO-20 loading requirements.
- Changes of pipe inverts not exceeding plus or minus one foot will not be considered as a basis for additional compensation for the pertinent pipe bid item or for modification of precast structures.
- All manholes (cross and monuments) shown in the Construction Plans, or found, shall be preserved. Those shown in proposed pavement shall be protected with a cast iron valve box.
- Public land corners within the limits of construction shall be protected. If a corner monument is in danger of being destroyed or disturbed, the Contractor shall notify the Engineer, without delay, by telephone. The Contractor shall provide written follow up confirmation within 48-hours of telephone notification.
- Prior to beginning of any construction, the Contractor shall submit to the Engineer a set of field notes verifying the benchmark elevations and the reference point connections on the plan and profile view sheets, and/or a set of field notes for all additional benchmark and reference point connections proposed to be used in constructing the project with their location, description and elevation, based on North American Vertical Datum (NAVD88). All submittals shall be signed and sealed by a Professional Land Surveyor registered in the State of Florida.
- Within 21 calendar days after notice to proceed, the Contractor shall stake the public right-of-way at 50 foot intervals and the right-of-way breaks with corresponding stations shown on the stakes. No invoice for payment for mobilization (Pay Item No. 101-1) will be processed until the right-of-way has been staked to the satisfaction of the Engineer.
- Any United States Code (USC) and National Geodetic Survey (NGS) monuments within the limits of construction shall be protected. If in danger of damage, the Contractor shall notify the Engineer, and both shall notify: State Geodetic Advisor, NOAA 3900 Commonwealth Blvd. - MS105 Tallahassee, FL Phone (904) 245-2606
- It shall be the responsibility of the Contractor to acquire all necessary right-of-way and maintenance of traffic permits. The City will waive all permits required for construction activities within the limits of public right-of-way owned and maintained by the City of Apopka. For construction activity within the limits of public right-of-way maintained by the City but owned by Orange County or the State of Florida, the Contractor shall acquire the required permits from the agencies. It shall be the responsibility of the Contractor to insure that all required permits are obtained and in-hand before beginning any construction.
- The location of all existing utilities, storm drainage systems, and topographic features shown on the plans have been determined from the best available information and are provided for the convenience of the Contractor. The Engineer assumes no responsibility for their inaccuracy. Should a discrepancy arise between these plans and actual field conditions, which would appreciably affect the execution of these plans, the Contractor shall halt construction and notify the Engineer immediately.
- The Contractor shall be responsible for notifying the City within 48 hours before any inspections. Also, the Contractor shall be responsible for meeting all inspection criteria, schedules and signing said inspections.
- The Contractor shall not excavate, remove or otherwise disturb any material, structure or part of a structure which is located outside the lines, grades or grading section, established for this project, except where such excavations or removal is provided or in the Contract Construction Plans or Technical Specifications.
- All work and all materials furnished shall be in conformity with the lines, grades, grading sections, cross sections, dimensions, material requirements, and testing requirements that are specified in the Contract Construction Plans or Technical Specifications.
- All work shall be accomplished in strict accordance with all applicable federal, state and local codes, ordinances and regulations.
- Apparent errors, discrepancies or omissions in the Construction Plans shall be brought to the Engineer's attention before bidding.
- After completion of construction, the Contractor shall provide to the City a completed as-built plan one week prior to final inspection. Before the final acceptance it shall be the Contractor's responsibility to perform a site cleanup for the removal of trash, debris, excess materials, and equipment to present the project site clean and in good order.
- No extra payments shall be allowed for any work required due to misunderstanding of job or site conditions affecting the work as described in the Technical Specifications or shown on the Construction Plans. The Contractor shall not take advantage of any apparent error or omission in the Construction Plans or Technical Specifications and the Engineer shall be permitted to make corrections and interpretation as may be deemed necessary for the fulfillment of the intent of the Contract Documents. By entering the bidding process the bidder acknowledges acceptance of these conditions.
- The Contractor shall submit four (4) sets of detailed shop drawings of all major items proposed for this project to the Engineer prior to ordering any of the equipment or material. Two (2) copies of the shop drawings will be returned to the Contractor. Upon the Contractor's receipt of approved shop drawings from the Engineer, the Contractor may proceed with the work.
- The Contractor shall comply with the legal load restrictions in loading of materials in public roads beyond the limits of construction work. A special permit will not relieve the Contractor of liability for damage which may result from the moving of material and equipment.
- During construction, no direct discharge of water to downstream receiving waters will be allowed. The Contractor is responsible for maintaining water quality and route discharge water in such a manner as to adequately remove silt prior to runoff from the site.
- Connection to existing lines to which utility pipe of the Contract must connect, the following work shall be performed: A. Expose buried lines to confirm or determine end connection, pipe material and diameter. B. Furnishing and installing piping and making proper connections.



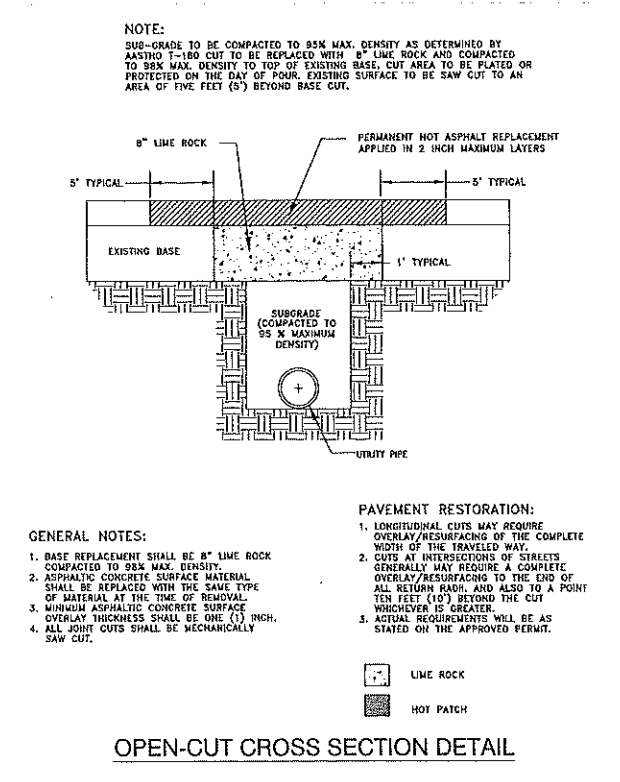
OPEN-CUT DETAIL - MINOR PATCH

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 700



OPEN-CUT DETAIL - MAJOR PATCH

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 701



OPEN-CUT CROSS SECTION DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 702

NOTE: THE DETAILS AND SPECIFICATIONS SHOWN ON THIS SHEET WERE SUPPLIED BY THE CITY OF APOPKA AND NOT BY BOOTH ERN STRAUGHAN & HIOTT, INC. BOOTH ERN STRAUGHAN & HIOTT, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF THE DETAILS, DESIGNS, AND SPECIFICATIONS SHOWN ON THIS SHEET.

REVISION

DATE	REVISION	BY	CHKD	APP'D
12-02-18	1	N	P	O
	2			
	3			
	4			
	5			

PONKAN RESERVE

MISCELLANEOUS DETAILS

Booth Ern Straughan & Hiott, Inc. Professional Engineer No. 54815
 120 N. Central Avenue
 Tallahassee, Florida 32309
 Phone: 904-245-2606
 Fax: 904-245-2606
 Certificate of Authorization Number: 27029
 Good... Better... BEST!

DATE: 09-16-16
 DESIGNED BY: CCH
 DRAWN BY: CCH/RLG
 CHECKED BY: CCH
 JOB NO.: 161079.0000
 FILE NAME: PONKAN RESERVE

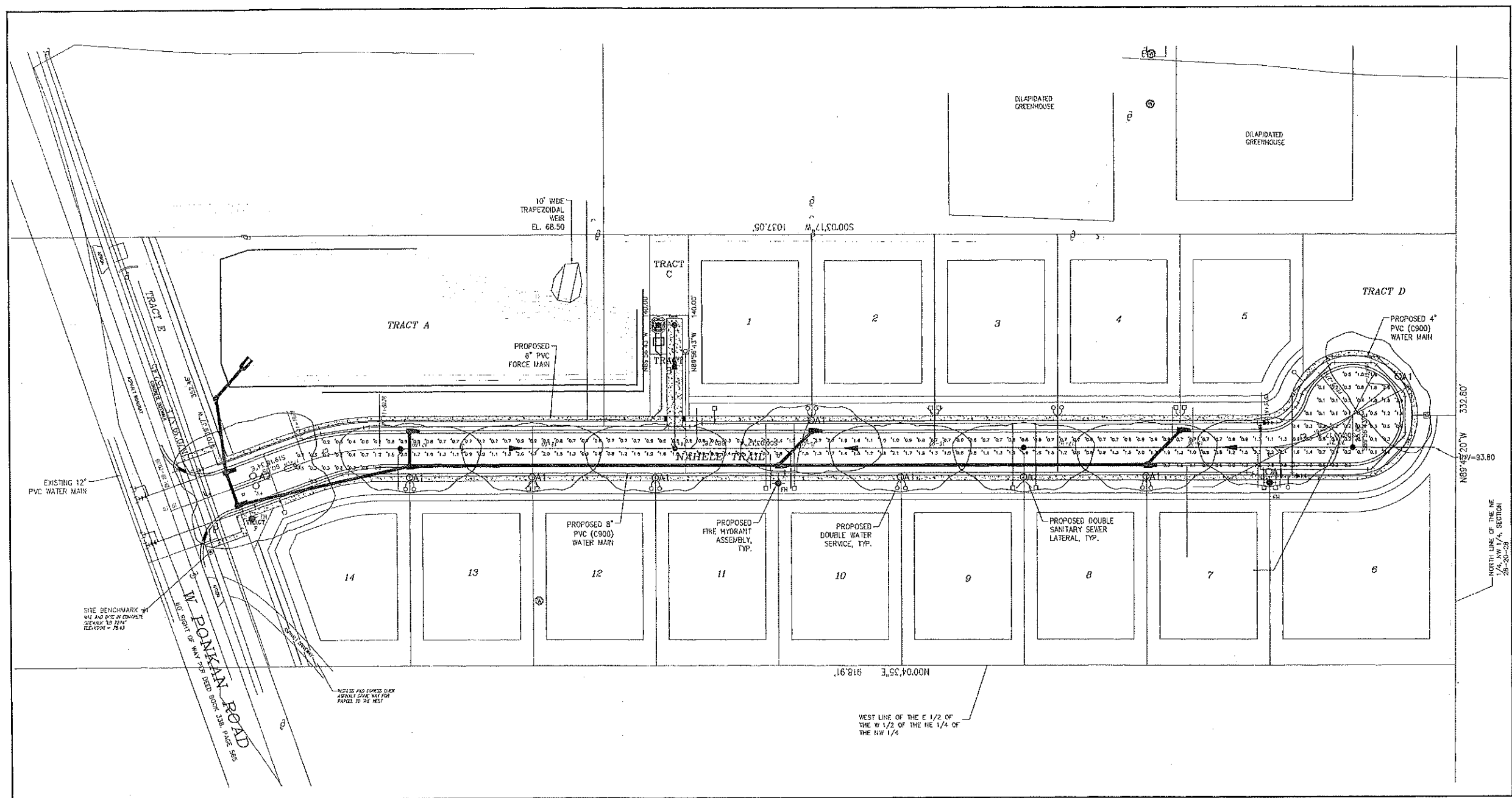
Sheet 14

CHARLES C. HIOTT, P.E.
 LICENSED PROFESSIONAL ENGINEER
 NO. 54815
 STATE OF FLORIDA
 DECEMBER 2018

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SUBDIVISION LIGHTING CALCULATIONS
PONKAN RESERVE
APOPKA, FLORIDA

Designer
J. DANIELS
Date
SEPTEMBER 2017
Scale
AS SHOWN
Drawing No.
SLS-001

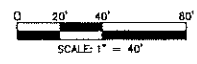


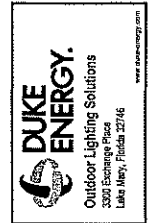
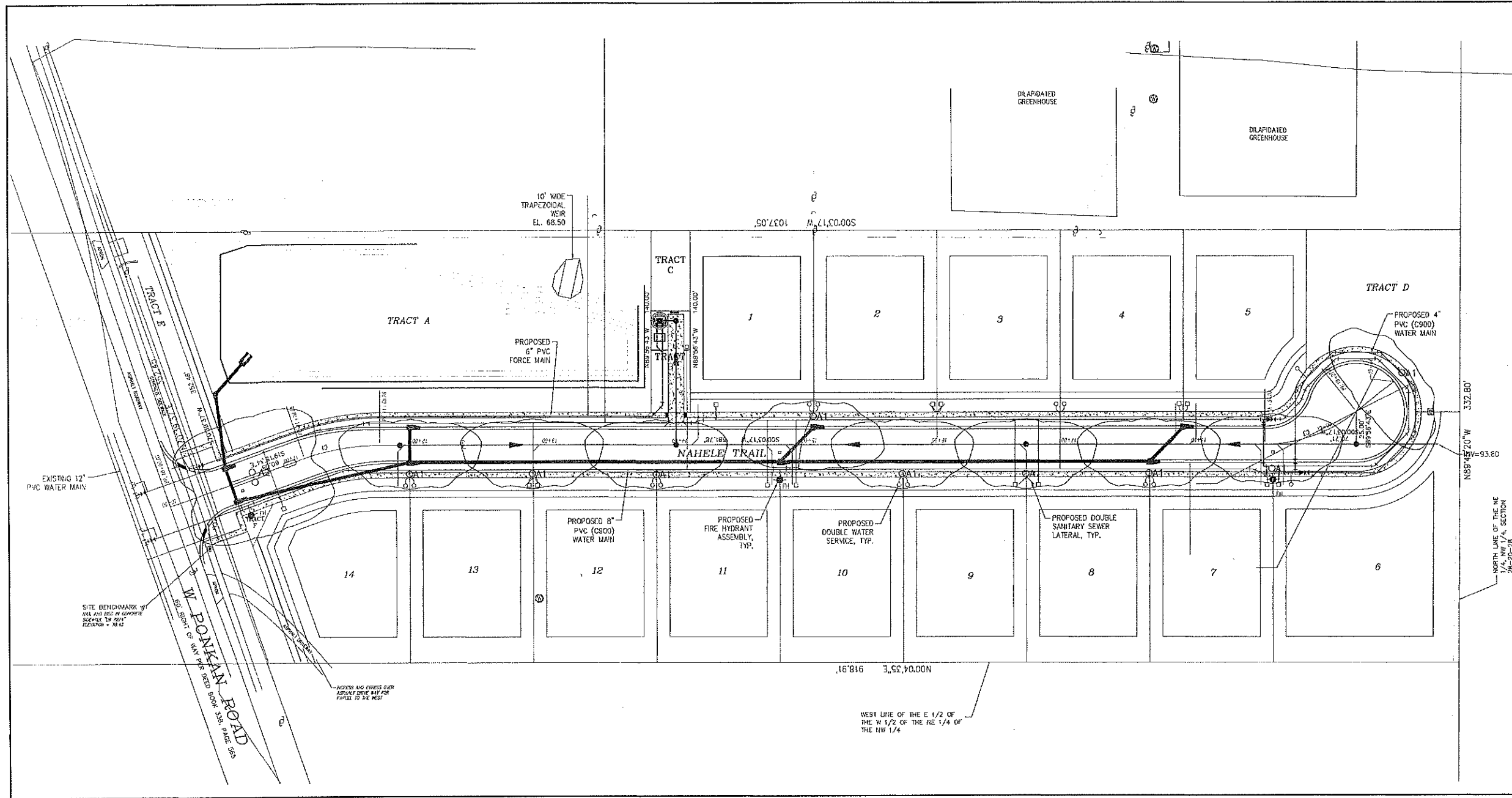
Schedule					
Symbol	Label	Quantity	Description	Lamp	Wattage
	A1	9	LED CLERMONT, 50W	LED COBs	57
	A2	1	LED CLERMONT, 50W	LED COBs	114

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entrance			3.4 fc	0.4 fc	8.5:1	4.3:1
Roadway	+	1.0 fc	3.5 fc	0.1 fc	35.0:1	10.0:1

DEC 21 2018

PRELIMINARY





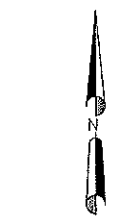
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SUBDIVISION CONSTRUCTION SHEET
 PONKAN RESERVE
 APOPKA, FLORIDA

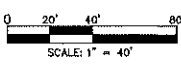
Designer
 J. DANIELS
 Date
 SEPTEMBER 2017
 Scale
 AS SHOWN
 Drawing No.
 CONST-001

Schedule					
Symbol	Label	Quantity	Description	Lamp	Wattage
	A1	9	LED CLERMONT, 50W	LED COBs	57
	A2	1	LED CLERMONT, 50W	LED COBs	114

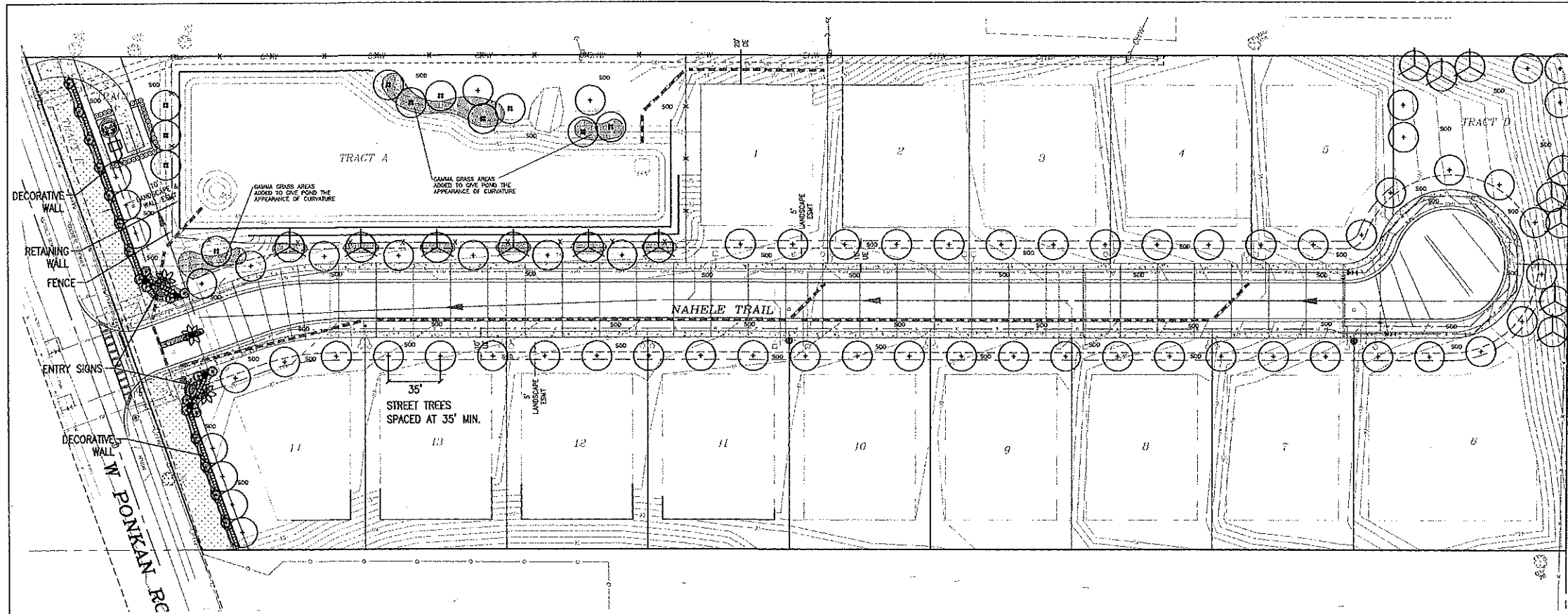
INVENTORY LIST		
Item Number	Quantity	Description
1	11	50W,LED, CLERMONT L39LED05TDBLMF
2	9	SCROLL ARM, SINGLE CN: 9220067354
3	1	SCROLL ARM, DOUBLE CN: 9220067355
4	10	PROMENADE, 25' PLCC25BRF



PRELIMINARY



DEC 21 2018



- PLANT SYMBOLS**
- LIVE OAK
 - RED MAPLE
 - RIVER BIRCH
 - FOXTAIL PALM
 - TRIPLE FOXTAIL PALM
 - LIGUSTRUM
 - HAWAIIAN TI
 - PODOCARPUS
 - FLORIDA ANISE
 - DWARF ASIAN JASMINE
 - LOROPETALUM
 - FLAX LILY
 - BLUE DAZE
 - FLORIDA GAMMA GRASS
 - ST. AUGUSTINE SOD
 - BAHIA SOD

LANDSCAPE ARCHITECT:
 Robert R. Buchanan, L.A. 0000937
 14000 N. W. 11th St., Suite 100
 Boca Raton, FL 33433
 407-368-1111
 407-368-1112
 407-368-1113
 407-368-1114
 407-368-1115
 407-368-1116
 407-368-1117
 407-368-1118
 407-368-1119
 407-368-1120

BESH Engineers, Inc.
 802 N. Sinclair Avenue
 Tallahassee, FL 32310

LANDSCAPE
 ARCHITECTS AND PLANNERS

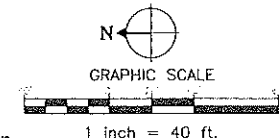
LANDSCAPE TABULATION	
GENERAL REQUIREMENTS	
Apopka Land Development Code Applies Part III - Land Development Code, Article V - Resource Protection Standards	
Landscape Adjacent to Street Right-of-Way: (1 canopy tree per 45 l.f., 10' landscape, 6' ht. wall) North ± 352' - 40' (Impervious) = 312' Trees Required: 7 Canopy Trees Provided: 12 Canopy	NOTES: 1) Irrigation system to be a permanent system. 2) The irrigation plan shall be designed and installed to conform to Article V of this Code. 3) All plant material shall be FL. Grade #1 and "Florida Friendly". 4) Contractor to screen all above ground utilities with an opaque row of shrubs. Utility boxes to be left unscrined on street side. 5) Contractor to provide (3) 3" cal. trees per single family residential lot. 6) Irrigation plan will need to be submitted with Final Development Plan.
Landscape Adjacent to Other Properties: South ± 332' Adjacent to R-1AA = N/A East ± 1037' Adjacent to R-1AA = N/A West ± 919' Adjacent to R-1AA = N/A	
Site Area: (one 2.5" tree per 8000 sf.) Total Site Area = 325,292 sf. Trees Required: 41 Trees Trees Provided: 90 Trees 3" trees	

Overall Plant List - Ponkan Reserve				
Count	SYM	BOTANICAL	COMMON	SPECIFICATIONS
Trees				
14	AR	Acer rubrum	Red Maple	8' ht. min., 3" cal. min
11	BN	Betula nigra	River Birch	8' ht. min., 3" cal. min
21	LJ	Ligustrum japonicum	Ligustrum	6' ht., 3.5' spr., multi.
65	QV	Quercus virginiana	Live Oak	8' ht. min., 3" cal. min
2	WB	Wodyetia bifurcata	Foxtail Palm	8' c.t.
1	WB2	Wodyetia bifurcata	Triple Foxtail Palm	8' c.t., triple
Shrubs & Groundcover				
33	DTV	Dianella tasmanica 'Variegata'	Flax Lily	1 gal., 24" o.c.
37	EG	Evolvulus glomeratus	Blue Daze	4" pot., 12" o.c.
98	PM	Podocarpus macrophyllus	Podocarpus	3 gal., 30" ht., 24" o.c.
80	LC	Loropetalum chinense	Loropetalum	3 gal., 24" o.c.
595	TA	Trachelospermum asiaticum	Dwarf Asian Jasmine	4" pot., 15" o.c.
311	TD	Tripsacum doctyloides	Florida Gamma Grass	1 gal., 36" o.c.
26	TI	Cordyline fruticosa	Hawaiian Ti	3 gal., 24" o.c.
30	IP	Illicium parviflorum	Florida Anise	3 gal., 30" ht., 3' o.c.
Sod & Mulch				
	MULCH		Mini Pine Bark	3" Depth
	SOD		Bahia Sod	solid sod, weed free, count by contractor
	AUG		St. Augustine Sod	solid sod, weed free, count by contractor

EX. TREE DATA

SITE AREA = 325,292 sf.
 SITE CLEARING AREA = 325,292 sf., 7.46 ac.
 TOTAL TREE INCHES = 2,348"
 TOTAL TREE INCHES TO BE REMOVED = 2,348"
 TOTAL SPECIMEN TREES TO BE REMOVED = 24

MAXIMUM REPLACEMENT FOR SPECIMEN/HISTORIC TREES = 1,596"
 (30" PLUS 5" PER 1,000 sf. OVER 6,000 sf.)
 MAXIMUM REPLACEMENT FOR PROTECTED TREES = 1,117"
 (21" PLUS 3.5" PER 1,000 sf. OVER 6,000 sf.)
 TOTAL TREE INCHES TO BE REPLACED = 1,745"
 TOTAL TREE INCHES PROVIDED BY THIS PLAN = 270"
 TOTAL TREE INCHES TO BE PROVIDED BY CONTRACTOR ON SINGLE FAMILY RESIDENTIAL LOTS = 126"



DEC 21 2018

IF LESS THAN 24"x36" SHEET HAS BEEN REDUCED, ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.

P.O. BOX 2852 - Winter Park, Florida 32790-2852 - Phone 407-579-8111 - Email rmb@besh-engineers.com

















REVISIONS
 1) 1/10/18 Comments
 2) 4/17/18 Comments
 3) 1/21/18 Comments
 4) 6/6/18
 5) 6/6/18
 6) 6/6/18

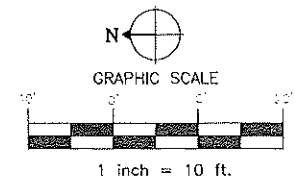
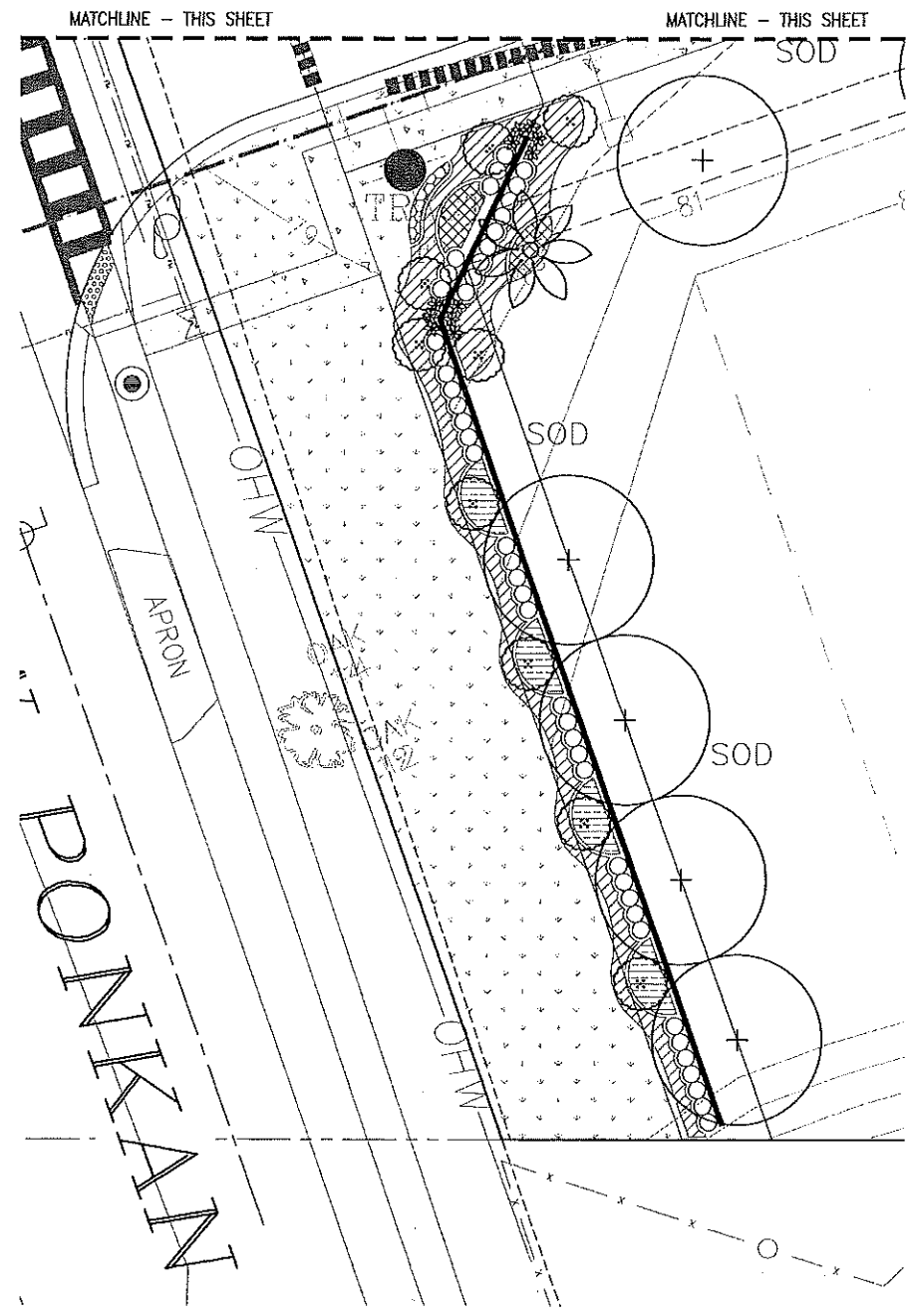
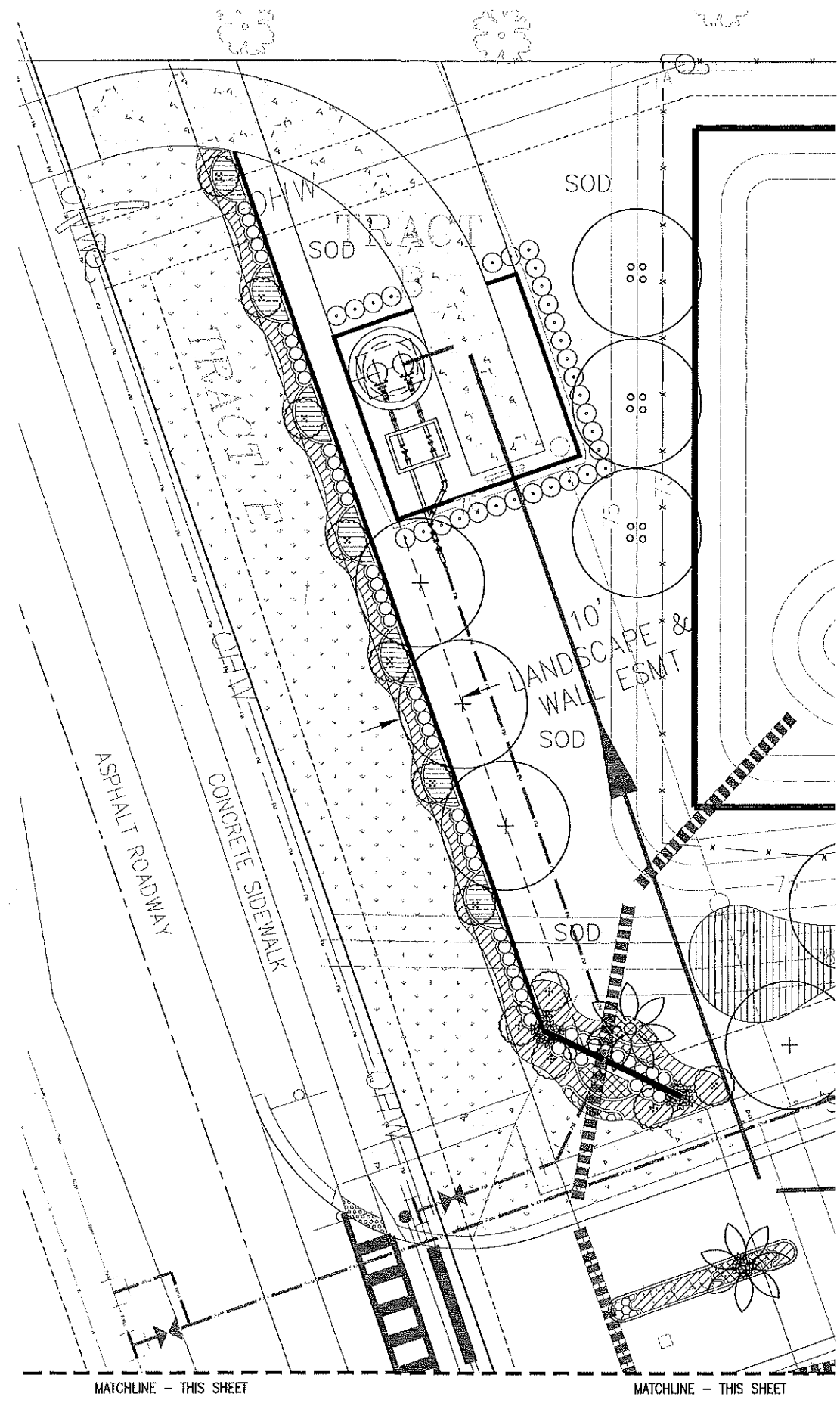
DATE: 08-28-17
 JOB NUMBER: 17-032
 DRAWN BY: BBS
 FILE: Landscape
 SCALE: 1"=40'

Overall Landscape Plan
 Ponkan Reserve
 Apopka, Florida

IF LESS THAN 24"x36" SHEET, HAS BEEN REDUCED.
ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.

PLANT SYMBOLS

-  LIVE OAK
-  RED MAPLE
-  RIVER BIRCH
-  FOXTAIL PALM
-  TRIPLE FOXTAIL PALM
-  LIGUSTRUM
-  HAWAIIAN TI
-  PODOCARPUS
-  FLORIDA ANISE
-  DWARF ASIAN JASMINE
-  LOROPETALUM
-  FLAX LILY
-  BLUE DAZE
-  FLORIDA GAMMA GRASS
-  ST. AUGUSTINE SOD
-  BAHIA SOD



DEC 21 2018

LANDSCAPE ARCHITECT:
Robert R. Besh, Inc. License No. LA00099318
I am a duly licensed landscape architect in the State of Florida. I am a member of the Florida Landscape Architects Association and the Florida Horticultural Society. I am a member of the Florida Horticultural Society and the Florida Horticultural Society. I am a member of the Florida Horticultural Society and the Florida Horticultural Society.

BESH Engineers, Inc.
802 N. Sinclair Avenue
Tallahassee, FL 32310

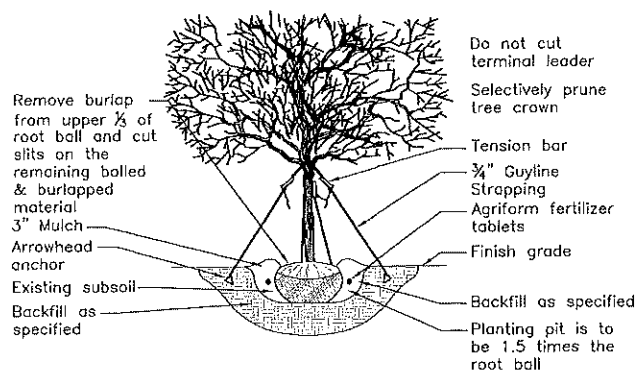
LANDSCAPE DYNAMICS
LANDSCAPE ARCHITECTS AND PLANNERS

Entry Feature Landscape Plan
Ponkan Reserve
Apopka, Florida

DATE	REVISIONS
08-01-17	1) 1/10/18 Comments
	2) 4/17/18 Comments
	3) 8/21/18 Comments
	4) 9/11/18 Comments
	5) 9/11/18 Comments
	6) 9/11/18 Comments

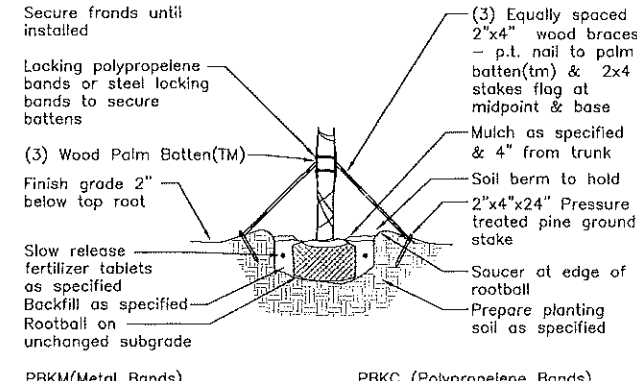
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JOB NUMBER: P-002
DRAWN BY: JEB
FILE: Landscape
SCALE: 1" = 10'





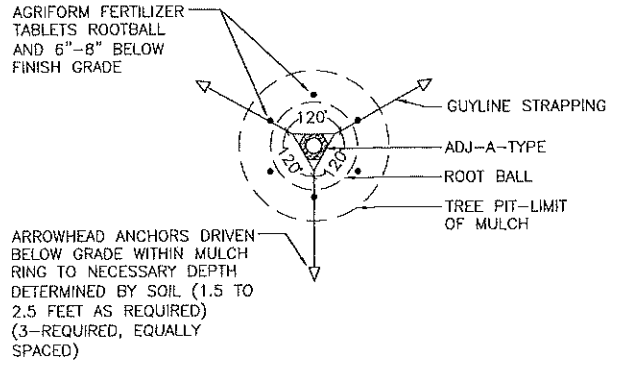
- PRO20:**
For up to 2" Caliper Trees
(3) ARBORGYU™ Guylines 3/4" x 12' = 800 lb test Black or Green, UV resistant, polypropylene strapping
(3) "Tool-Free" Tension Bars™
(3) Arrowhead *Anchors (4" x 3-3/4")
- PRO40:**
For up to 4" Caliper Trees
(3) ARBORGYU™ Guylines 1"x12' = 600 lb test, Black or Green, UV resistant, polypropylene strapping
(3) "Tool-Free" Tension Bars™
(3) Arrowhead Anchors (4-3/4"x3-3/4")

1 ARBORGYU PRO20/PRO40 STAKING AND PLANTING DETAIL
L-2 SCALE= N.T.S.

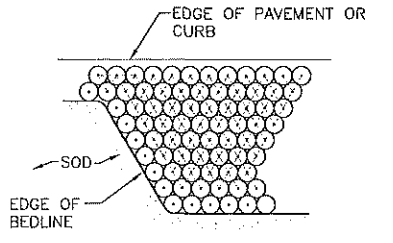


- PBKM (Metal Bands)**
(3) 1 1/2"x3 1/2"x12" (2x4 wood) battens with 5 layers of burlap backing and (4) staple guides for banding, pre-notched (to accept 2"x4"x8" support braces)
(2) 44" plated carbon steel bands with tensioning and locking screw / clamp
- PBKC (Polypropylene Bands)**
(3) 1 1/2"x3 1/2"x12" (2x4 wood) battens with 5 layers of burlap backing and (4) staple guides for banding, pre-notched (to accept 2"x4"x8" support braces)
(2) 8"x1", 600 lb test webbing bands with metal spring locking clamps

2 ARBORGYU PALM BATTEN DETAIL
L-2 SCALE= N.T.S.

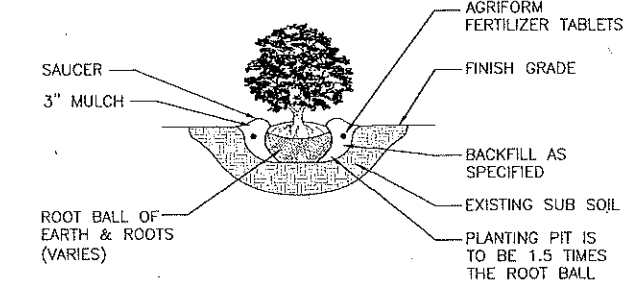


3 TREE STAKING DETAIL
L-2 SCALE= N.T.S.

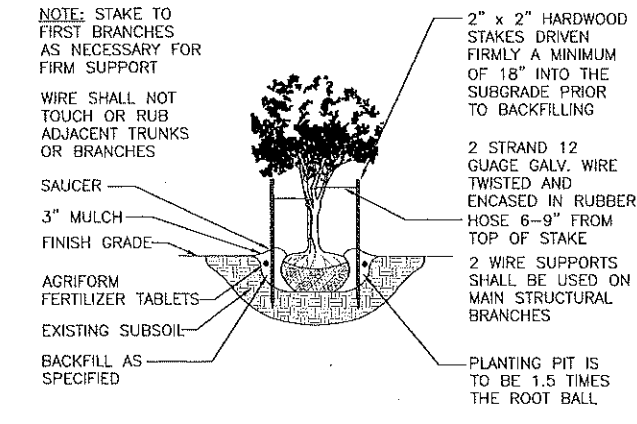


NOTE: FORM EDGE OF BED, THEN FILL IN BED AT TRIANGULAR SPACING AS SPECIFIED ON PLANT LIST.

4 TYPICAL SPACING DETAIL
L-2 SCALE= N.T.S.



5 TYPICAL SHRUB/GROUNDCOVER PLANTING DETAIL
L-2 SCALE= N.T.S.



6 MULTI-TRUNK SPACING DETAIL
L-2 SCALE= N.T.S.

GENERAL LANDSCAPE NOTES:

Failure to notify Landscape Architect of plan, detail, or specification discrepancies prior to construction, makes contractor responsible for all costs incurred for construction charges, not the owner or his representative (Landscape Dynamics Construction Co. Inc.) The Owner must maintain the height of all plants within the "Line-Of-Site" triangle area to a height of no greater than 24" above grade for shrubs and groundcover, and tree branching no lower than 72" above finish grade, to ensure clear site line views toward traffic at road and driveway intersections. Landscape Dynamics Construction Co. Inc., is not responsible for continued maintenance of such plant material. The owner, leasing company and/or the landscape maintenance company accepts full responsibility for these maintenance requirements.

- Landscape contractor (LC) shall be responsible for all materials and work called for on the landscape plans and in the landscape notes and legend. Plant specifications are minimum acceptable sizes. Plans shall rule if there are any quantity discrepancies between the legend and plans. Final quantity takeoffs are the responsibility of the LC. Notify the Landscape Architect of any discrepancies.
- LC shall comply with all local codes and ordinances and obtain all permits and bonds necessary to construct the project.
- LC shall coordinate their work with other contractors to assure efficient and timely completion of the work.
- LC shall be responsible for supplying all materials, labor, and equipment for the performance of their portion of the work.
- LC to verify all existing grades, dimensions, adequate drainage, suitable planting soil and field conditions and notify owner of discrepancies before proceeding with work. Per FL Statutes, LC to call Sunshine State One (811) 72 hours prior to digging to have all utilities located.
- LC to protect existing utilities, structures, surfaces, and vegetation noted to be saved and be responsible for repair/replacement.
- Protect trees to be saved per detail. Vehicle parking, material storage, or soil removal/addition is not permitted within driplines.
- Round-up shall be applied twice at ten day intervals onto all existing vegetation, sod, and groundcover areas that are to be replanted. Extreme care shall be taken to prevent overspray and/or drift onto existing plant material to be saved. Mfr's recommendations shall be followed. Remaining weeds and their roots shall be removed by hand prior to installation of plants. Resprouting weeds and plants are the responsibility of the LC through the one year warranty period.
- All plant materials shall be graded Florida No. 1 or better as outlined under current Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted. All plants not listed shall conform to a Florida No. 1 or better as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species. LC to obtain written certification from nurseries that plant materials are Florida No. 1 or better. Trees up to 4" caliper measured at 6' above soil line and over 4" caliper at 12' above soil line unless otherwise noted. All specifications to be met or exceeded unless otherwise noted. All rootballs and containers to be free of weeds and their roots.
- Planting soil of Fla. peat mixed 1/2 with clean topsoil for the backfilling of plant pits and beds shall be required only if existing soil is unsuitable for planting and/or contains lime rock or construction debris (to be removed).
- Trees and palms shall be installed so their top main root at the trunk is visible and 2" above finished grade. If root is buried, remove soil from the top of the rootball prior to installation. Do not apply the 1 1/2" of mulch to the top of the rootball until after inspection of each tree or palm.
- Landscape Architect is not responsible for adverse soil or drainage conditions, determining sub-surface soil conditions, underground objects/utilities or the accuracy of property lines or information portrayed on surveys or on documents or plans provided by others. Owner or their agent is solely responsible for future maintenance of all plantings to maintain safe visibility within all visibility sight triangles and vehicular use and pedestrian areas within and immediately adjacent to the site.
- Finished grade prior to mulching or sodding to be 3" below top of adjacent surfaces such as walks, curbs and driveways extending perpendicularly from the surface edge for a minimum distance of 18". See detail.
- All palms, trees, shrubs, and groundcovers shall be fertilized with Agriform 20-10-5 or SierraTabs 16-8-12 planting tablets. One tablet/ 1 gal, 2 tablets/ 3 gal, 3 tablets/ 5 or 7 gal, 4 tablets/ 10 gal and one tablet/ each 1/2" of tree trunk diameter. Application shall be as per the details and mfr's recommendation.
- All planting beds (except for annuals) and trees to receive med. pine bark mulch. Due to environmental concerns, cypress mulch shall NOT be used. All tree rootballs (which require 4 foot wide mulch rings in turf areas) shall be mulched to a maximum 1 1/2" depth (to aid water penetration) following inspection. All other planting beds to receive a 3" depth. Mulch shall not touch trunks or stems or be applied within the crowns of groundcovers or over their branches or foliage. Mulch is to be applied by hand and shall not be "blown in".
- LC to maintain all plant material in a plumb, upright and stable condition. All trees/palms to be guyed/staked as per details.
- LC to remove all bags (unless biodegradable), tags, ties, wires, ropes, stakes and nursery attachments from all plant material.
- LC shall be responsible to keep plant material in a healthy, watered, insect/pest free condition until owner's final acceptance.
- LC to provide a one-year warranty for trees/palms, shrubs, groundcovers, and vines and thirty days for sod. Warranty period shall start with final acceptance by owner. All plant material shall be alive and in satisfactory growth at the end of the warranty period. Replacement plant material shall be warranted for ninety days (sod for thirty days) from replacement date. Warranty shall apply only to material that dies due to poor quality, improper handling, or installation practices. Generally, material transplanted on-site shall not be warranted. Adverse weather conditions shall not apply. Proper watering and maintenance are the owner's responsibility during the warranty period.
- Provide 100% coverage of all landscape areas using automatic underground irrigation system with rain sensor.

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LANDSCAPE ARCHITECT: Robert S. Beshinger, LSC000372
Landscape Dynamics Construction Co., Inc. 32790-2852
10101 W. Commercial Blvd., Suite 200, Pompano Beach, FL 33069
P.O. BOX 2852 - Winter Park, Florida 32790-2852 - Phone 407-578-8111 - Email: rand@landscape-dynamics.com

48 HOURS BEFORE YOU DIG CALL SUNSHINE STATE ONE (811) 72 HOURS BEFORE YOU DIG TO HAVE ALL UTILITIES LOCATED.

BESH Engineers, Inc.
602 N. Sinclair Avenue
Tallahassee, FL 32378

LANDSCAPE ARCHITECTS AND PLANNERS

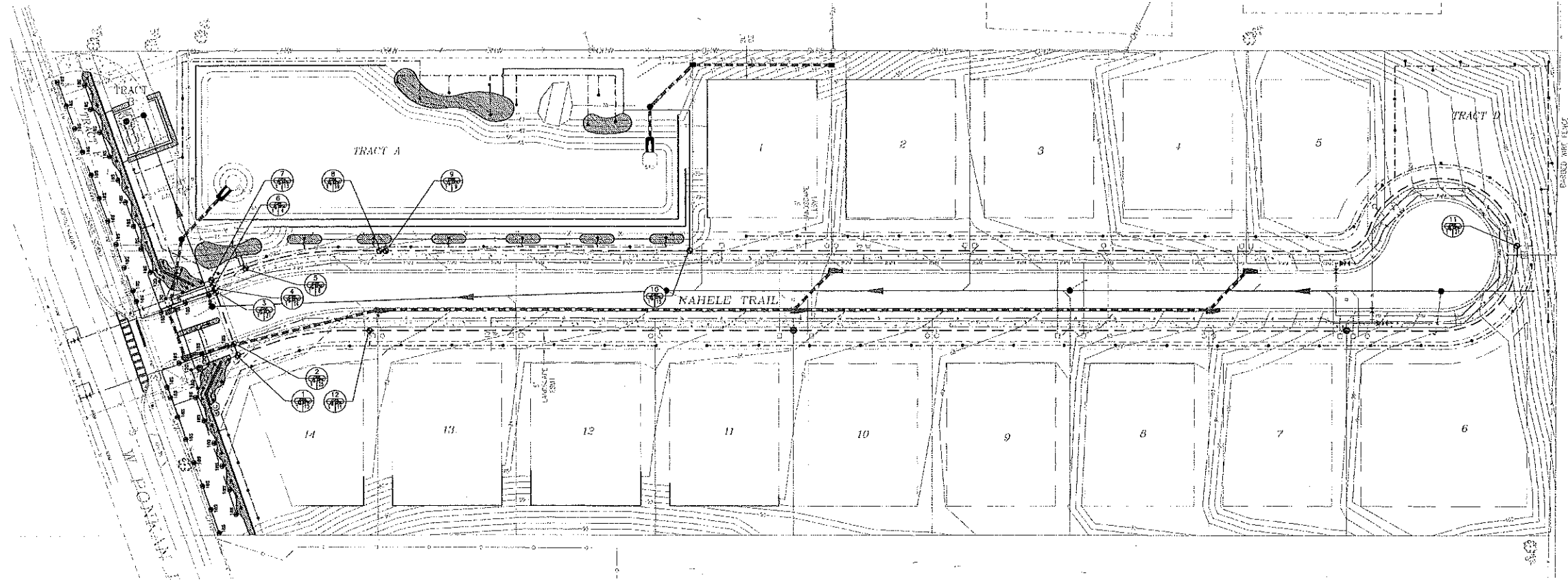
LANDSCAPE ARCHITECTS AND PLANNERS

REVISIONS
1 11/19/16 Comments
2 2/4/17/18 Comments
3 8/21/18 Comments
4
5
6

DATE: 08-08-17
JOB NUMBER: 17-032
DRAWN BY: RB
FILE: Landscape
SCALE: N.T.S.

Landscape Details and Specs
Ponkan Reserve
Apopka, Florida

L-2



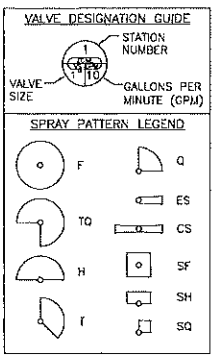
IRRIGATION SYMBOLS:

- RAINBIRD 1806-SAM-FRS (6" SPRAY) (PURPLE)
- ⊙ RAINBIRD 3500 SERIES (ROTOR) (PURPLE)
- ⊙ (2) XERI-BUBBLER ON 1/4" TUBING (PURPLE)
- ⊙ PEB SERIES ELECTRIC REMOTE-CONTROL VALVE (PURPLE)
- ⊙ CONTROL ZONE KIT WITH PRESSURE REGULATING BACKFLUSH FILTER (PURPLE)
- ⊙ RAINBIRD ESP-MC PLASTIC WALL-MOUNT (CONTROLLER) (PURPLE)
- ⊙ RAINBIRD RSD-DEX ROOF CONDUIT (RAIN SENSOR) (PURPLE)
- ⊙ BACKFLOW PREVENTER
- M 1" WATER METER (PURPLE)
- CLASS 200 PVC LATERAL LINE (PURPLE)
- POLYETHYLENE TUBING BUBBLER LINE (PURPLE)
- ▨ LANDSCAPE DRIP AREA (PURPLE) (TUBING AND EMITTERS 12" O.C.)
- 1/2" PVC LATERAL MAINLINE (PURPLE)
- ▨ PVC SCH 40 SOLVENT WELD SLEEVE PIPE (SL) - SIZE TO BE DOUBLE THAT OF THE LATERAL LINE (PURPLE)

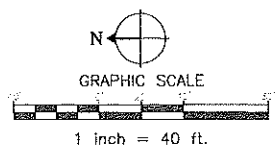
NOTE: (PIPE TO BE SIZED NOT TO EXCEED A VELOCITY OF 5 FPS / MAX. PSI LOSS IN ZONE LINES NOT TO EXCEED 10% OF OPERATING PSI) MINIMUM PIPE SIZE TO BE 3"

GENERAL IRRIGATION NOTES:

- 1) REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS. HAND DIG AROUND ANY EXISTING TREES. DO NOT CUT ANY ROOTS OVER 2" IN DIAMETER.
- 2) ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- 3) ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING A PVC SINK PIPE CONNECTION. DO NOT USE POLYETHYLENE PIPE.
- 4) ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES & BLDG. WALLS. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDING WINDOWS.
- 5) ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING KING "ONE STEP" CONNECTORS AND SEALANT WITH WIRE NUTS.
- 6) THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING ALL IRRIGATION INSTALLATION. THE CONTRACTOR SHALL NEATLY MARK IN RED INK ON A WHITE BOND PAPER COPY OF THE IRRIGATION PLAN ANY INSTALLATION THAT DEVIATES FROM THE PLAN. THE AS-BUILT DRAWING SHALL ALSO LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. MEASUREMENTS SHALL BE MARKED ON THE PLAN EVEN WHEN THE EQUIPMENT IS INSTALLED IN THE EXACT LOCATION AS THE PLAN.
- 7) ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES. THE VALVE BOXES SHALL BE PURPLE WHEN USING REUSE WATER.
- 8) ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS OR INSIDE A SCH. 40 SLEEVE.
- 9) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE IN THE FIELD.
- 10) THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY THEIR WORK.
- 11) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP. (OR AS OUTLINED IN THE WRITTEN SPECIFICATIONS)
- 12) ELECTRICAL SERVICE TO LOCATION OF THE CONTROLLER, WELL OR PUMP SHALL BE PROVIDED TO A JUNCTION BOX OR DISCONNECT AT THE EQUIPMENT LOCATION BY THE ELECTRICAL CONTRACTOR OR BY OWNER WHEN IT IS NOT PART OF THE BID PACKAGE.
- 13) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN. ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER, SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOO IN THESE AREAS.
- 14) IRRIGATION SYSTEM DESIGN REQUIREMENTS: 60 GPM @ A MINIMUM OF 80 PSI AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY THE AVAILABLE GPM AND PSI PRIOR TO INSTALLATION OF THE SYSTEM.
- 15) 48 HOURS BEFORE DIGGING, CALL 1-800-432-4770 (SUNSHINE STATE ONE CALL CENTER)



NOTE:
IRRIGATION RISERS ARE NOT ALLOWED.



IF LESS THAN 24"x36" SHEET, HAS BEEN REDUCED. ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.

LANDSCAPE ARCHITECT
Robert B. Besh
Professional Seal
48 HOURS BEFORE YOU DIG
CALL SUNSHINE
NUMBER 1-800-432-4770
IT'S THE LAW IN FLORIDA
PROFESSIONAL SEAL
ROBERT B. BESH
LANDSCAPE ARCHITECT
15415 WINDY HOLLOW
SUNSHINE STATE ONE CALL CENTER

BESH Engineers, Inc.
902 N. Sinclair Avenue
Tavares, FL 32778

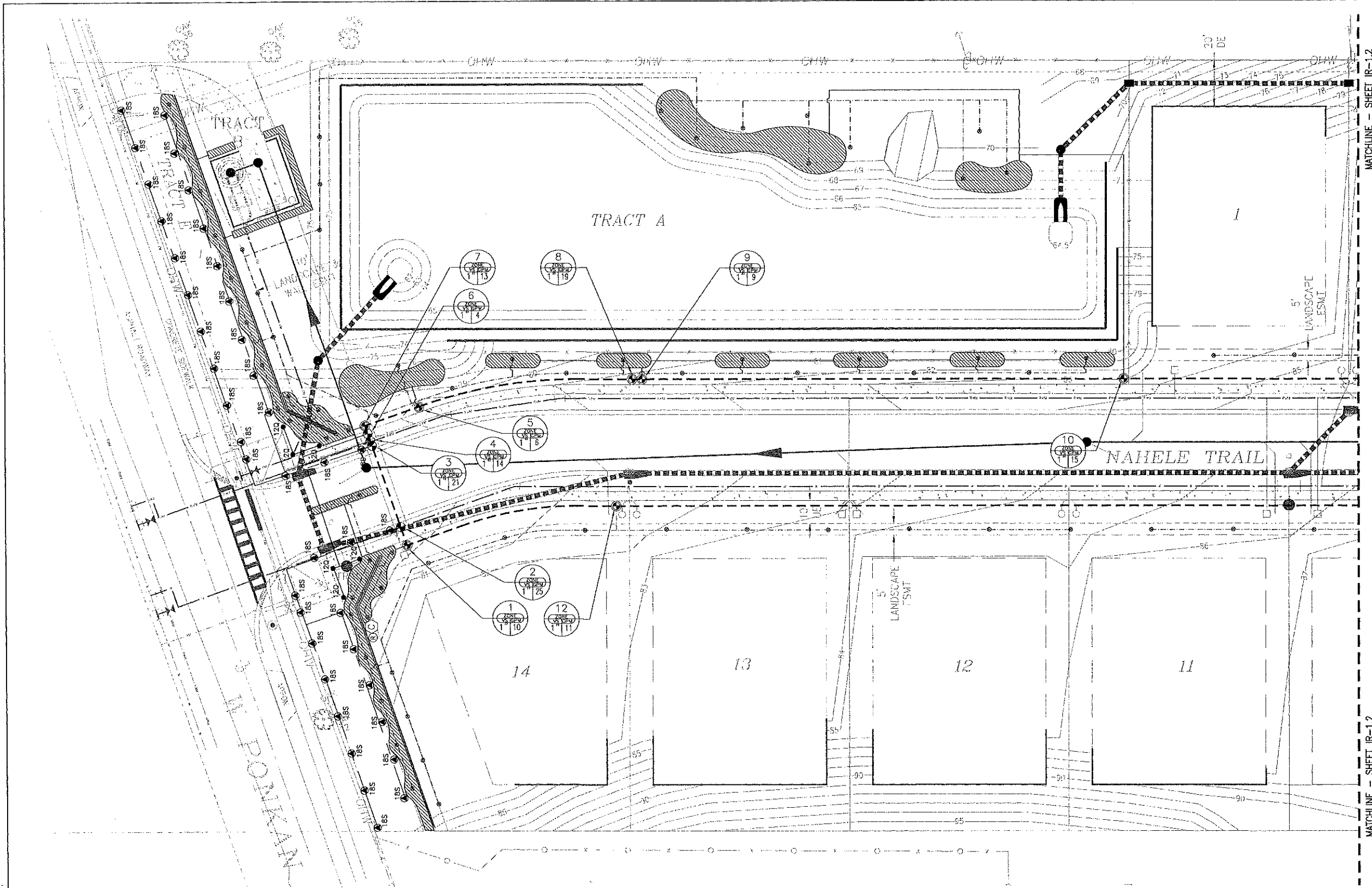
LANDSCAPE
DYNAMICS
LANDSCAPE ARCHITECTS AND PLANNERS

P.O. BOX 2652 - Winter Park, Florida 32790-2652 - Phone 407-576-8811 - Email randy@beshdynamics.com
Overall Irrigation Plan
Ponkati Reserve
Apopka, Florida.

DATE: 08-31-17
JOB NUMBER: 17-032
DRAWN BY: RB
FILE: Irrigation
SCALE: 1"=40'

IR-1

IF LESS THAN 24"x36" SHEET HAS BEEN REDUCED, ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.



MATCHLINE - SHEET IR-1.2

MATCHLINE - SHEET IR-1.2



DEC 21 2018

1 inch = 20 ft.

LANDSCAPE ARCHITECT
 Robert R. Buchanan LAC000032
 Landscape Architectural Services, Inc. LAC000032
 3002 N. Sinclair Avenue
 Tavares, FL 32778
 407-938-1111
 www.randy-landscapedynamics.com

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LANDSCAPE DYNAMICS
 LANDSCAPE ARCHITECTS AND PLANNERS

P.O. BOX 2832 - Winter Park, Florida 32790-2832 - Phone 407-579-8111 - Email randy@landscapedynamics.com

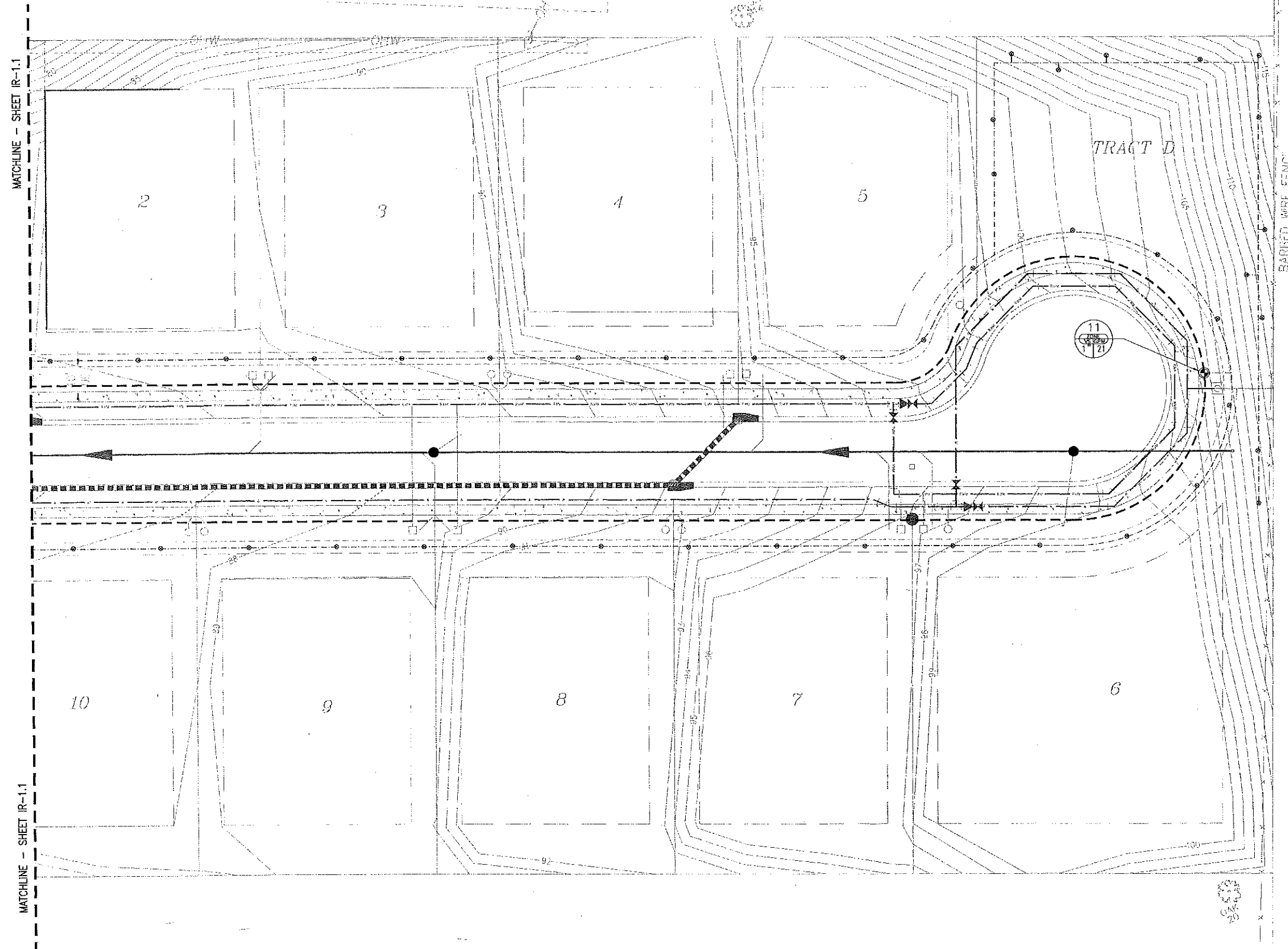
Irrigation Plan
 Pankan Reserve
 Apopka, Florida

REVISIONS
 1) 1/16/18 Comments
 2) 4/17/18 Comments
 3) 9/21/18 Comments
 4) 11/1/18 Comments
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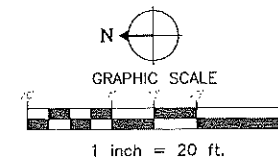
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 FILE: Irrigation
 SCALE: 1" = 20'

IR-1.1

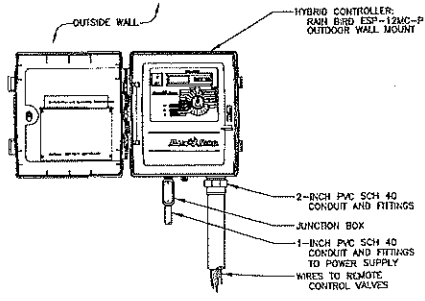
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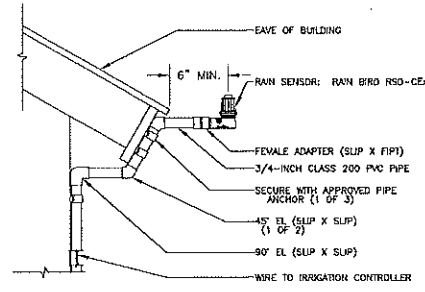
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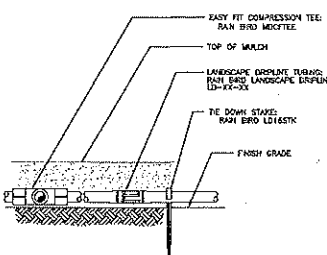
<p>LANDSCAPE ARCHITECT: Robert P. Beshel, License No. 145662013 Professional Seal of Robert P. Beshel, License No. 145662013 Professional Seal of Robert P. Beshel, License No. 145662013 Professional Seal of Robert P. Beshel, License No. 145662013</p>	
<p>48 HOURS BEFORE YOU DO CALL SURVEYING LICENSED IN FL IT'S THE LAW IN FLORIDA LANDSCAPE ARCHITECTS PROFESSIONAL SEAL PROFESSIONAL SEAL PROFESSIONAL SEAL PROFESSIONAL SEAL</p>	
<p>BESH Engineers, Inc. 902 N. Sinclair Avenue Tavares, FL 32778</p>	
<p>LANDSCAPE DYNAMICS LANDSCAPE ARCHITECTS AND PLANNERS</p>	
<p>P.O. BOX 2852 - Winter Park, Florida 32790-2852 - Phone 407-578-8911 - Email: rreid@beshelbeshel.com</p>	
<p>Irrigation Plan Ponkan Reserve Appopka, Florida</p>	
<p>REVISIONS 1) 10/18 Comments 2) 4/17/18 Comments 3) 8/2/18 Comments 4) 8/2/18 5) 8/2/18</p>	
<p>DATE: 08-31-17 JOB NUMBER: 17-002 DRAWN BY: RPB FILE: Irrigation SCALE: 1"=20'</p>	
<p>IR-1.2</p>	



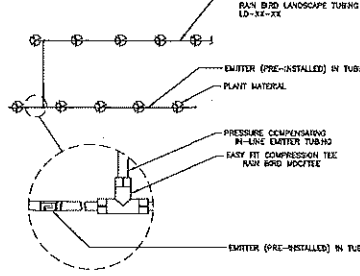
A FOLR PROGRAM HYBRID CONTROLLER ESP-MC PLASTIC WALL-MOUNT KIT



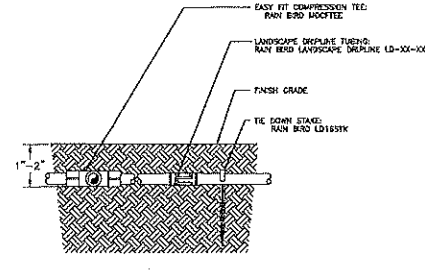
B RAIN SENSOR RSD-CRX ROOF CONDUIT KIT



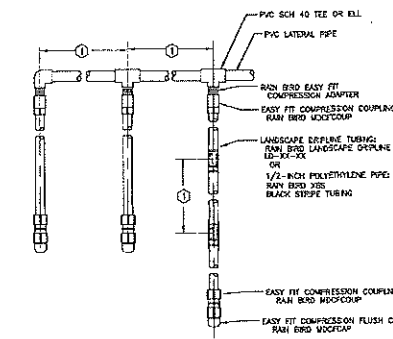
C LANDSCAPE DRIPLINE ON GRADE NON-POTABLE SYSTEM



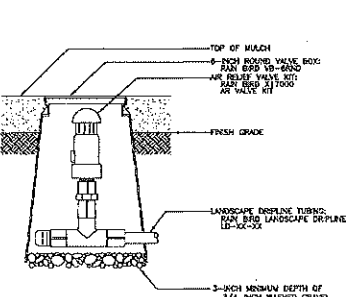
D LANDSCAPE DRIPLINE CONNECTIONS NON-POTABLE SYSTEM



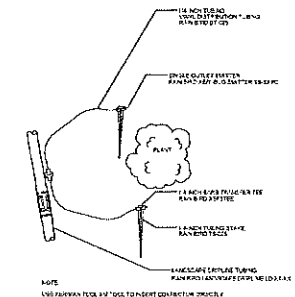
E LANDSCAPE DRIPLINE 2\"/>



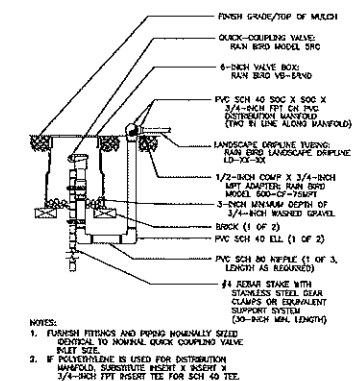
F LANDSCAPE DRIPLINE LATERALS NON-POTABLE SYSTEM



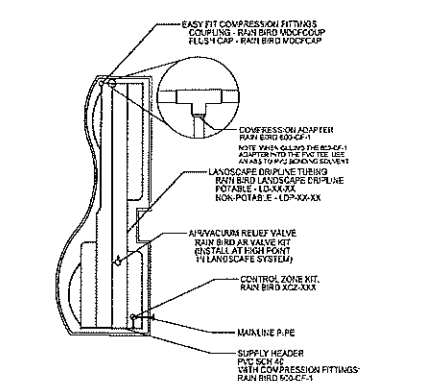
G AIR RELIEF VALVE IN KIT



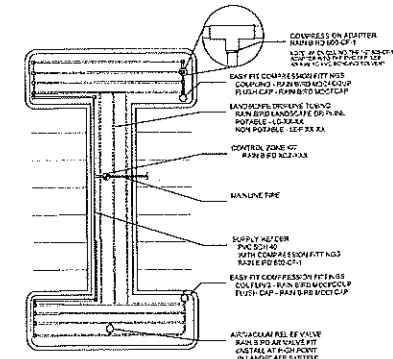
H LANDSCAPE DRIPLINE WITH SUPPLEMENTAL EMITTERS



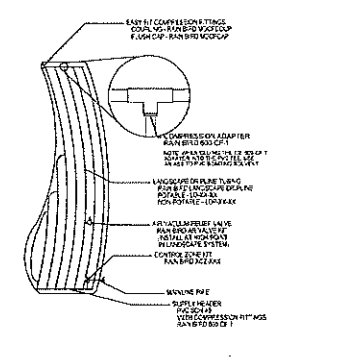
I LANDSCAPE DRIPLINE FLUSH POINT NON-POTABLE SYSTEM



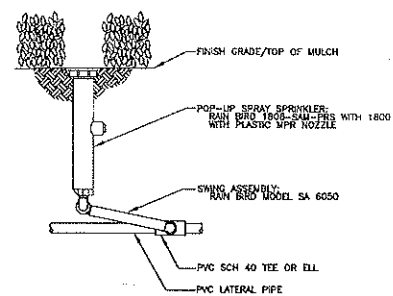
J LANDSCAPE PLANTER - ODD SHAPED



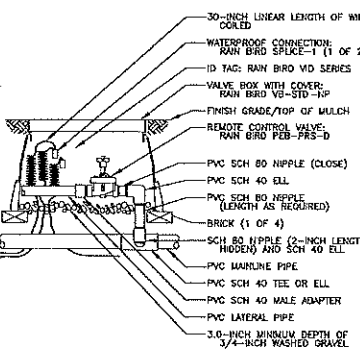
K PARKING LOT - DOGBOONE SHAPED



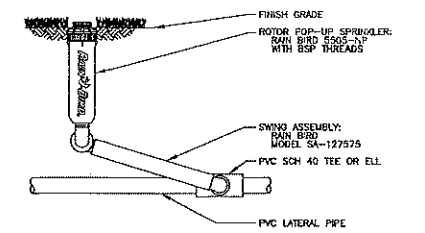
L LANDSCAPE PLANTER - CURVED POLYGON SHAPED



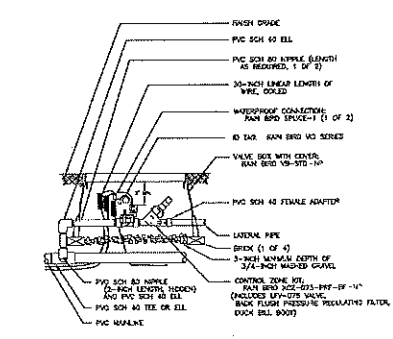
M POP-UP SPRAY SPRINKLER 180S WITH SWING PIPE



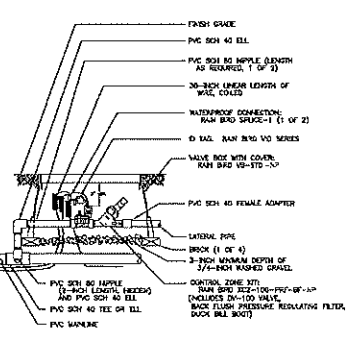
N ELECTRIC REMOTE - CONTROL VALVE FEB OR PESS-R SERIES



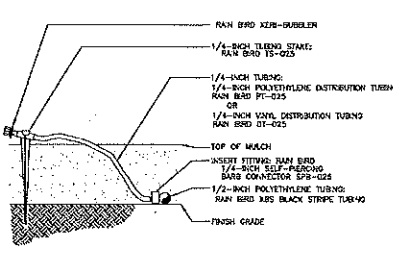
O ROTOR POP-UP SPRINKLER 550S



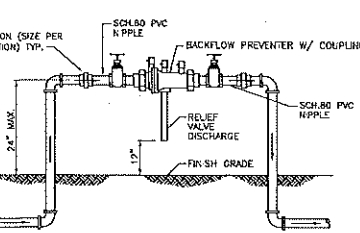
P 1\"/>



Q 1\"/>



R XERI-BUBBLER ON 1/2\"/>



S RPZ BACKFLOW PREVENTER DETAIL

IF LESS THAN 24\"/>

LANDSCAPE ARCHITECT:
Robert R. Buchanan, LAM0029937
Landscape Architecture, Inc.
3001 N. St. Johns Avenue
Tampa, FL 33610
813-288-1111
www.rainbird.com

BESH Engineers, Inc.
502 N. St. Johns Avenue
Tampa, FL 33610
813-288-1111

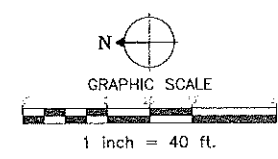
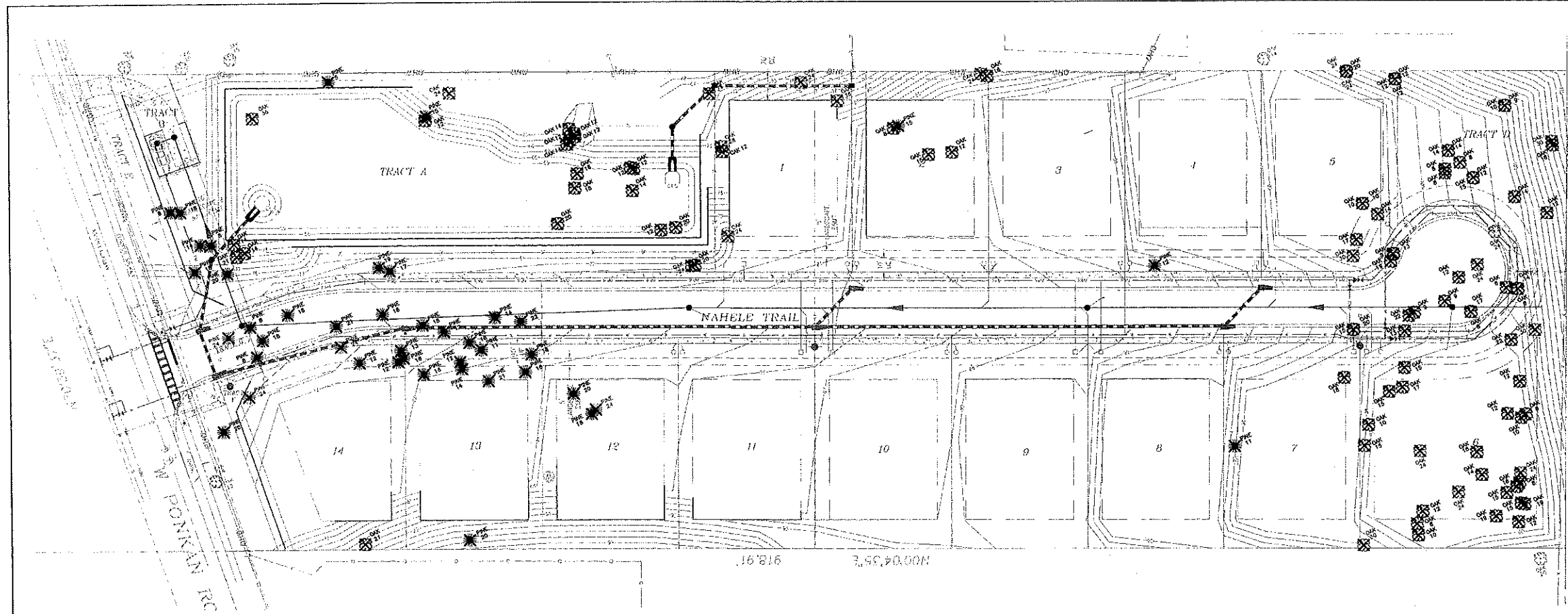
LANDSCAPE
DYNAMIC
LANDSCAPE ARCHITECTS AND PLANNERS

irrigation Details
Ponkan Reserve
Apopka, Florida

REVISIONS
1) 11/18 Comments
2) 11/18 Comments
3) 12/18 Comments
4) 12/18 Comments
5) 12/18 Comments

DATE: 06-21-17
JOB NUMBER: 17-002
DRAWN BY: BRB
FILE: Irrigation
SCALE: N.T.S.

IR-2



LANDSCAPE ARCHITECT:
Robert R. Buchanan 14000933
Professional Seal No. 14000933
Florida State Board of Landscape Architecture
1000 N. Orange Avenue, Suite 100
Orlando, Florida 32801
Tel: 407-251-1111
Fax: 407-251-1112
www.rbbdesign.com

48 HOURS BEFORE YOU DO
SMALL SUNSHINE
322-42-472 or 411
773 THE LEE WAY, SUITE 200
FINDERSVILLE, FL 32112
LAWRENCE J. HANCOCK, P.E.
P.O. BOX 1000, PALM SPRING, FL 33461
1000 N. Orange Avenue, Suite 100
Orlando, Florida 32801

BESH Engineers, Inc.
302 N. Sinclair Avenue
Tallahassee, FL 32376

LANDSCAPE
DYNAMICS
LANDSCAPE ARCHITECTS AND PLANNERS

Ex. Trees to be Removed

TYPE	NUM	SIZE	INCHES
OAK	2	22	44
OAK	3	19	57
OAK	6	10	60
OAK	3	17	51
OAK	2	21	42
OAK	4	9	36
OAK	2	13	26
OAK	1	16	16
OAK	11	14	154
OAK	19	12	228
OAK	8	15	120
OAK	6	18	108
OAK	5	20	100
OAK	10	8	80
PINE	1	16	16
PINE	3	14	42
PINE	2	21	42
PINE	1	13	13
PINE	4	8	32
PINE	1	19	19
PINE	1	17	17
PINE	2	15	30
PINE	1	5	5
PINE	5	12	60
PINE	2	11	22
PINE	1	22	22
PINE	4	20	80
PINE	11	18	198
	121		1720

Ex. Specimen and Historic Trees to be Removed

TYPE	NUM	SIZE	INCHES
OAK	1	28	28
OAK	4	30	120
OAK	13	24	312
OAK	2	36	72
PINE	4	24	96
	24		628

EX. TREE DATA

SITE AREA = 325,292 sf.
 SITE CLEARING AREA = 325,292 sf., 7.46 ac.
 TOTAL TREE INCHES = 2,348"
 TOTAL TREE INCHES TO BE REMOVED = 2,348"
 TOTAL SPECIMEN TREES TO BE REMOVED = 24

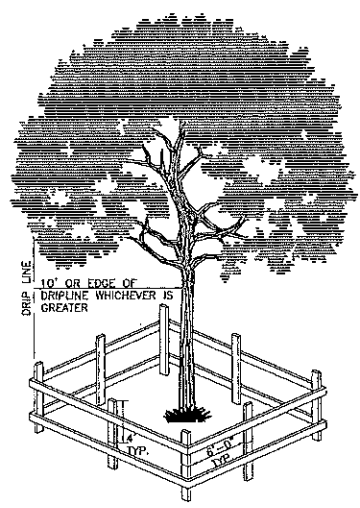
MAXIMUM REPLACEMENT FOR SPECIMEN/HISTORIC TREES = 1,596"
 (30" PLUS 5" PER 1,000 sf. OVER 6,000 sf.)

MAXIMUM REPLACEMENT FOR PROTECTED TREES = 1,117"
 (21" PLUS 3.5" PER 1,000 sf. OVER 6,000 sf.)

TOTAL TREE INCHES TO BE REPLACED = 1,745"
 TOTAL TREE INCHES PROVIDED BY THIS PLAN = 270"
 TOTAL TREE INCHES TO BE PROVIDED BY CONTRACTOR ON SINGLE FAMILY RESIDENTIAL LOTS = 126"

SYMBOLS

○ TREES TO BE SAVED
 ✕ TREES TO BE REMOVED



1 TYPICAL TREE PROTECTION DETAIL
 TM-1
 SCALE= N.T.S.

NOTE:
 Posts shall be used as protective barriers to the roots and trunk of every tree on the parcel being developed. The posts shall be placed at points not closer than three-quarters (3/4) the radius of the drip-line of the protected tree, unless the structure has been permitted by Planning, Zoning & Development Department to be erected within the drip-line of a tree with a wide canopy. Each section of the barrier shall be clearly visible (flagged with brightly colored plastic tape or other markers). No attachments or wires other than those with protective or non-damaging nature shall be attached to any tree.

IF LESS THAN 24"x36" SHEET HAS BEEN REDUCED, ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.

PO. BOX 2882 - Winter Park, Florida 32789-2882 - Phone 407-570-9811 - Email: randy@beshdynamics.com

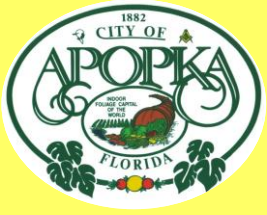
REVISIONS
 1. 11/18 Comments
 2. 11/18 Comments
 3. 12/21/18 Comments
 4. 12/21/18 Comments

DATE: 08-01-17
 JOB NUMBER: 17-002
 DRAWN BY: RB
 FILE: Tree Mitigation
 SCALE: 1"=40'

Tree Mitigation Plan
 Ponkan Reserve
 Apopka, Florida

TM-1

DEC 21 2018



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	February 12, 2019
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Final Development Plan/Plat		Final Development Plan and Plat

SUBJECT: FINAL DEVELOPMENT PLAN AND PLAT – OAK POINTE SOUTH RESIDENTIAL SUBDIVISION

REQUEST: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN AND PLAT FOR THE OAK POINTE SOUTH RESIDENTIAL SUBDIVISION

SUMMARY:

OWNER: Thompson Hills Estates, LLC

APPLICANT: Evans Engineering, c/o David Evans, P.E.

LOCATION: East of SR 429, north of McCormick Road

PARCEL ID NUMBERS: 29-21-28-0000-00-00-038, 33-21-28-0000-00-004, 33-21-28-0000-00-030, 29-21-28-0000-00-016, 29-21-28-0000-00-011, 29-21-28-0000-00-037, 29-21-28-0000-00-033

EXISTING USE: Vacant, abandoned single-family homes

FLUM DESIGNATIONS: Commercial, Low Density Residential

CURRENT ZONING: PUD (Planned Unit Development)

PROPOSED DEVELOPMENT: 238 total units (118 single family homes, 120 townhome units)

TRACT SIZE: 69.38 +/- acres total PUD, residential portion 60.50 +/- acres

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

North (County)	Rural (0-1 du/10 ac)	A-1	Northwest Water Reclamation Facility
East (City)	Low Density Residential (0-5 du/ac)	R-2	Apopka Woods subdivision
South (City)	Commercial (max 0.25 FAR)	C-1	Vacant commercial/McCormick Rd
West	SR 429 right-of-way	Not assigned	SR 429 right-of-way
North (County)	Rural (0-1 du/10 ac)	A-1	Northwest Water Reclamation Facility

PROJECT INFORMATION: The applicant is requesting approval of a Final Development Plan and Plat for a 238 unit residential development that consists of 118 single family homes and 120 townhome units on 69.38 acres. The property is zoned Planned Unit Development, and a PUD Master Plan was approved for the development in 2017. Of the 69.38 acres, 8.88 acres are reserved for commercial uses and are not subject to this application. The total residential portion of the PUD is 60.50 acres. The subject property is located east of State Road 429 and north of McCormick Road.

Located to the east of the site is Apopka Woods a 76 lot, single family residential neighborhood. Typical lots within Apopka Woods have a minimum width of 70 feet and a minimum land area of 7,500 square feet. The Orange County Northwest Reclamation Water Facility is located on portions of the northern and northwest boundaries of the property. Directly to the south of Oak Pointe is a private gated residential community located in the City of Ocoee; McCormick Woods, with typical lot sizes of 70 x 125 (8,750 square feet). As detailed in the approved PUD Master Plan, typical lot widths for the single-family units are 70-feet, with a lot area of 8,400 square feet provided. Consistent with the approved PUD Master Plan, minimum living areas are 1,500 square feet for the single-family units, and 1,350 square feet for the townhome units.

Project Use: The Final Development Plan and Plat details the construction of a subdivision that consists of 120 townhomes and 118 single family homes within a gated community with private streets. One master homeowners association will serve both the single family homes and townhomes. Consistent with the approved PUD Master Plan, single family lots typically have a minimum width of 70-feet and a minimum lot area of 8,400 square feet, a minimum livable area of 1,500 square feet, and a minimum two-car enclosed garage. A small percentage of single family lots (6.8% totaling 8 lots) have a minimum typical lot width of 65-feet and a minimum lot area of 7,800 square feet, and a minimum house livable area of 1,500 square feet and a minimum two-car enclosed garage. No three-car garages are permitted Townhomes will have a minimum lot width of 23-feet and a minimum lot area of 2,530 square feet. All townhome units offer a one-car enclosed garage. No two-car enclosed garages are proposed by the developer. Seventy-five (75) units have a one-car driveway; 31 units have a two-car driveway.

Access: Access to the Oak Pointe community will occur through a road connection to McCormick Road and a future road connection to Ocoee-Apopka Road that is located to the north of the townhome portion of the site. A gate will be located at both the northern and southern entrances. An emergency gate will be located on the eastern boundary, adjacent to Rory Oak Lane, connecting to Pelock Drive within the Apopka Woods community.

Stormwater: Three stormwater retention ponds are located within the project boundaries that are in tracts that are owned and maintained by the homeowners association. Two ponds are located between the single-family and the townhome portion of the development. One retention pond is located within the townhome area.

Recreation/Open Space/Buffer: Consistent with the PUD Master Plan, two parks are provided and will be accessible to all residents. A community swimming pool and a cabana with a parking lot will be provided adjacent to lots 45 and 52. A second community park provides outdoor recreation and includes a fenced-in dog park. Perimeter buffers include a ten foot buffer with a six-foot high brick wall along the western property line adjacent to SR 429, a ten foot buffer next to the Apopka Woods community with an existing six-foot high vinyl fence, and a ten foot buffer with a six foot tall opaque vinyl fence adjacent to the Orange County Northwest Reclamation facility.

SCHOOL CAPACITY REPORT: The developer has obtained a school concurrency mitigation agreement with Orange County Public Schools to address school impacts generated by this residential development. The location is served by the following schools: Wheatley Elementary, Piedmont Lakes Middle, and Wekiva High School.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of plat application for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

February 12, 2019 - Planning Commission (5:30 pm)

March 6, 2019 – City Council (1:30 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Oak Pointe South Final Development Plan and Plat.

Recommended Motion: Find the proposed Final Development Plan and Plat consistent with the Comprehensive Plan, the Land Development Code, and approved PUD Master Plan, and recommend approval of the Oak Pointe South Final Development Plan and Plat, subject to final review by the City Surveyor and City Engineer prior to recording the plat.

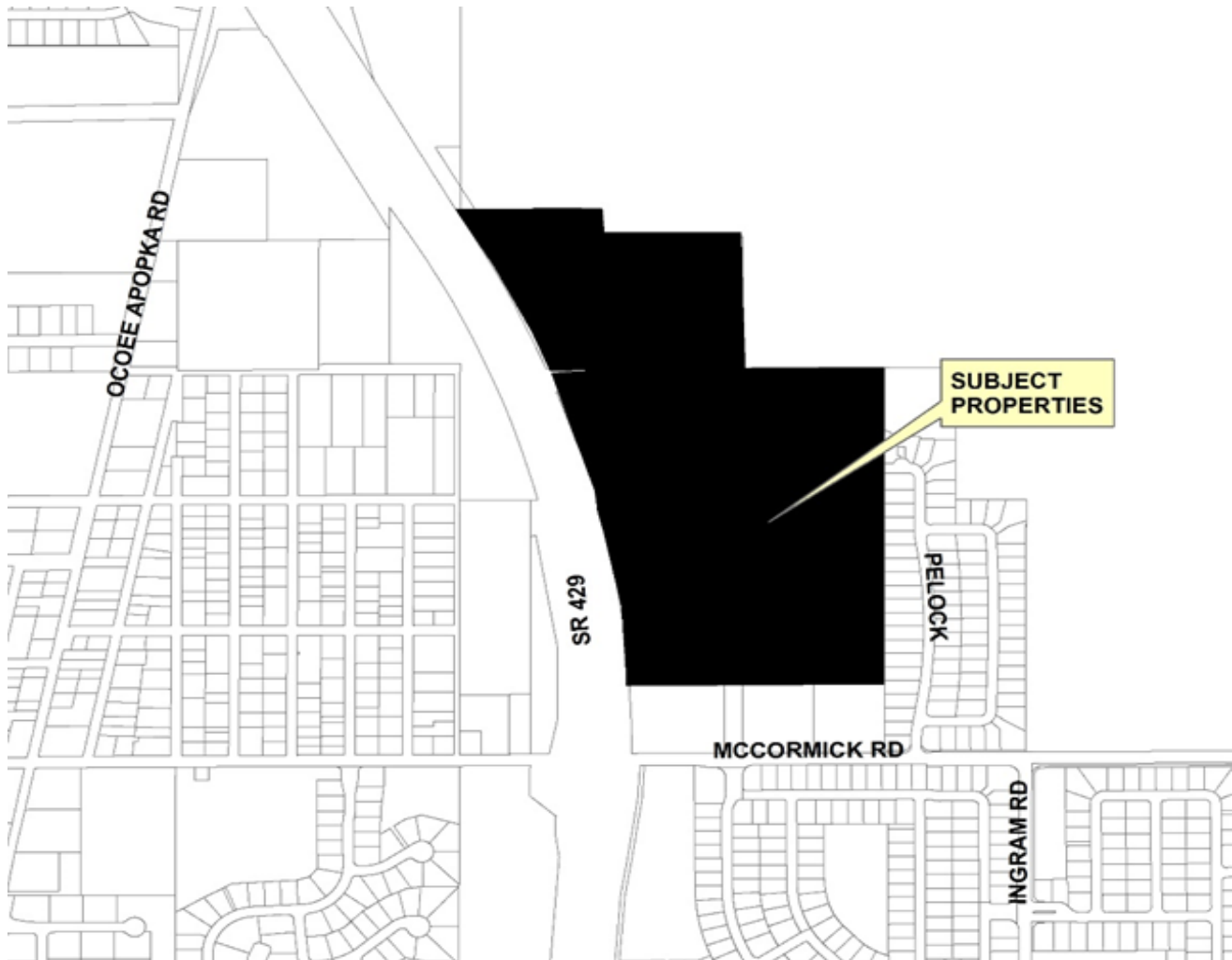
Planning Commission role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny the Plat based on consistency with the Comprehensive Plan, Land Development Code, and approved PUD Master Plan.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project: Oak Pointe South
Owned by: Thompson Hills Estates, LLC
Located: East of SR 429 and north of McCormick Road
Parcel ID#s: 29-21-28-0000-00-00-038, 33-21-28-0000-00-004, 33-21-28-0000-00-030,
29-21-28-0000-00-016, 29-21-28-0000-00-011, 29-21-28-0000-00-037,
29-21-28-0000-00-033

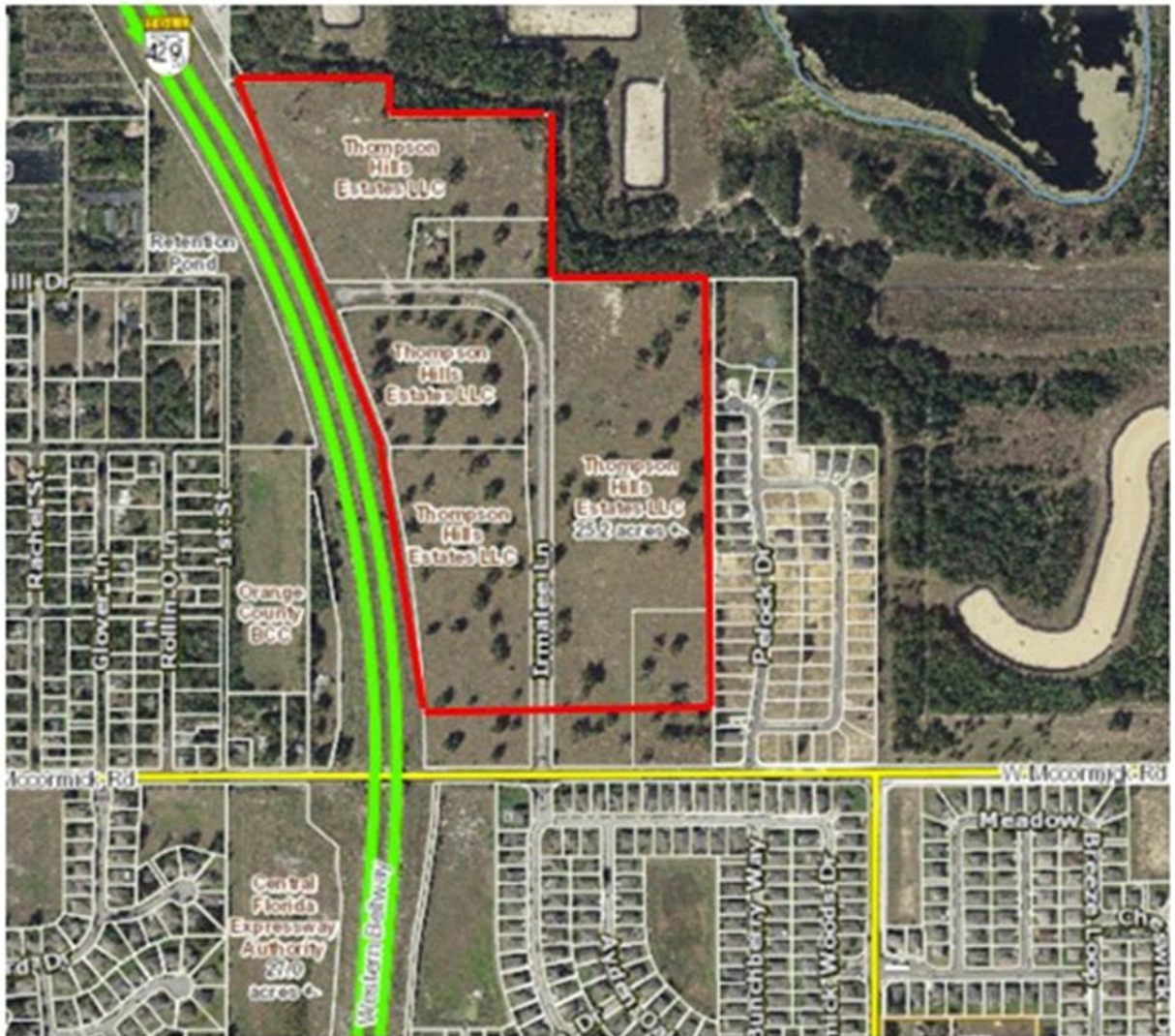


VICINITY MAP





ADJACENT USES



STANDARD SPECIAL PURPOSE NOTES:

- NO EQUIPMENT EXTENDING HIGHER THAN 15 FT. ABOVE EXISTING GRADE SHALL BE USED WITHIN POWER EASEMENTS.

GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS.
- CONTRACTOR SHALL REVIEW ALL PERMITS PRIOR TO CONSTRUCTION FOR ANY CHANGES TO THE DESIGN INCLUDED THEREIN. NOTIFY ENGINEER/OWNER OF ANY REQUIRED CHANGES PRIOR TO CONSTRUCTION.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN. PERMITS INCLUDED (BUT NOT NECESSARILY LIMITED TO) ARE:
 - WATER MANAGEMENT DISTRICT CONSUMPTIVE USE (WATER USE) FOR CONSTRUCTION DEWATERING
 - WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT
 - FDEP WATER DISTRIBUTION
 - FDEP DREDGE AND FILL
 - ADDITIONAL DREDGE AND FILL
 - LOCAL RIGHT OF WAY USE
 - LOCAL UNDERGROUND UTILITIES
 - EPA NPDES STORMWATER PERMIT
- CONTRACTOR IS ADVISED THAT THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY REQUIRES THAT OPERATORS FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES GENERAL PERMIT PRIOR TO BEGINNING WORK. IT IS CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN SAME. A COPY SHALL BE SENT TO EVANS ENGINEERING, INC.
- FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY OPERATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE, OR GAS UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF THE PROPOSED EXCAVATION." THIS INCLUDES ANY OPERATION UTILIZING HAND TOOLS OR POWER TOOLS WHICH MOVES OR REMOVES ANY STRUCTURE, EARTH, ROCK, OR OTHER MASS OF MATERIAL BY SUCH METHODS AS DIGGING, BACKFILLING, DEMOLITION, GRADING, DITCHING, DRILLING, BORING AND CABLE LAYING. THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOURS AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATING (EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS).
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS; INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS AND CABLE TV COMPANIES.
- IN THE CITY OF APOPKA, CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN TO BOTH ENGINEERS FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING.
- PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE EVANS ENGINEERING, INC. WITH CONSTRUCTION SCHEDULE FOR VARIOUS SITE WORK ELEMENTS SO THAT PERIODIC VISITS MAY BE SCHEDULED TO ENSURE THAT CERTIFICATION OF COMPLETION TO AGENCIES AND AVOID DELAYS IN ISSUANCE OF CERTIFICATES OF OCCUPANCY/COMPLETION.
- THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE IMPACT ON THE CONSTRUCTION SCHEDULE. ANY DELAY OR INCONVENIENCE CAUSED BY THE RELOCATION OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.
- CONTRACTOR SHALL PROTECT ADJACENT LAKES AND WETLANDS AND ALL ADJACENT PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
- ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN OWNER'S SHALL BE REPORTED TO ENGINEER/OWNER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.
- CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD. CONTRACTOR SHALL BECOME FAMILIAR WITH AND CONFORM WITH ALL TREE PROTECTION/PRESERVATION PROVISIONS OF THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT.
- ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE CITY, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES.
- CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE PLAT AND COORDINATES PROVIDED IN THESE PLANS. CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT THE PLAT IS CURRENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONFIRM THE BUILDING DIMENSIONS SHOWN HEREIN WITH THOSE IN THE FINAL ARCHITECTURAL DRAWINGS PRIOR TO STAKEOUT. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, INCLUDING MINIMUM BUILDING SETBACKS PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT.
- CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SLOPES AND INVERTS DURING SHOP DRAWING AND MATERIALS ORDERING PHASE OF PROJECT AND ADVISE ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL FURNISH OWNER WITH SURVEYED RECORD DRAWINGS SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL DIMENSIONING OF THE WORK. THE SUBMITTAL COPY OF THE RECORD DRAWINGS WILL NOT BE RETURNED. THE RECORD DRAWING OR A REPRODUCIBLE COPY PREPARED BY ENGINEER SHALL BE CERTIFIED BY THE CONTRACTOR AS CORRECT. ALL INFORMATION WHICH IS UNCHANGING AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCLING. ALL REVISED INFORMATION SHALL BE CROSSED THROUGH AND NEW DATA ADDED. ADDITIONAL REQUIREMENTS ARE NOTED IN PAVING, GRADING AND DRAINAGE AND WATER AND SEWER NOTES.
- IN THE CITY OF APOPKA CONTRACTOR SHALL CERTIFY VIA THE RECORD DRAWINGS THAT CONSTRUCTION CONFORMS WITH THE FOLLOWING CRITERIA AS SET FORTH IN THE CITY OF APOPKA SUBDIVISION REGULATIONS SECTION 34-210(1) AND (2): STORMWATER MANAGEMENT AREAS, MAINTENANCE BERMS, BERM BACK SLOPES

AND OUTFALL CONVEYANCE ARE CONSTRUCTED WITHIN DESIGNATED TRACT OR EASEMENT. ELEVATIONS ARE WITHIN THE FOLLOWING SPECIFIED TOLERANCES OF DESIGN ELEVATIONS:
 TOP OF BERM, TOE OF SLOPE, POND BOTTOM +/- 0.50 FT.
 OUTFALL STRUCTURE AND PIPING +/- 0.20 FT.
 PIPE INVERTS, GUTTER LINE AND ROAD CENTERLINE AT SAG INLETS +/- 0.20 FT.
 COMPENSATING STORAGE AREAS +/- 0.50 FT.

- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN DRAWINGS AND THE FIELD CONDITIONS PRIOR TO CONSTRUCTION IN THE AREA IMPACTED BY THE CONFLICT.
- NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
- CONTRACTOR SHALL VERIFY THE LIMIT, DEPTH AND TYPE OF EXISTING FRICTION COURSE, IF ANY, PRIOR TO INITIATING OFFSITE ROADWAY IMPROVEMENTS.
- ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCUI INFRASTRUCTURE.

PAVING, GRADING & DRAINAGE NOTES:

- THE GENERAL NOTES SHOWN ON DRAWING 1 APPLY TO PAVING, GRADING AND DRAINAGE WORK.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL ADJUSTED VERTICAL DATUM OF 1988 (NAVD88). TRIGONOMETRIC LEVELING AND GPS SURVEY METHODS WERE COMBINED TO ESTABLISH SUCH ELEVATIONS. THE ORIGINATING BENCHMARK IS NATIONAL GEODETIC SURVEY BENCHMARK DESIGNATION "P-429" WITH A PUBLISHED ELEVATION OF 113.59 FEET AND SITE BENCHMARKS TAKEN FROM SURVEY BY BOYER-SINGLETON, PROJECT NO. ULR-1, DATED 10-31-2005, THE EXPECTED ACCURACY OF THE ELEVATIONS SHOWN IS ±2 CENTIMETERS.
- BENCHMARK LOCATION AND ELEVATION ARE AS REPRESENTED BY SURVEYOR AT THE TIME OF THE SURVEY. CONTRACTOR SHALL VERIFY ITS CORRECTNESS AT TIME OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A LICENSED LAND SURVEYOR AS DIRECTED BY THE OWNER AT CONTRACTOR'S EXPENSE.
- SITE GRADING, PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION (AND TO CITY OF APOPKA STANDARD SPECIFICATIONS).
- IMMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.
- CONTRACTOR SHALL INSTRUCT THE GEOTECHNICAL TESTING LABORATORY PROVIDING CONSTRUCTION TESTING TO PROVIDE EVANS ENGINEERING, INC. & OWNER WITH COPIES OF ALL SITE-WORK TEST REPORTS AS THEY ARE GENERATED. CONTRACTOR SHALL MAINTAIN THE RESPONSIBILITY OF CONSTRUCTING THE PROJECT IN STRICT ACCORDANCE WITH THE PROJECT PLANS, SPECIFICATIONS AND REQUIREMENTS. RECEIPT OF COPIES OF GEOTECHNICAL REPORTS BY EVANS ENGINEERING, INC. IN NO WAY OBLIGATES EVANS ENGINEERING, INC. TO ANY REVIEW, COMMENTS OR ACTIONS REGARDING THE WORK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTING, SILTING, OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING DRAINAGE SYSTEM AND ADJACENT WATER BODIES AND WETLANDS. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES. METHODS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, SILT BARRIERS, OR SILT SCREENS. ANY MEASURES SHOWN OR DETAILED IN THESE DRAWINGS SHALL BE CONSIDERED MINIMUMS AND SHALL NOT ALLEVIATE CONTRACTOR FROM THE RESPONSIBILITY TO IMPLEMENT ANY MEASURES NECESSARY TO PROVIDE PROTECTION.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES. OWNER RESERVES THE RIGHTS TO CHECK THE STAKING AND ROPING AND REQUIRE IT TO BE RELOCATED IF NECESSARY. IT SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD.
- NO WATER VALVE BOXES, METERS, PORTIONS OF MANHOLES, OR OTHER APPURTENANCES OF ANY KIND RELATING TO ANY UNDERGROUND UTILITIES SHALL BE LOCATED IN ANY PORTION OF A CURB-AND-GUTTER SECTION. ADVISE ENGINEER IMMEDIATELY UPON DISCOVERY OF A POTENTIAL CONFLICT.
- ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" AND FHWA "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES."
- DELETED.
- BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS. WHERE A TRAFFIC MAINTENANCE PLAN IS REQUIRED, THE CONTRACTOR SHALL PREPARE AND SUBMIT THE PLAN FOR APPROVAL.
- SURVEYOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORMWATER MANAGEMENT AREAS IN THE RECORD DRAWINGS.

GEOTECHNICAL SERVICES HAVE BEEN PROVIDED AS REFERENCED BELOW. GEOTECHNICAL RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF EVANS ENGINEERING, INC. EVANS ENGINEERING, INC. HAS RELIED ON THE BELOW REFERENCED GEOTECHNICAL REPORT(S) IN PREPARATION OF THE DRAWINGS. ANY CONFLICT BETWEEN INFORMATION WITHIN THE REPORT AND THESE DRAWINGS SHALL BE REPORTED TO ENGINEER/OWNER. EVANS ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS OR ACCURACY OF GEOTECHNICAL INFORMATION. GEOTECHNICAL ENGINEER: ARDAMAN & ASSOCIATES.

CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF

POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.

PAVEMENT GRADES OVER HANDICAPPED PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION EXCEPT AT RAMPS.

CONTRACTOR SHALL COORDINATE WITH MUNICIPAL AUTHORITY FOR PRE-POUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR RAMP CONCRETE POURS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL ADA STANDARDS.

PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMPED FLUSH WITH PAVEMENT. RAMPS SHALL NOT EXCEED SLOPES OF 12 HORIZONTAL TO 1 VERTICAL.

FINISHED FLOOR ELEVATION IS TYPICALLY 6 INCHES ABOVE DESIGN FINISHED GRADE AT OUTSIDE PERIMETER OF BUILDINGS EXCEPT AT ENTRIES AND WHERE OTHERWISE SHOWN.

100-YEAR FLOOD ELEVATIONS SHOWN HEREIN ARE DERIVED FROM FEMA/FLOOD INSURANCE RATE MAP OF CITY OF APOPKA, COMMUNITY PANEL #12095C0120F PANEL 210 AND 120 OF 750. MAP REVISED SEPTEMBER 25, 2009.

FINISHED FLOOR ELEVATIONS ARE MINIMUM ELEVATIONS REQUIRED TO SATISFY DRAINAGE AND/OR 100-YEAR FLOODPLAIN REQUIREMENTS. PAD ELEVATIONS, IMMEDIATELY OUTSIDE OF BUILDING WALLS, SHALL BE NO MORE THAN 8 INCHES BELOW THE FINISHED FLOOR ELEVATIONS SHOWN.

ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.

DELETED.

CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS OR MEDIANS. WHERE SUCH TREATMENT DOES OCCUR, IT SHALL BE REMOVED AND REPLACED WITH SUITABLE PLANTING SOILS ACCEPTABLE TO OWNER'S LANDSCAPE ARCHITECT.

ENGINEER RESERVES THE RIGHT TO WITHHOLD AUTHORIZATION FOR PAYMENT FOR ANY ROADWORK WHICH HAS NOT BEEN TESTED BY A FLORIDA-REGISTERED GEOTECHNICAL ENGINEER AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.

ELEVATIONS OF GRASSSED AREAS ARE GIVEN AT FINISHED GRADE (TOP OF SOD OR SEEDED SURFACE).

SEE WATER AND SEWER NOTES FOR REQUIREMENTS AT CROSSINGS OF STORM DRAINS AND UTILITY PIPE.

PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN CENTERLINES OF DRAINAGE STRUCTURES AND FROM INVERTS OF ENDWALLS AND/OR MITERED END SECTIONS. BIDDERS SHALL ADJUST FOR PIPE LENGTHS WHEN BIDDING MITERED END SECTIONS.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND.

ROAD GRADING AND CONSTRUCTION SHALL INCLUDE BRINGING THE 10-FT. UTILITY EASEMENTS ADJACENT TO THE RIGHT-OF-WAY LINE TO WITHIN 6 INCHES OF FINAL DESIGN GRADE.

INLETS WHICH ARE GRAPHICALLY SHOWN ON LOT LINES AND NOT OTHERWISE LOCATED BY STATIONING SHALL BE LOCATED SUCH THAT THE CENTERLINE OF THE INLET BOTTOM IS ALIGNED WITH THE LOT LINE.

RETAINING WALL DESIGN BY OTHERS.

NEW PIPES SHALL BE CONNECTED TO EXISTING PIPES AT AN EXISTING FACTORY MADE JOINT. REMOVE PARTIAL PIPES IF AND AS NEEDED.

MINIMUM CURB SLOPE SHALL BE 0.30 PERCENT.

ALL MITERED END SECTIONS SHALL BE 2:1 FACE SLOPE UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

ALL SIDEWALKS DIRECTLY ADJACENT TO RETENTION POND ACCESS DRIVES SHALL BE 6 INCH THICK CONCRETE.

ALL PIPE END TREATMENTS SHALL CONFORM TO FDOT INDEX NO. 280, "CONCRETE JACKET FOR CONNECTING DISSIMILAR TYPES OF PIPE AND CONCRETE PIPES WITH DISSIMILAR JOINTS." CONTRACTOR MAY SUBMIT ALTERNATE DESIGN FOR REVIEW AND APPROVAL.

UTILITY NOTES

- ALL CONSTRUCTION SHALL CONFORM WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY LOCAL, STATE AND FEDERAL REGULATIONS, WHICH SO EVER ARE MORE STRINGENT, SHALL BE ADHERED TO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING (HORIZONTALLY AND VERTICALLY) ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND FOR NOTIFYING VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, TEMPORARY DISTRIBUTION SERVICE OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. ALL UTILITIES, WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION, SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES AND THE CONTRACTOR SHALL COOPERATE WITH THEM FULLY DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- PROVIDE MINIMUM OF 3 FEET COVER FOR ALL UTILITIES UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS.
- COMPACT ALL UTILITIES TRENCHES WITHIN THE ROADWAYS ASSOCIATED WITH THIS PROJECT TO 98% OF THE PROCTOR MAXIMUM DENSITY.
- THE SPECIFICATIONS, NOTES AND PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF DESIGN AND CONSTRUCTION. HOWEVER, THE CONTRACTOR SHALL FURNISH AND INSTALL THE WORKS IN ALL DETAILS AND READY FOR OPERATION.
- ALL EQUIPMENT AND MATERIAL ASSOCIATED WITH ANY UTILITY WORK ON THIS PROJECT SHALL BE HANDLED, STORED, INSTALLED, TESTED AND OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURERS INSTRUCTIONS.
- ALL UTILITY WORK SHALL BE ACCOMPLISHED TO THE HIGHEST QUALITY CRAFTSMANSHIP STANDARDS.

LOCATION OF PUBLIC WATER SYSTEM (PWS) MAINS (PIPE SEPARATION REQUIREMENTS)

THE TERM "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE (3) INCHES OR GREATER.

- HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
 - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET, AND PREFERABLY TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
 - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE HORIZONTAL DISTANCE OF AT LEAST SIX (6) FEET, AND PREFERABLY TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM

MATERIAL SPECIFICATIONS (PAVING AND DRAINAGE):

- PAVING MATERIALS SHALL CONFORM WITH FDOT STANDARD SPECIFICATIONS, LATEST EDITION AND CITY OF APOPKA STANDARD SPECIFICATIONS.
- STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED.
- IN THE CITY OF APOPKA ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC. IN ALL OTHER MUNICIPALITIES PIPES BETWEEN LOTS, ADJACENT TO BUILDINGS OR BELOW THE WATER TABLE SHALL BE WRAPPED WITH FILTER FABRIC. FILTER FABRIC TO EXTEND A MINIMUM OF 3' TO EACH SIDE OF THE PIPE JOINT. THE FILTER FABRIC SHALL HAVE A MINIMUM OF 2' OF OVERLAP, AS IT IS WRAPPED AROUND THE PIPE JOINT. A SAMPLE OF THE FILTER FABRIC TO BE USED WILL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.
- ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.
- ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE 4 FT. MINIMUM DIAMETER.
- ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC. SHALL BE 3000 PSI MINIMUM, UNLESS OTHERWISE SPECIFIED.

SEED AND MULCH SPECIFICATIONS

Season	Item	Per Acre
Summer (March through August)	Brown Top Millet	35 pounds
	Bahia Grass (90% green or better)	70 pounds
	Fertilizer 10-10-10	400 pounds
	Stage 1 (at planting)	400 pounds
Spring (February through March)	Brown Top Millet	20 pounds
	Bahia Grass (90% green or better)	70 pounds
	Fertilizer 10-10-10	400 pounds
	Stage 2 (at germination)	400 pounds

Season	Item	Per Acre
Summer (March through August)	Brown Top Millet	35 pounds
	Bahia Grass (90% green or better)	70 pounds
	Fertilizer 10-10-10	400 pounds
	Stage 2 (at germination)	400 pounds

ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL
 APPENDIX A
 DATE: February 11, 2011
 FIGURE GN

OCU GENERAL NOTES:

- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAINS. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
- SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) AND THE OCU INSPECTOR.
- THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407) 254-9798.
- THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION BY CALLING (407) 254-9798.
- THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE OCU SYSTEM SHALL BE IN CONFORMANCE WITH THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
- ALL OCU MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO OCU MAINS AND FACILITIES. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY OCU, OCU MAY PERFORM REQUIRED REPAIRS AND CLEANUP. THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, OR STORM WATER IMPROVEMENTS. OCU FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
- ONLY OCU SHALL OPERATE OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE OCU INSPECTOR. FOR OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
- CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ADVANCE.
- THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO OCU DEVELOPMENT ENGINEERING FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
- ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND OCU.
- THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCEMAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
- FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, NO PIPE BENDING IS ALLOWED. THE MAXIMUM ALLOWABLE TOLERANCE FOR JOINT DEFLECTION IS 0.75 DEGREES (3-INCHES PER JOINT PER 20 FT STICK OF PIPE.) ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AND FITTINGS.
- FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.

EVANS ENGINEERING, INC.
 CIVIL ENGINEERING LAND PLANNING PERMITTING SERVICES
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(407) 872-1616
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 CERTIFICATE OF AUTHORIZATION NO. 00008788

EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788
 DAVID L. EVANS
 FLORIDA P.E. NO. 46586
 DATE:

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
GENERAL NOTES

DATE	NO.	REVISIONS	BY
7-9-18	1	REV. PER GENERAL COMMENTS	JSK
7-16-18	2	OCU 18-P-53 UTILITIES REVIEW	JSK
		DATED 6-29-18	

DRAWN BY: JSK
 CHECKED BY: DLE
 DATE: MAR, 2018
 JOB #: 25801

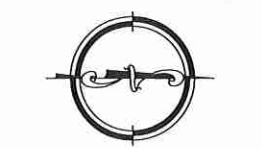
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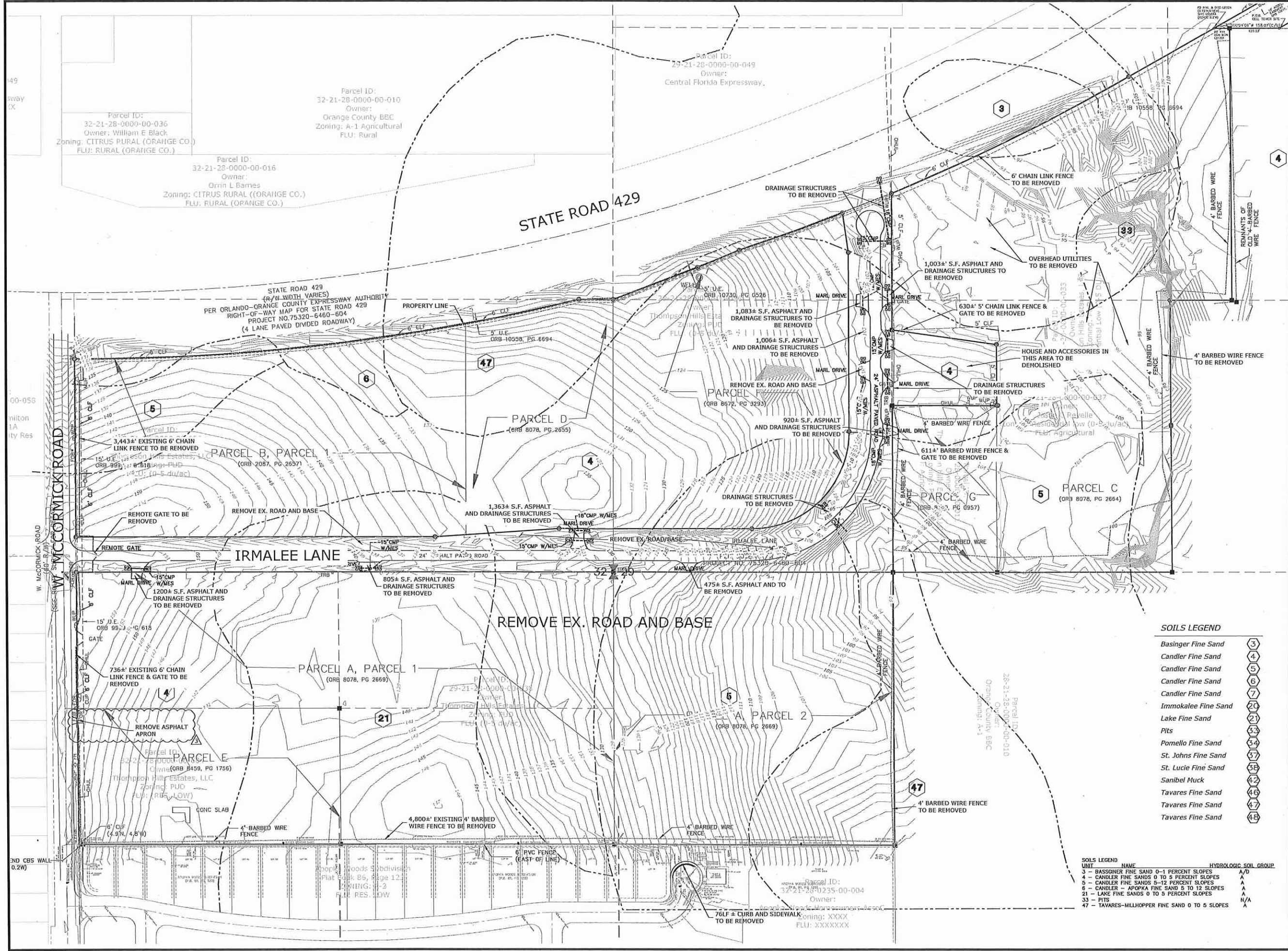
OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
CITY OF APOPKA, FLORIDA
EXISTING CONDITIONS & DEMOLITION PLAN

REVISIONS	DATE	BY	DESCRIPTION
1	7-25-18	JKS	OCU 18-053 FW COMMENTS DATED 7-09-18

DRAWN BY:	DATE:
JKS	MAR, 2018
CHECKED BY:	JOB #:
DLE	25801



SHEET #:
3.0

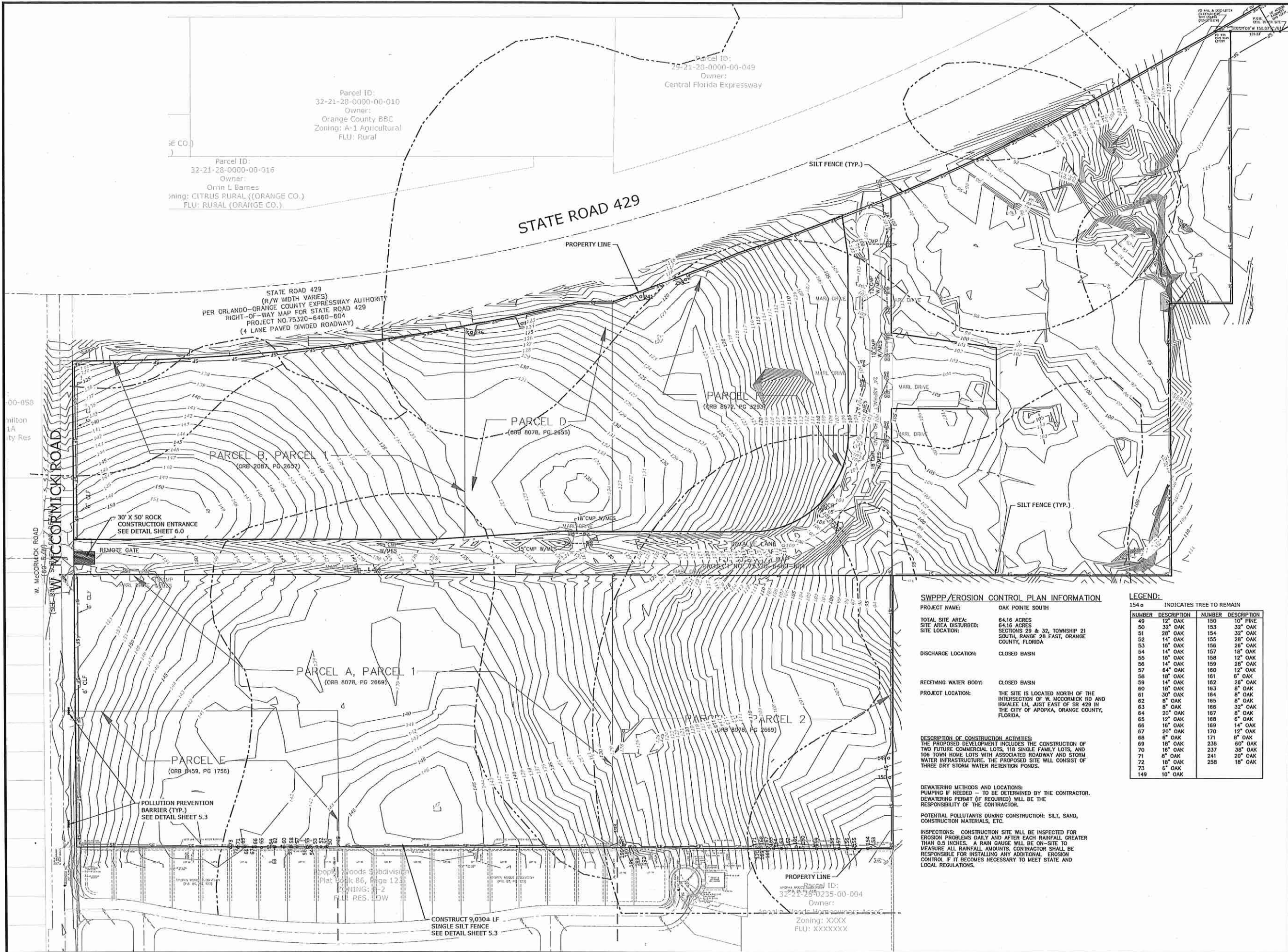


SOILS LEGEND

- 3 Basinger Fine Sand
- 4 Candler Fine Sand
- 5 Candler Fine Sand
- 6 Candler Fine Sand
- 7 Candler Fine Sand
- 8 Candler Fine Sand
- 9 Immokalee Fine Sand
- 10 Lake Fine Sand
- 11 Pits
- 12 Pomello Fine Sand
- 13 St. Johns Fine Sand
- 14 St. Lucie Fine Sand
- 15 Sanibel Muck
- 16 Tavares Fine Sand
- 17 Tavares Fine Sand
- 18 Tavares Fine Sand

SOILS LEGEND UNIT	NAME	HYDROLOGIC SOIL GROUP
3	BASSINGER FINE SAND 0-1 PERCENT SLOPES	A/D
4	CANDLER FINE SANDS 0 TO 5 PERCENT SLOPES	A
5	CANDLER FINE SANDS 5-12 PERCENT SLOPES	A
6	CANDLER - APOPKA FINE SAND 5 TO 12 SLOPES	A
21	LAKE FINE SANDS 0 TO 5 PERCENT SLOPES	A
33	PITS	N/A
47	TAVARES-MILLHOPPER FINE SAND 0 TO 5 SLOPES	A

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 4/10/2018 12:05:11 PM - Oak Pointe/South/3.001 Final South - Demolition (01) Printed on: Sep 11, 2018 - 10:28am by: dle



Parcel ID:
32-21-28-0000-00-010
Owner:
Orange County B&C
Zoning: A-1 Agricultural
FLU: Rural

Parcel ID:
32-21-28-0000-00-016
Owner:
Orin L Barnes
Zoning: CITRUS RURAL ((ORANGE CO.)
FLU: RURAL (ORANGE CO.)

Parcel ID:
29-21-28-0000-00-049
Owner:
Central Florida Expressway

STATE ROAD 429

STATE ROAD 429
(R/W WIDTH VARIES)
PER ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY
RIGHT-OF-WAY MAP FOR STATE ROAD 429
PROJECT NO. 75320-6460-604
(4 LANE PAVED DIVIDED ROADWAY)

PARCEL B, PARCEL C
(ORB 2087, PG. 2637)

PARCEL D
(ORB 8078, PG. 2655)

PARCEL A, PARCEL 1
(ORB 8078, PG. 2669)

PARCEL 2
(ORB 8078, PG. 2669)

PARCEL E
(ORB 8459, PG. 1756)

POLLUTION PREVENTION
BARRIER (TYP.)
SEE DETAIL SHEET 5.3

CONSTRUCT 9,030± LF
SINGLE SILT FENCE
SEE DETAIL SHEET 5.3

Parcel ID:
32-21-28-0235-00-004
Owner:
Zoning: XXXX
FLU: XXXXXXX

SWPPP/EROSION CONTROL PLAN INFORMATION

PROJECT NAME: OAK POINTE SOUTH
TOTAL SITE AREA: 64.16 ACRES
SITE AREA DISTURBED: 64.16 ACRES
SITE LOCATION: SECTIONS 28 & 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA
DISCHARGE LOCATION: CLOSED BASIN
RECEIVING WATER BODY: CLOSED BASIN
PROJECT LOCATION: THE SITE IS LOCATED NORTH OF THE INTERSECTION OF W. MCCORMICK RD AND IRMALEE LN, JUST EAST OF SR 429 IN THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA.

DESCRIPTION OF CONSTRUCTION ACTIVITIES:
THE PROPOSED DEVELOPMENT INCLUDES THE CONSTRUCTION OF TWO FUTURE COMMERCIAL LOTS, 118 SINGLE FAMILY LOTS, AND 106 TOWN HOME LOTS WITH ASSOCIATED ROADWAY AND STORM WATER INFRASTRUCTURE. THE PROPOSED SITE WILL CONSIST OF THREE DRY STORM WATER RETENTION PONDS.

DEWATERING METHODS AND LOCATIONS:
PUMPING IF NEEDED - TO BE DETERMINED BY THE CONTRACTOR. DEWATERING PERMIT (IF REQUIRED) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

POTENTIAL POLLUTANTS DURING CONSTRUCTION: SILT, SAND, CONSTRUCTION MATERIALS, ETC.

INSPECTIONS: CONSTRUCTION SITE WILL BE INSPECTED FOR EROSION PROBLEMS DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. A RAIN GAUGE WILL BE ON-SITE TO MEASURE ALL RAINFALL AMOUNTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL IF IT BECOMES NECESSARY TO MEET STATE AND LOCAL REGULATIONS.

LEGEND:

154a INDICATES TREE TO REMAIN

NUMBER	DESCRIPTION	NUMBER	DESCRIPTION
49	12" OAK	150	10" PINE
50	32" OAK	153	32" OAK
51	28" OAK	154	32" OAK
52	14" OAK	155	28" OAK
53	18" OAK	156	28" OAK
54	14" OAK	157	18" OAK
55	16" OAK	158	12" OAK
56	14" OAK	159	28" OAK
57	84" OAK	160	12" OAK
58	18" OAK	161	6" OAK
59	14" OAK	162	28" OAK
60	18" OAK	163	8" OAK
61	30" OAK	164	8" OAK
62	8" OAK	165	8" OAK
63	8" OAK	166	32" OAK
64	20" OAK	167	8" OAK
65	12" OAK	168	8" OAK
66	18" OAK	169	14" OAK
67	20" OAK	170	12" OAK
68	8" OAK	171	8" OAK
69	18" OAK	236	60" OAK
70	16" OAK	237	38" OAK
71	8" OAK	241	20" OAK
72	18" OAK	248	18" OAK
73	8" OAK		
149	10" OAK		

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EVANS ENGINEERING, INC.
CERTIFICATE OF AUTHORIZATION NO. 6788

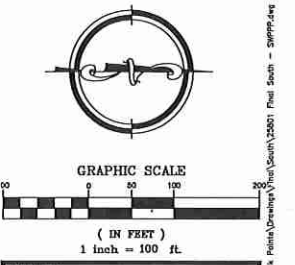
DAVID L. EVANS
FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
CITY OF APOPKA, FLORIDA
STORMWATER POLLUTION PREVENTION PLAN

REVISIONS	DATE	NO.	BY	DETAIL

DRAWN BY: JSK
CHECKED BY: DLE
DATE: MAR, 2018
JOB #: 25801



SHEET #:
4.0

154a INDICATES TREE TO REMAIN
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GENERAL

THE CONTRACTORS SHALL IMPLEMENT THE REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE CIVIL DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO UNDERTAKE ADDITIONAL MEASURES AS REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.

CONSTRUCTION SEQUENCE:

- 1. FLAG ALL WORK LIMITS.
2. NOTIFY SEDIMENT CONTROL INSPECTOR 24 HOURS PRIOR TO START OF CONSTRUCTION.
3. IDENTIFY ALL EXISTING VEGETATION TO BE SAVED.
4. INSTALL CONSTRUCTION ENTRANCE TO PREVENT TRACKING AND SILTING OF MUD INTO PUBLIC ROADWAYS.
5. INSTALL STORM DRAINAGE INLET PROTECTION ON EXISTING INLETS.
6. INSTALL PERIMETER RUNOFF CONTROLS; NOTIFY SEDIMENT INSPECTOR AND OBTAIN APPROVAL BEFORE PROCEEDING FURTHER.
7. PERFORM CLEARING AND GRADING REQUIRED.
8. COMPLETE ALL NECESSARY STOCKPILING, SITE CLEARING/REMOVALS, AND GRADING.
9. COMPLETE PARKING BASE, BUILDING FOUNDATION, AND REMOVE, RELOCATE, INSTALL SITE UTILITIES.
10. INSTALL STORM DRAINAGE INLET PROTECTION ON NEW INLETS.
11. WEATHER IN BUILDING.
12. COMPLETE PARKING LOT CONSTRUCTION.
13. COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING.
14. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROL.

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROL MEASURES AND TO ENSURE THAT THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED, AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

- 1. FILTER FABRIC BARRIERS: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET EROSION WITH THE FOLLOWING LIMITATIONS:
A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3:1.
B. IN MINOR SWALES WHERE THE MAXIMUM CONTRIBUTION DRAINAGE AREA IS LESS THAN 2 ACRES.
2. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUN-OFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER SYSTEM.
3. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUN-OFF UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
4. UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.
5. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE REWORKED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.
6. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
7. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED TO ASSURE OPTIMUM GROWING CONDITIONS.
8. TEMPORARY RE-GRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT OBTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEEDS APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.
9. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
10. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF-SITE FACILITIES.
11. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED.
12. AIR POLLUTION: THE BURNING OF BRUSH OR SLASH SHALL ADHERE TO STATE AND LOCAL REGULATIONS. FIRE PREVENTION MEASURES SHALL BE TAKEN TO PREVENT THE START OR SPREADING OF WILDFIRES THAT MAY RESULT FROM PROJECT ACTIVITIES. ALL DUST CONTROL METHODS SHALL ENSURE SAFE CONSTRUCTION OPERATIONS AT ALL TIMES.

STRUCTURAL CONTROLS

- 1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT TRAPPING FACILITY.
2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP IS USUALLY INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA.
3. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE AREA PER ACRE OF DISTURBED AREA. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACK-FILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE MATERIALS - DISPOSAL

ALL WASTE MATERIALS EXCEPT LAND CLEARANCE DEBRIS SHALL BE COLLECTED AND STORED IN A SECURE LIDDED METAL DUMPSTER. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT.

HAZARDOUS WASTE - DISPOSAL

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

SANITARY WASTE - DISPOSAL

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

EQUIPMENT PLACEMENT

THE CONTRACTOR WILL USE BEST MANAGEMENT PRACTICES TO DETERMINE THE LOCATIONS OF EQUIPMENT TO BE LEFT ON-SITE.

SPILL PREVENTION

THE FOLLOWING PRACTICES WILL BE FOLLOWED BY THE CONTRACTOR TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF SUBSTANCES TO STORM WATER RUN-OFF.

THE FOLLOWING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.

- 1. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
2. ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS.
3. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
4. MANUFACTURER'S RECOMMENDATION FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
5. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.
6. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED.
7. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

IN ADDITION TO THE SPILL PREVENTION PRACTICES LISTED THE FOLLOWING WILL BE FOLLOWED FOR SPILL CONTROL:

- 1. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP WILL BE CLEARLY POSTED ON-SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE CLEAN-UP SUPPLIES.
2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO: BROOMS, DUST PANS, MOPS, RAGS, CLOVES, GOGGLES, LIQUID ABSORBENT, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
3. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
4. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
5. SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.
6. THE SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND CLEAN-UP COORDINATOR. AT LEAST ONE OTHER SITE PERSONNEL WILL RECEIVE SPILL PREVENTION AND CLEAN-UP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE AND PREVENTION OF CLEAN-UP. THE NAMES OF THE RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA IN THE OFFICE TRAILER ON-SITE.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE:

1. PETROLEUM PRODUCTS

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

2. FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. FERTILIZERS WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

3. PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO STATE AND LOCAL REGULATIONS.

4. CONCRETE TRUCKS

CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING AREA FOR CONCRETE TRUCK WASH OUT. CONCRETE TRUCKS THAT WASH OUT ON-SITE MUST WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER INTO A DESIGNATED SEDIMENT BASIN ON SITE PRIOR TO DISCHARGE INTO STORM WATER MANAGEMENT AREAS. CONTRACTOR WILL BE RESPONSIBLE FOR MEETING STATE AND LOCAL REQUIREMENTS.

MAINTENANCE / INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS:

- 1. ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCH OR GREATER.
2. ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER: IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
3. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
4. SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT AND TEARS TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
5. THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED.
6. DIKES AND SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
7. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS.
8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM SHALL BE COMPLETED BY THE INSPECTOR. THE REPORTS WILL BE KEPT ON-SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER, OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
9. THE SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR MANAGING THE INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
10. MONITORING OF TURBIDITY AT ANY SITE OUTFALL(S) WHICH ATTACH TO A STREAM OR DITCH DURING CONSTRUCTION IS REQUIRED. TURBIDITY RESULTS SHOULD BE PROVIDED TO THE OFFICE OF MIKE CASH AT THE CITY OF SANFORD ON A WEEKLY BASIS.

NON-STORM WATER

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

- 1. WATER FROM WATER LINE FLUSHING
2. PAVEMENT WASH WATER (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
3. UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION)

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

STORM WATER POLLUTION PREVENTION PLAN INSPECTION AND MAINTENANCE REPORT FORM EARTH DIKES / SWALES. Includes inspector fields, date, and a table with columns: DIKE OR SWALE, FROM, TO, IS DIKE / SWALE STABILIZED?, IS THERE EVIDENCE OF WASHOUT OR OVERTOPPING? Maintenance required fields and signature line.

STORM WATER POLLUTION PREVENTION PLAN INSPECTION AND MAINTENANCE REPORT FORM SEDIMENT BASIN. Includes inspector fields, date, and a table with columns: DEPTH OF SEDIMENT IN BASIN, DEPTH OF SEDIMENT SIDE BASIN, ANY EVIDENCE OF OVERTOPPING OF THE EMBANKMENT (YES/NO), CONDITION OF OUTFALL FROM SEDIMENT BASIN. Maintenance required fields and signature line.

STORM WATER POLLUTION PREVENTION PLAN INSPECTION AND MAINTENANCE REPORT FORM STABILIZED CONSTRUCTION ENTRANCE. Includes inspector fields, date, and a table with columns: DOES MUCH SEDIMENT GET TRACKED ON TO THE ROAD?, IS THE GRAVEL CLEAN OR IS IT FILLED WITH SEDIMENT?, DOES ALL TRAFFIC USE THE STABILIZED ENTRANCE TO LEAVE THIS SITE?, IS THE CURBVERT BEHIND THE ENTRANCE WORKING (IF APPLICABLE). Maintenance required fields and signature line.

STORM WATER POLLUTION PREVENTION PLAN INSPECTION AND MAINTENANCE REPORT FORM STABILIZATION MEASURES. Includes inspector fields, date, days since last rainfall, amount of last rainfall, and a table with columns: INSPECTION AREA (LOCATION), DATE SINCE LAST DISTURBED, DATE OF NEXT DISTURBANCE, STABILIZED? YES / NO, STABILIZED WITH, CONDITION. Maintenance required fields and signature line.

STORM WATER POLLUTION PREVENTION PLAN INSPECTION AND MAINTENANCE REPORT FORM CHANGES REQUIRED TO THE POLLUTION PREVENTION PLAN. Includes fields for changes required, reasons for changes, and a signature line for the operator and/or responsible authority.

CONTRACTOR CERTIFICATION. Includes a certification statement and a table with columns: NAME AND TITLE, COMPANY NAME, ADDRESS AND PHONE NUMBER, DATE.

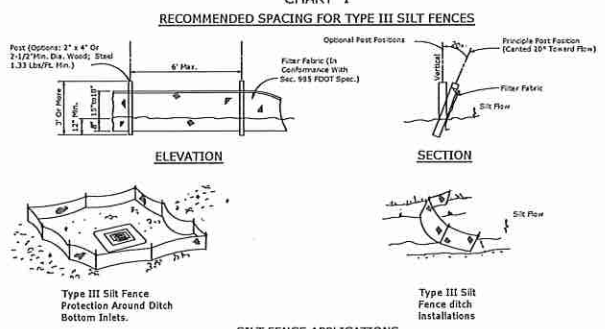
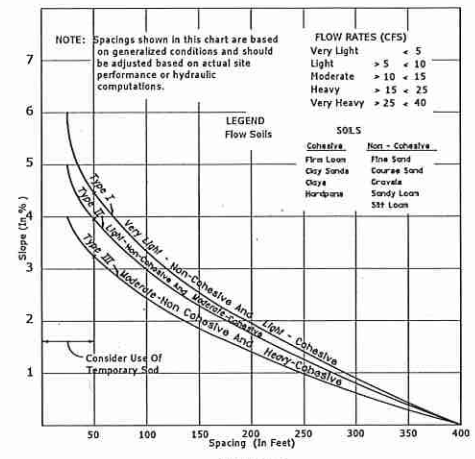
EVANS ENGINEERING, INC. CIVIL ENGINEERING LAND PLANNING PERMITTING SERVICES 710 IRMA AVENUE ORLANDO, FLORIDA 32809 (407) 872-1616 www.evansenginc.com CERTIFICATE OF AUTHORIZATION NO. 00006768

OAK POINTE - SOUTH FINAL CONSTRUCTION PLANS CITY OF APOPKA, FLORIDA SWPPP NOTES

Table with columns: REVISIONS, DATE, NO., BY, DETAIL. A grid for tracking revisions.

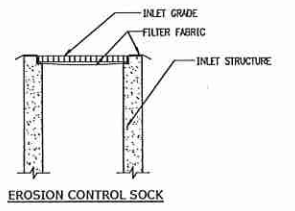
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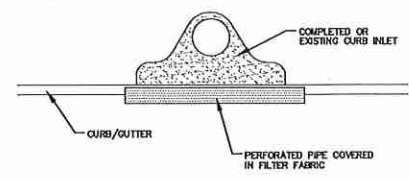


NOTE:
 1. DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
 2. SPACING FOR TYPE III FENCE TO BE IN ACCORDANCE WITH CHART I ABOVE AND DITCH INSTALLATIONS AT DRAINAGE STRUCTURES.
 3. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF).

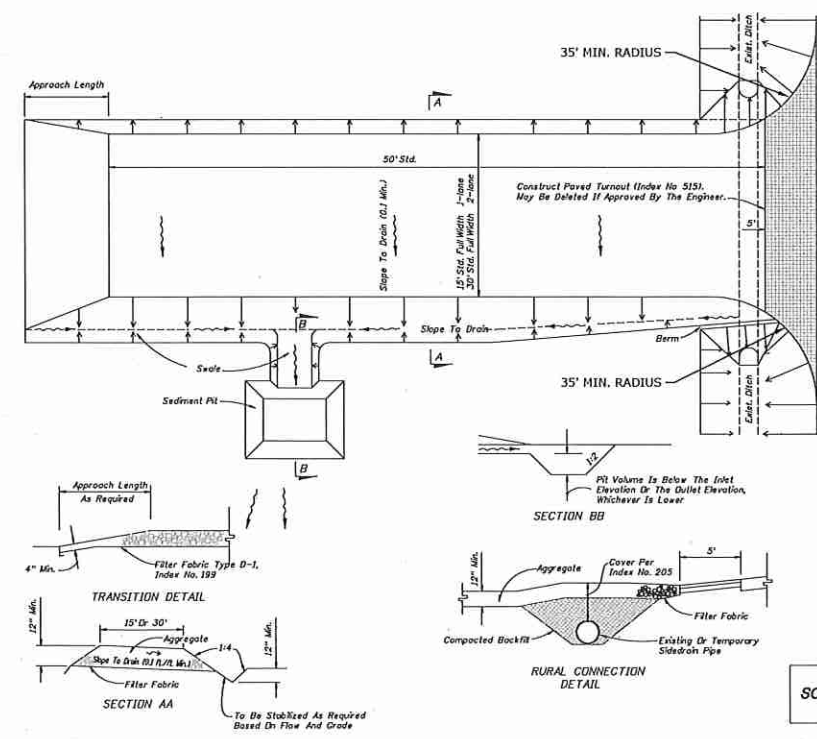
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5.3 TYPE III SILT FENCE
 NOT TO SCALE



3
5.3 FILTER FABRIC PROTECTION FOR INLETS OR SIMILAR STRUCTURES
 NOT TO SCALE



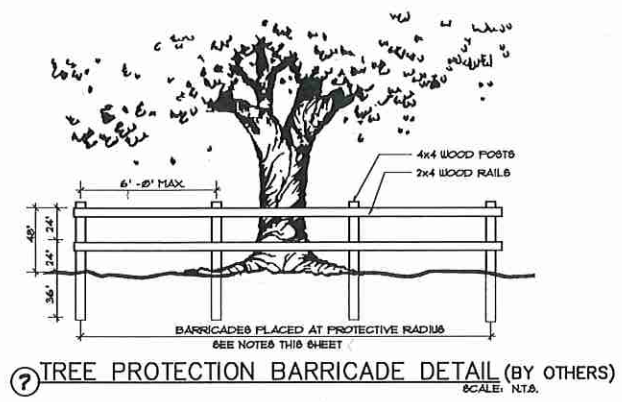
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5.3 POLLUTION PREVENTION BARRIER FOR STORM CURB INLETS
 NOT TO SCALE



- GENERAL NOTES**
- A Soil Tracking Prevention Device (STPD) shall be constructed at locations designated by the engineer for points of egress from unstabilized areas of the project to public roads where off-site tracking of sediment could occur. Traffic from unstabilized areas of the construction project shall be directed thru a STPD. Barriers, flagging, or other positive means shall be used as required to limit and direct vehicle egress across the STPD.
 - The Contractor may propose an alternative technique to minimize off-site tracking of sediment. The alternative must be revised and approved by the Engineer prior to its use.
 - Materials spilled, dropped, or tracked onto public roads including the STPD aggregate and construction material shall be removed daily, or more frequently if so directed by the Engineer.
 - Aggregates shall be as described in Section 901 excluding 901-2.3. Aggregates shall be FDOT size #1. If this size is not available, the next available smaller size aggregate may be substituted with the approval of the Engineer. Sizes containing excessive small aggregate will track off the project and are unsuitable.
 - The sediment pit shall provide a retention volume of 3600 cubic feet/acre of surface area draining to the pit. When the STPD is isolated from other drainage areas, the following pit volumes will satisfy this requirement:
 15' x 50' x 100' ft.³ 30' x 50' x 200' ft.³
 As an option to the sediment pit, the width of the silt bottom can be increased to obtain the volume. When the sediment pit or silt volume has been reduced to one half, it shall be cleaned. When a silt is used, synthetic boxes or silt fence shall be placed along the entire length.
 - The silt ditch draining the STPD shall have a 0.02% minimum and a 1.0% maximum grade along the STPD and to the sediment pit.
 - Mitered end sections are not required when the silt drain pipe satisfies the clear zone requirements.
 - The STPD shall be maintained in a condition that will allow it to perform its function. To prevent off-site tracking, the STPD shall be raised daily when in use to move accumulated mud downwind from the stone. Additional stabilization of the vehicular route leading to the STPD may be required to limit mud tracking.
 - A STPD shall be paid for under the contract unit price for Soil Tracking Prevention Device, EA. The unit price shall constitute full compensation for construction, maintenance, replacement of materials, removal and restoration of the area utilized for the STPD including but not limited to excavation, grading, temporary pipe (including MES when required), filter fabric, aggregate, paved turnout (including asphalt and base construction), ditch stabilization, approach route stabilization, sediment removal and disposal, water, rinsing and cleaning of the STPD and cleaning of public roads, grading and soil. Synthetic Box or Box Type Barrier shall be paid for under the contract unit price for Synthetic Boxes, LF. Silt fence shall be paid for under the contract unit price for Staked Silt Fence, LF.
 - The nominal size of a standard STPD is 15' x 50' unless otherwise shown in the plans. If the volume of entering and exiting vehicles warrant a 30' width STPD may be used if approved by the Engineer. When a double width (30') STPD is used, the pay quantity shall be 2 for each location.

SOIL TRACKING PREVENTION DEVICE TYPE A
 Unit Price: \$700/100' Index No. 106

1
5.3 ROCK CONSTRUCTION ENTRANCE
 NOT TO SCALE



7 TREE PROTECTION BARRICADE DETAIL (BY OTHERS)
 SCALE: N.T.S.

TREE PROTECTION REQUIREMENTS (BY OTHERS)

- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 -UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
 -SKINNING AND BRUISING OF BARK
 -ROOTING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP-LINE
 -EXCESS FOOT OR VEHICULAR TRAFFIC
 -PARKING VEHICLES WITHIN DRIP-LINE
- ERECT TEMPORARY WOODEN BARRICADES AS SHOWN ON THIS SHEET (PLAN 4 DETAIL) BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING. FENCE TO BE 4' HIGH MINIMUM WITH 4 X 4 POSTS AND 2 X 4 RAILS AT 7' AND 4' ABOVE GRADE AND SHALL BE SET DEEP ENOUGH IN THE GROUND TO BE STABLE WITHOUT ADDITIONAL SUPPORT. ALL FENCING SHALL BE A MINIMUM CLEAR DISTANCE OF 6' FROM THE FACE OF ANY TREE. 6" DIA AND UNDER AND SHALL FULLY ENCLOSE ALL TREES SCHEDULED TO REMAIN. NOTHING SHALL BE PLACED INSIDE OF PROTECTIVE BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, OR TEMPORARY SOIL DEPOSITS ON TREES LARGER THAN 12" DIA. BARRICADES SHALL BE NO CLOSER THAN 10' FROM FACE OF TREE. WHEN PAVING, EXCAVATION, OR HARDSCAPE MUST BE DONE WITHIN BARRICADES, BARRICADES SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN AT THIS TIME BY THE CONTRACTOR TO INSURE THAT NO DAMAGE TO THE TREE OCCURS.
- PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
- WHEN NECESSARY TO CUT ROOT OVER 1 1/2" DIAMETER OF TREES TO REMAIN, CUT MUST BE A CLEAN CUT. COAT CUT FACES OF ROOTS WITH AN EMULSION ASPHALT OR OTHER ACCEPTABLE COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUE. TEMPORARILY COVER EXPOSED ROOTS WITH NET BURLAP TO PREVENT DRYING AND COVER WITH EARTH AS SOON AS POSSIBLE.
- NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
- INTERFERING BRANCHES MAY BE REMOVED AT THE DIRECTION OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE, BY A QUALIFIED TREE SURGEON.
- REPAIR OR REPLACE TREES INDICATED TO REMAIN WHICH ARE DAMAGED IN THE CONSTRUCTION OPERATIONS, IN A MANNER ACCEPTABLE TO THE OWNER BY A QUALIFIED TREE SURGEON TO REPAIR MAJOR DAMAGES TO TREES AND BRANCHES, PROMPTLY, TO PREVENT PROGRESSIVE DETERIORATION CAUSED BY THE DAMAGE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF TREES DAMAGED BEYOND REPAIR WITH 3 TREES OF SIMILAR QUALITY AND SPECIES, SIZED TO MATCH THE LARGEST TREES OF THAT SPECIES BEING PLANTED AS PER THE LANDSCAPE PLANS. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.

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 ORLANDO, FLORIDA 32808
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 CERTIFICATE OF AUTHORIZATION NO. 00066788

EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788
 DAVID L. EVANS
 FLORIDA P.E. NO. 46586
 DATE: _____

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
SWPPP DETAILS

REVISIONS	DATE	NO.	BY	DETAIL

DRAWN BY: JSK
 CHECKED BY: DLE
 DATE: MAR, 2018
 JOB #: 25801

SHEET NO. 106
 SHEET # 4.2

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 10/20/2017 12:00:00 PM - Oak Pointe\Drawings\Final\South\Swppp\Sheet 106.dwg (D) Plotted on: Sep 12, 2018 10:24:00 AM by DLE

Design Standards

Lot Criteria

Setback Table	Single Family	Townhomes
Front Porch(1)	19'	N/A
Front (Garage)	30'	22'
Front (Building)	25'	22'
Rear	20'	15'
Side	7.5'	10' Ext. 0' Int.
Side Street(2)	15'	15'
Accessory Structure Rear	5'	N/A
Lot Dimensions		
Minimum Lot Area	7,800 SF (0.179 AC)	2,530 SF
Minimum Lot Width	70' *	23'
Minimum Lot Depth	120'	110'
Max lot coverage	75%	75%
Max Building Height	35' / 2 stories	35' / 2 stories
Minimum Living Area	1,500 SF	1,350 SF

*MINIMUM LOT WIDTH NOTE:

THE FOLLOWING LOTS OF A MINIMUM LOT WIDTH OF 65': 9, 13, 17, 21, 69, 73, 77, 79

	Count	Percentage
65' Width Lots	8	6.8%
70' Width Lots	110	93.2%
Total Lots	118	100.0%

SITE DATA:

TOTAL AREA	69.38 AC
RESIDENTIAL:	60.50 AC
COMMERCIAL:	8.88 AC
PHASES:	1
SINGLE FAMILY UNITS	118
TOWNHOME UNITS	120
TOTAL UNITS	238

DENSITY (TOTAL UNITS / TOTAL AREA):
238 (UNITS) / 69.38 AC = 3.43 U/AC

RECREATIONAL AREA:

REQUIRED (3.6 AC / 1000 PERSONS):
1 UNIT = 2.6 PERSONS 238 (UNITS) x 2.6 = 619 PERSONS
619 x (3.6/1000) = 2.23 AC

PROVIDED

TRACT N-1	= 0.80 AC
TRACT K-6	= 2.03 AC
TOTAL	= 2.83 AC

OPEN SPACE CALCULATIONS:

REQUIRED:

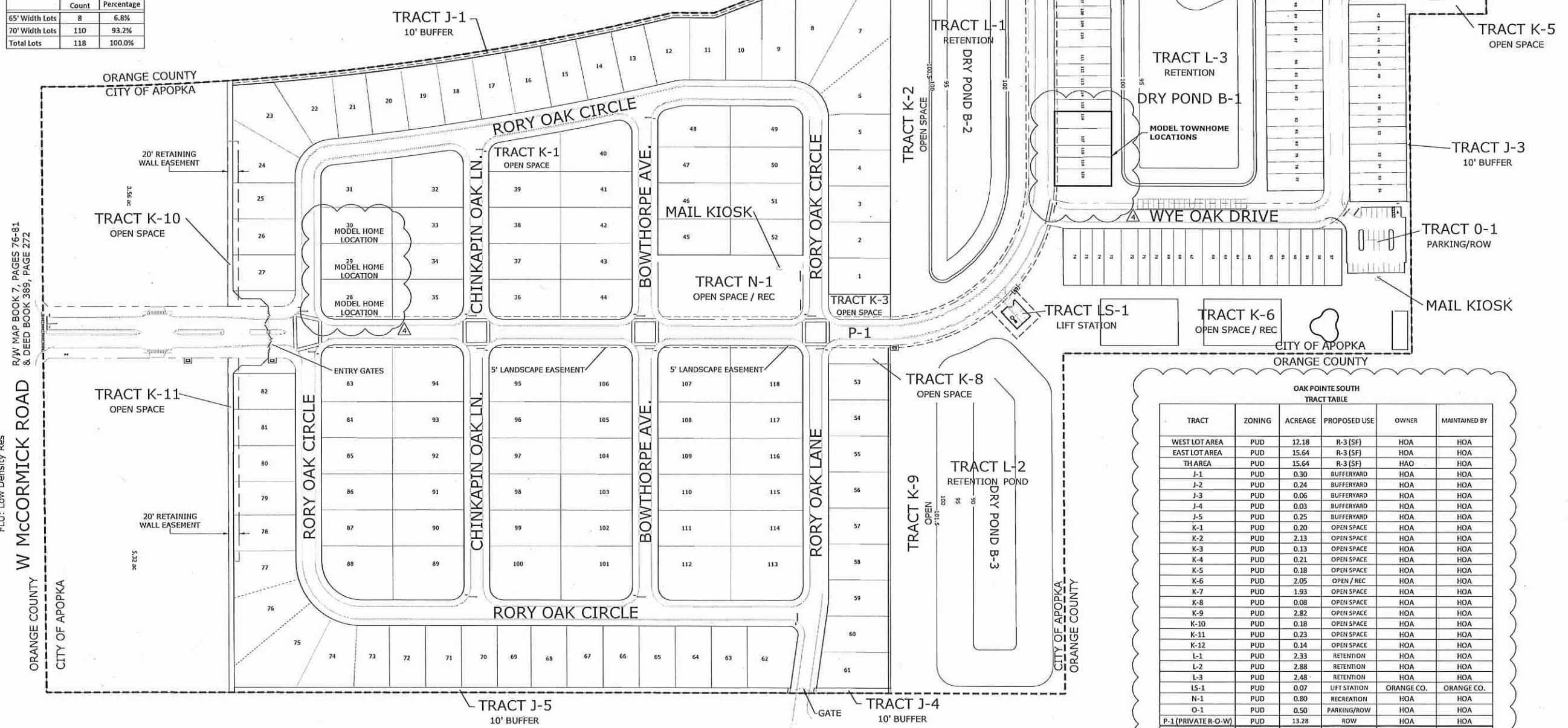
SINGLE FAMILY:	
TOTAL AREA	49.69 AC
REQUIRED %	20 %
REQUIRED AREA	9.94 AC
TOWNHOUSES:	
TOTAL AREA	19.69 AC
REQUIRED %	30 %
REQUIRED AREA	5.91 AC
TOTAL REQ'D OPEN SPACE AREA	15.85 AC

PROVIDED:

SINGLE FAMILY:

BUFFER YARDS (TRACTS J)	0.58 AC
OPEN SPACE (TRACTS K)	5.80 AC
RETENTION (TRACTS L)	4.97 AC*
RECREATION (TRACTS N)	0.80 AC
SINGLE FAMILY TOTAL	12.15 AC
TOWNHOUSE:	
BUFFER YARDS (TRACTS J)	0.31 AC
OPEN SPACE (TRACTS K)	4.58 AC
RETENTION (TRACTS L)	2.48 AC
TOWNHOUSE TOTAL	7.37 AC
TOTAL OPEN SPACE PROVIDED	19.52 AC

*50% OF TOTAL REQUIRED SINGLE FAMILY OPEN SPACE AREA



OAK POINTE SOUTH TRACT TABLE

TRACT	ZONING	ACREAGE	PROPOSED USE	OWNER	MAINTAINED BY
WEST LOT AREA	PUD	12.18	R-3 (SF)	HOA	HOA
EAST LOT AREA	PUD	15.64	R-3 (SF)	HOA	HOA
TH AREA	PUD	15.64	R-3 (SF)	HAO	HOA
J-1	PUD	0.30	BUFFERYARD	HOA	HOA
J-2	PUD	0.24	BUFFERYARD	HOA	HOA
J-3	PUD	0.06	BUFFERYARD	HOA	HOA
J-4	PUD	0.03	BUFFERYARD	HOA	HOA
J-5	PUD	0.25	BUFFERYARD	HOA	HOA
K-1	PUD	0.20	OPEN SPACE	HOA	HOA
K-2	PUD	2.13	OPEN SPACE	HOA	HOA
K-3	PUD	0.13	OPEN SPACE	HOA	HOA
K-4	PUD	0.21	OPEN SPACE	HOA	HOA
K-5	PUD	0.18	OPEN SPACE	HOA	HOA
K-6	PUD	2.05	OPEN / REC	HOA	HOA
K-7	PUD	1.93	OPEN SPACE	HOA	HOA
K-8	PUD	0.08	OPEN SPACE	HOA	HOA
K-9	PUD	2.82	OPEN SPACE	HOA	HOA
K-10	PUD	0.18	OPEN SPACE	HOA	HOA
K-11	PUD	0.23	OPEN SPACE	HOA	HOA
K-12	PUD	0.14	OPEN SPACE	HOA	HOA
L-1	PUD	2.33	RETENTION	HOA	HOA
L-2	PUD	2.88	RETENTION	HOA	HOA
L-3	PUD	2.48	RETENTION	HOA	HOA
LS-1	PUD	0.07	LIFT STATION	ORANGE CO.	ORANGE CO.
N-1	PUD	0.80	RECREATION	HOA	HOA
O-1	PUD	0.50	PARKING/ROW	HOA	HOA
P-1 (PRIVATE R.O.W.)	PUD	13.28	ROW	HOA	HOA
TOTAL		76.96			

Total Buffer Yard: 0.88
Total Open Space: 10.28
Total R.O.W.: 12.90

Total Residential Acreage:
Total Residential Units:
Total Residential Density:

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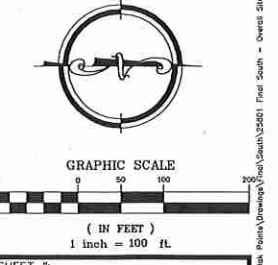
DAVID L. EVANS
FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
CITY OF APOPKA, FLORIDA
OVERALL SITE PLAN

REVISIONS	DATE	BY	DETAIL
1	8-13-18	JSK	PROJECT CITY OF APOPKA COMMENTS DATED 7/24/18

DRAWN BY: JSK
CHECKED BY: DLE
DATE: MAR, 2018
JOB #: 25801

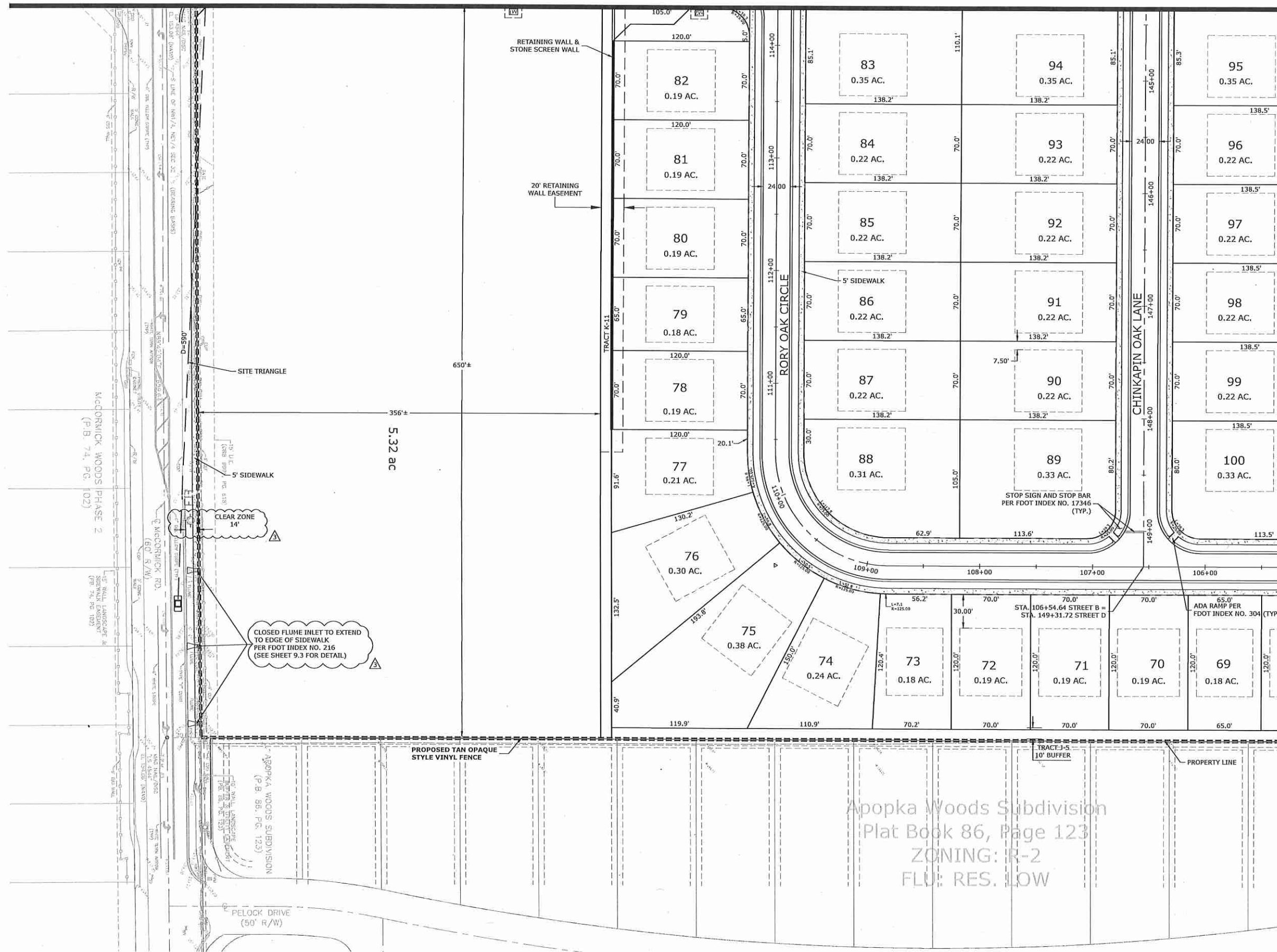


SHEET #:
5.0

Zoning: R-1A
FLU: Low Density Res
R/W MAP BOOK 7, PAGES 75-81 & DEED BOOK 389, PAGE 272
W MCCORMICK ROAD
ORANGE COUNTY CITY OF APOPKA

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MATCHLINE SEE SHEET 5.1



MATCHLINE SEE SHEET 5.4

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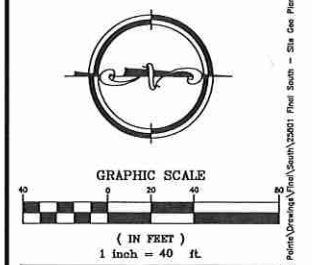
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 FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 SITE GEOMETRY PLAN

DATE	NO.	DESCRIPTION	BY
7-25-18	A	DATE DATED 7-09-18	JSK

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801

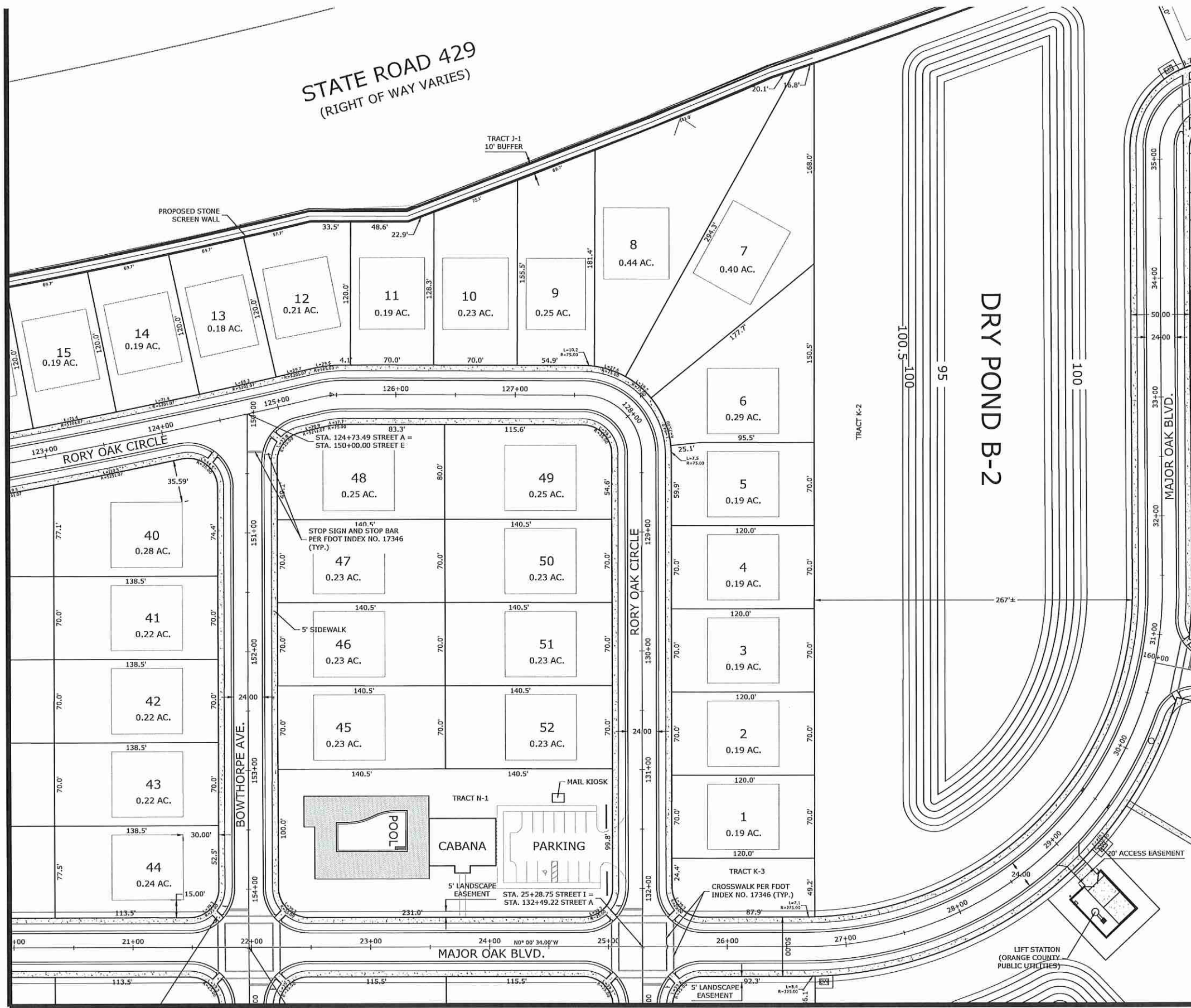


SHEET #
5.2

Apopka Woods Subdivision
 Plat Book 86, Page 123
 ZONING: R-2
 FLU: RES. LOW

11/2015 (2016) - CIVIL ENGINEERING (FLORIDA) 25801 Plat Book - Site Geometry Plan (2018) 13, 2018 - 1033mm by 420mm

MATCHLINE SEE SHEET 5.1



MATCHLINE SEE SHEET 5.4

MATCHLINE SEE SHEET 5.6

MATCHLINE SEE SHEET 5.5

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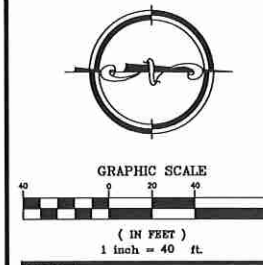
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DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 SITE GEOMETRY PLAN

REVISIONS	DATE	NO.	DETAIL	BY

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801



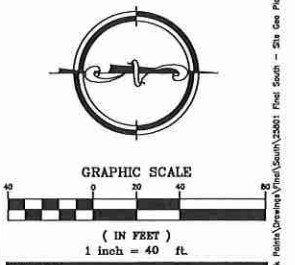
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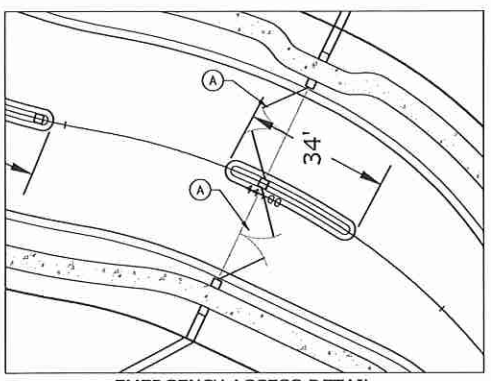
OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
SITE GEOMETRY PLAN

REVISIONS		DATE	BY

DRAWN BY: JSK DATE: MAR, 2018
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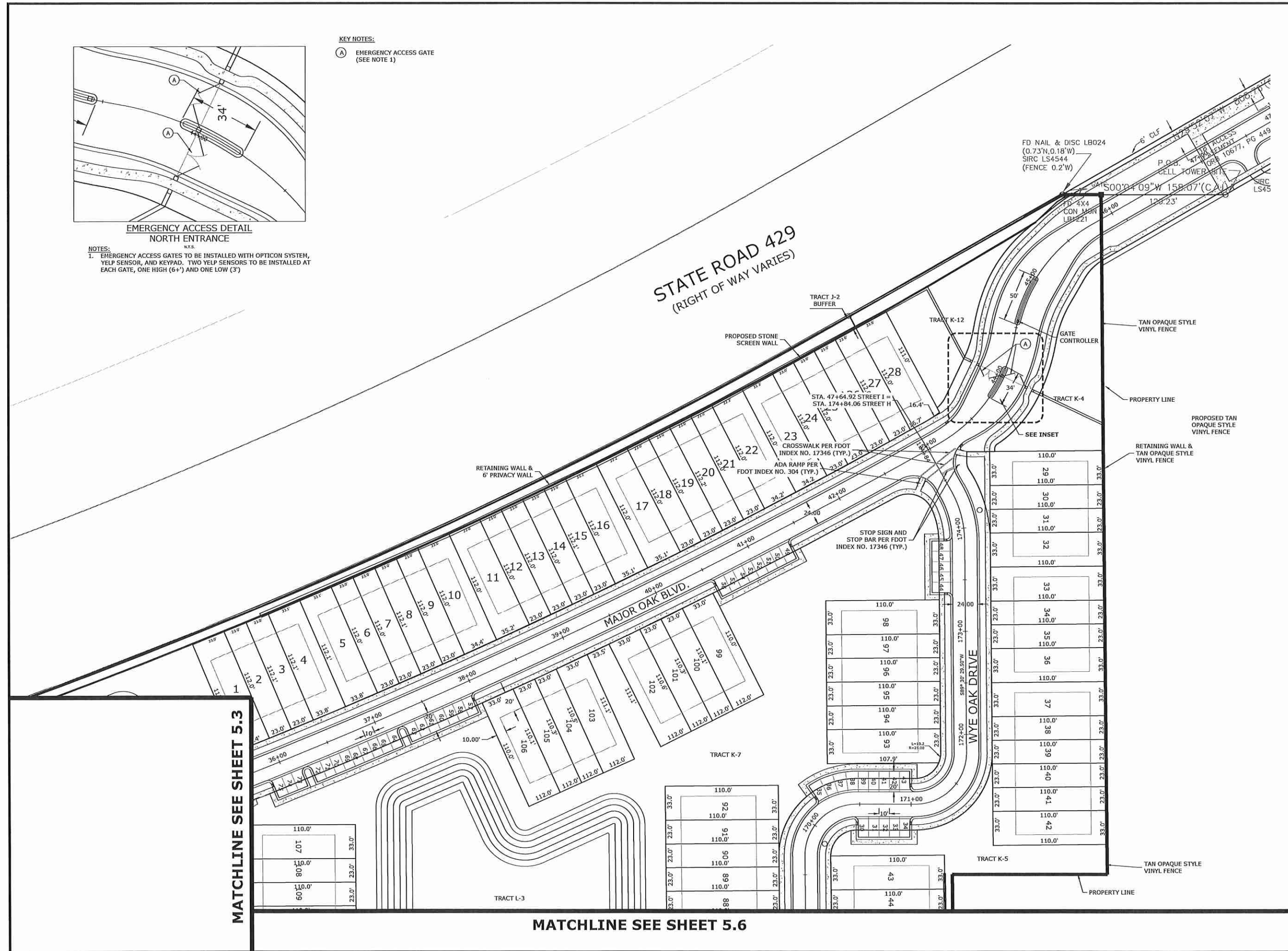
SHEET #:
5.5



NOTES:
 1. EMERGENCY ACCESS GATES TO BE INSTALLED WITH OPTICON SYSTEM, YELP SENSOR, AND KEYPAD. TWO YELP SENSORS TO BE INSTALLED AT EACH GATE, ONE HIGH (6'+) AND ONE LOW (3')

KEY NOTES:
 (A) EMERGENCY ACCESS GATE (SEE NOTE 1)

EMERGENCY ACCESS DETAIL
 NORTH ENTRANCE



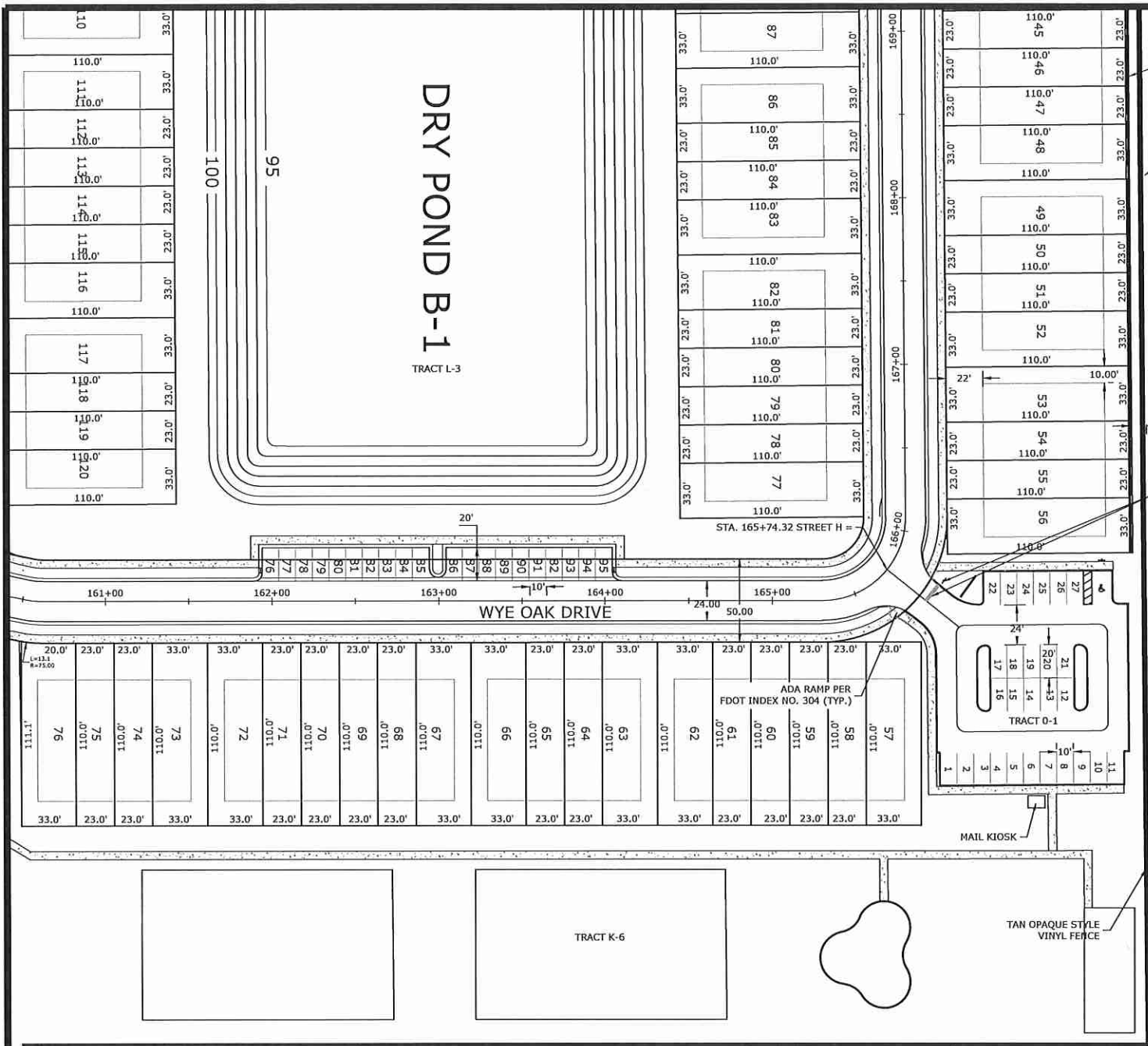
MATCHLINE SEE SHEET 5.3

MATCHLINE SEE SHEET 5.6

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MATCHLINE SEE SHEET 5.3



SINGLE-FAMILY LOT DATA:

Lot Number	Lot Width* (ft.)	Lot Area (ac.)	Lot Number	Lot Width* (ft.)	Lot Area (ac.)	Lot Number	Lot Width* (ft.)	Lot Area (ac.)
1	70.0	0.193	41	70.0	0.223	81	70.0	0.193
2	70.0	0.193	42	70.0	0.223	82	70.0	0.193
3	70.0	0.193	43	70.0	0.193	83	110.1	0.346
4	70.0	0.193	44	77.5	0.243	84	70.0	0.222
5	70.0	0.192	45	70.0	0.226	85	70.0	0.222
6	76.3	0.288	46	70.0	0.226	86	70.0	0.222
7	70.6	0.401	47	70.0	0.226	87	70.0	0.222
8	71.0	0.440	48	77.9	0.250	88	85.9	0.305
9	65.0	0.251	49	79.7	0.255	89	105.1	0.331
10	70.0	0.228	50	70.0	0.226	90	70.0	0.223
11	70.0	0.195	51	70.0	0.226	91	70.0	0.223
12	70.7	0.213	52	70.0	0.226	92	70.0	0.223
13	66.3	0.181	53	70.0	0.193	93	70.0	0.223
14	71.4	0.194	54	70.0	0.193	94	110.1	0.346
15	71.4	0.194	55	70.0	0.193	95	110.2	0.348
16	71.4	0.194	56	70.0	0.193	96	70.0	0.223
17	66.3	0.181	57	70.0	0.193	97	70.0	0.223
18	71.4	0.194	58	70.0	0.193	98	70.0	0.223
19	71.4	0.194	59	70.0	0.194	99	70.0	0.223
20	71.4	0.194	60	70.0	0.207	100	105.0	0.331
21	66.5	0.181	61	70.0	0.223	101	105.0	0.331
22	70.5	0.233	62	92.4	0.238	102	70.0	0.223
23	71.1	0.291	63	70.0	0.193	103	70.0	0.223
24	71.2	0.248	64	70.0	0.193	104	70.0	0.223
25	70.0	0.193	65	70.0	0.193	105	70.0	0.223
26	70.0	0.193	66	70.0	0.193	106	110.3	0.348
27	70.0	0.193	67	70.0	0.193	107	110.3	0.346
28	77.5	0.243	68	70.0	0.193	108	70.0	0.222
29	70.0	0.222	69	65.0	0.179	109	70.0	0.222
30	70.0	0.222	70	70.0	0.193	110	70.0	0.222
31	82.6	0.275	71	70.0	0.193	111	70.0	0.222
32	110.7	0.328	72	70.0	0.193	112	105.3	0.331
33	70.0	0.222	73	65.0	0.184	113	105.4	0.332
34	70.0	0.222	74	70.7	0.238	114	70.0	0.222
35	77.5	0.243	75	70.3	0.380	115	70.0	0.223
36	77.5	0.243	76	70.3	0.299	116	70.0	0.223
37	70.0	0.223	77	65.3	0.205	117	70.0	0.223
38	70.0	0.223	78	70.0	0.193	118	110.4	0.348
39	70.0	0.223	79	65.0	0.179			
40	99.4	0.284	80	70.0	0.193			

*LOT WIDTH MEASURE AT BUILDING SETBACK

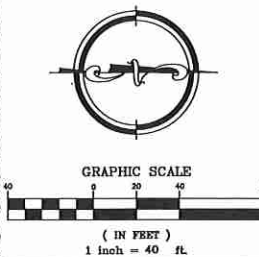
MATCHLINE SEE SHEET 5.4

DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 SITE GEOMETRY PLAN

DATE	NO.	REVISIONS	BY
7-9-18	1	REV. PER COMMENTS	
	2	PRG-11 DATED 7-23-18	

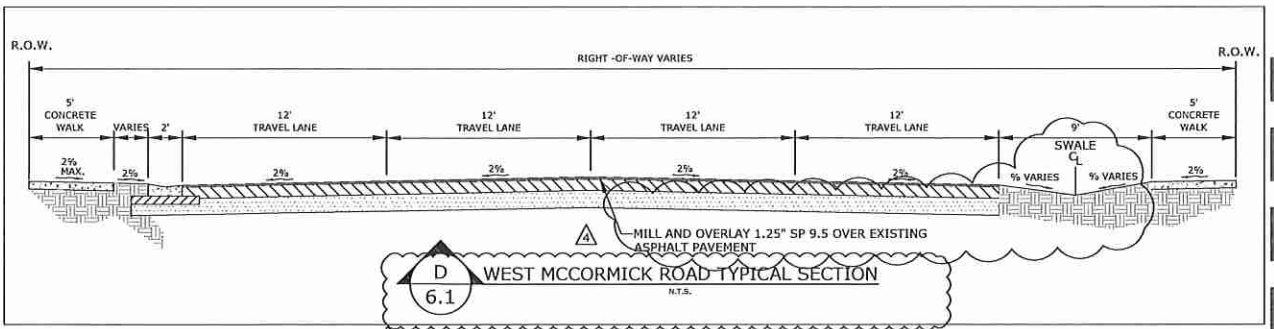
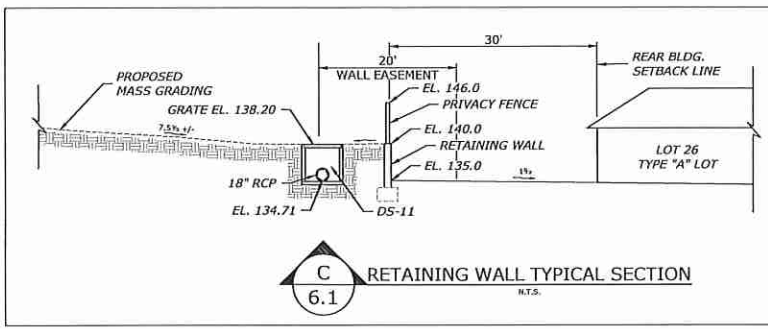
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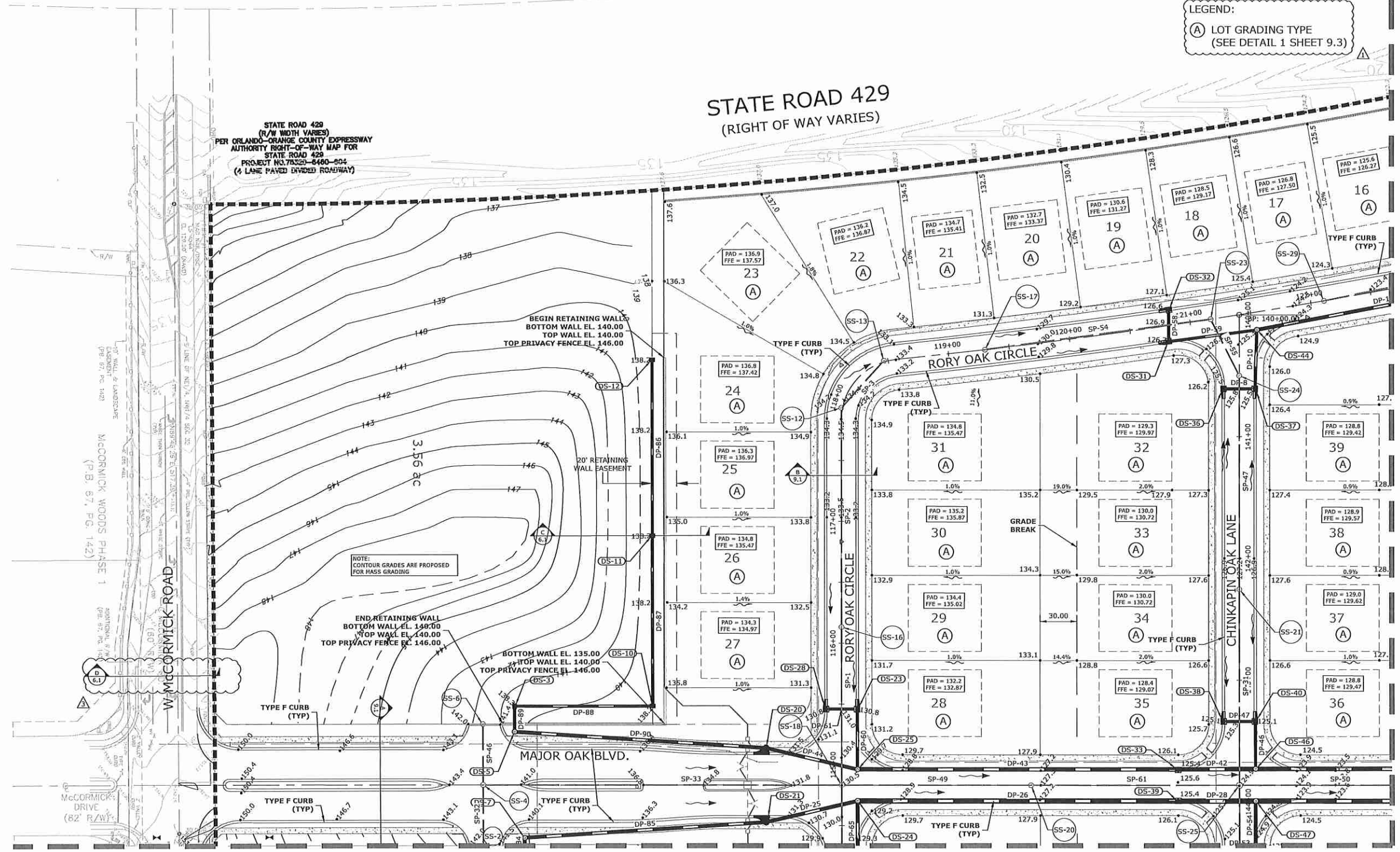
SHEET #
5.6

NOTES:

1. ALL RESIDENTIAL FLOOR ELEVATIONS SHALL BE ELEVATED TO A MINIMUM OF 24-INCHES ABOVE THE BASE FLOOD ELEVATION.
2. ALL NON-RESIDENTIAL FLOOR ELEVATIONS SHALL BE ELEVATED TO A MINIMUM OF 24-INCHES ABOVE BASE FLOOD ELEVATION UNLESS FLOOD PROOFED IN ACCORDANCE WITH SECTION 8-5(2) FLOOD DAMAGE PREVENTION CODE.
3. ALL SIDEWALKS TO BE A MINIMUM OF 4-INCHES THICK EXCEPT AT DRIVEWAY APPROACHES WHERE SIDEWALKS SHALL BE AT LEAST 6-INCHES THICK.
4. ALL SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPES.
5. SIDEWALKS FRONTING INDIVIDUAL LOTS SHALL BE CONSTRUCTED AT TIME OF BUILDING CONSTRUCTION. SIDEWALKS FRONTING OPEN SPACE / RECREATION TRACTS SHALL BE CONSTRUCTED WITH INFRASTRUCTURE.
6. ALL PONDS SHALL BE MAINTAINED BY THE HOA.
7. STORM DRAINAGE SERVING PRIVATE ROADWAYS SHALL BE OWNED AND MAINTAINED BY HOA.
8. OFFSITE STORM WITHIN COMMERCIAL PARCELS TO BE CONSTRUCTED WITH PHASE 1.



LEGEND:
 (A) LOT GRADING TYPE
 (SEE DETAIL 1 SHEET 9.3)



MATCHLINE SEE SHEET 6.2

MATCHLINE SEE SHEET 6.3

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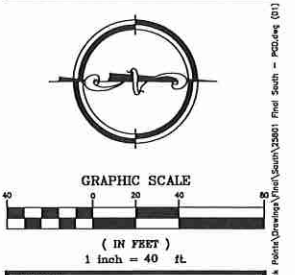
DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PAVING, GRADING, AND DRAINAGE

REVISIONS	DATE	NO.	BY	DETAIL
REV. PER GENERAL COMMENTS	7-9-18	1	JKS	
REV. PER GENERAL COMMENTS	7-9-18	2	JKS	
REV. PER GENERAL COMMENTS	8-31-18	3	CA	

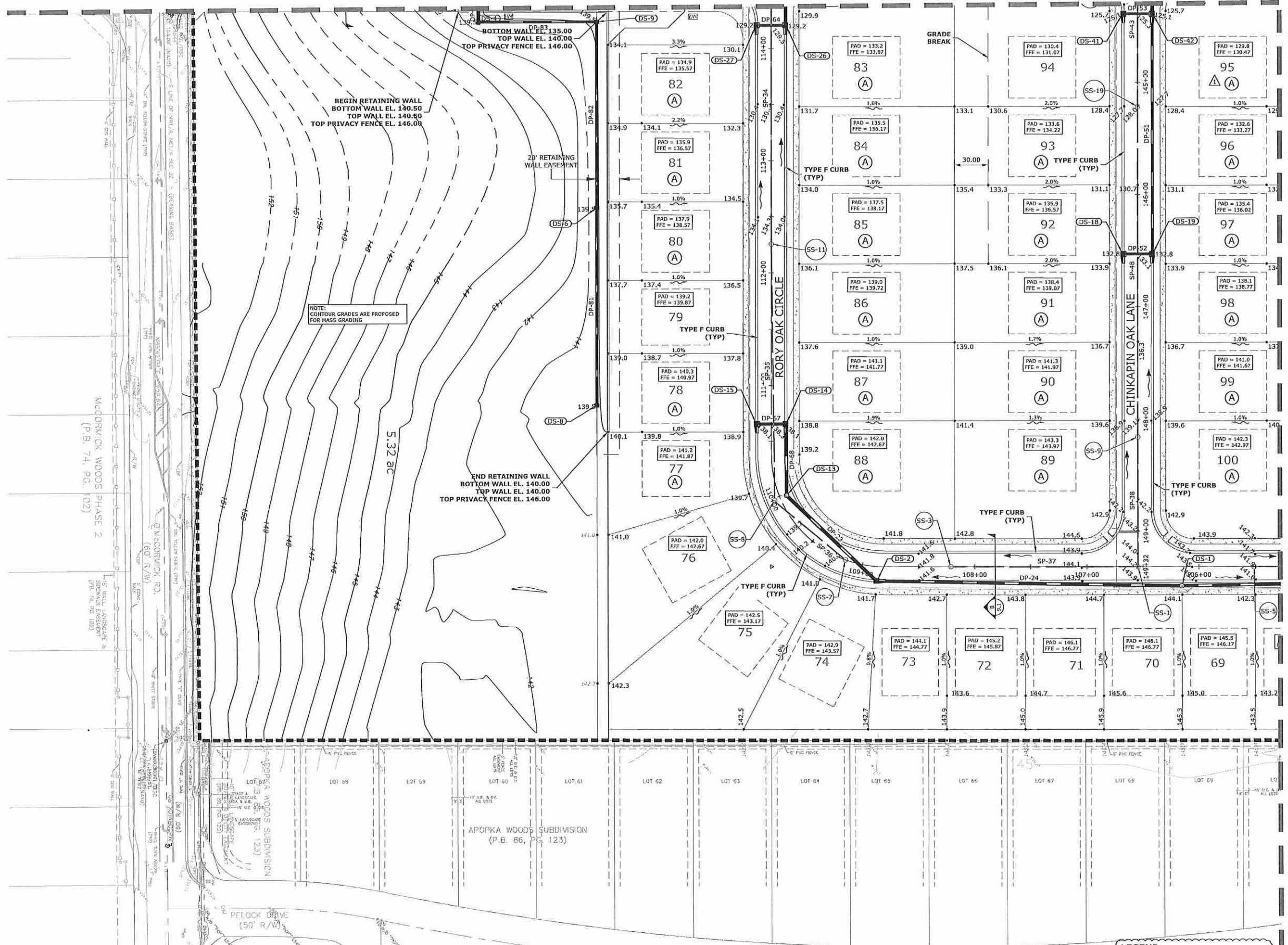
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SHEET #
6.1

2/2018/25801 - Oak Pointe (Orange) Phase 1 (South) Final Plans - Paving, Grading, and Drainage - 11/12/2018 - 2020mm by Cadmus

MATCHLINE SEE SHEET 6.1



NOTE: CONTOUR GRADES ARE PROPOSED FOR MASS GRADING

NOTE: ALL SIDEWALK CROSS SLOPES SHOULD NOT EXCEED 2%

LEGEND:
 (A) LOT GRADING TYPE (SEE DETAIL 1 SHEET 9.3)

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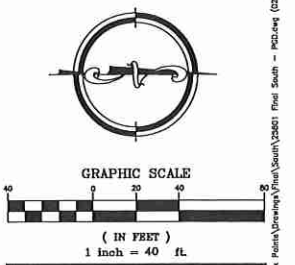
DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PAVING, GRADING, AND DRAINAGE

MATCHLINE SEE SHEET 6.4

DATE	NO.	REVISIONS	BY
5-24-18	1	REV. PER GENERAL COMMENTS	JSK
		PR18-11 DATED 4-23-18	

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801



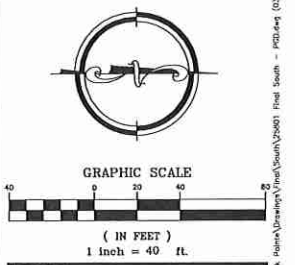
SHEET #
6.2

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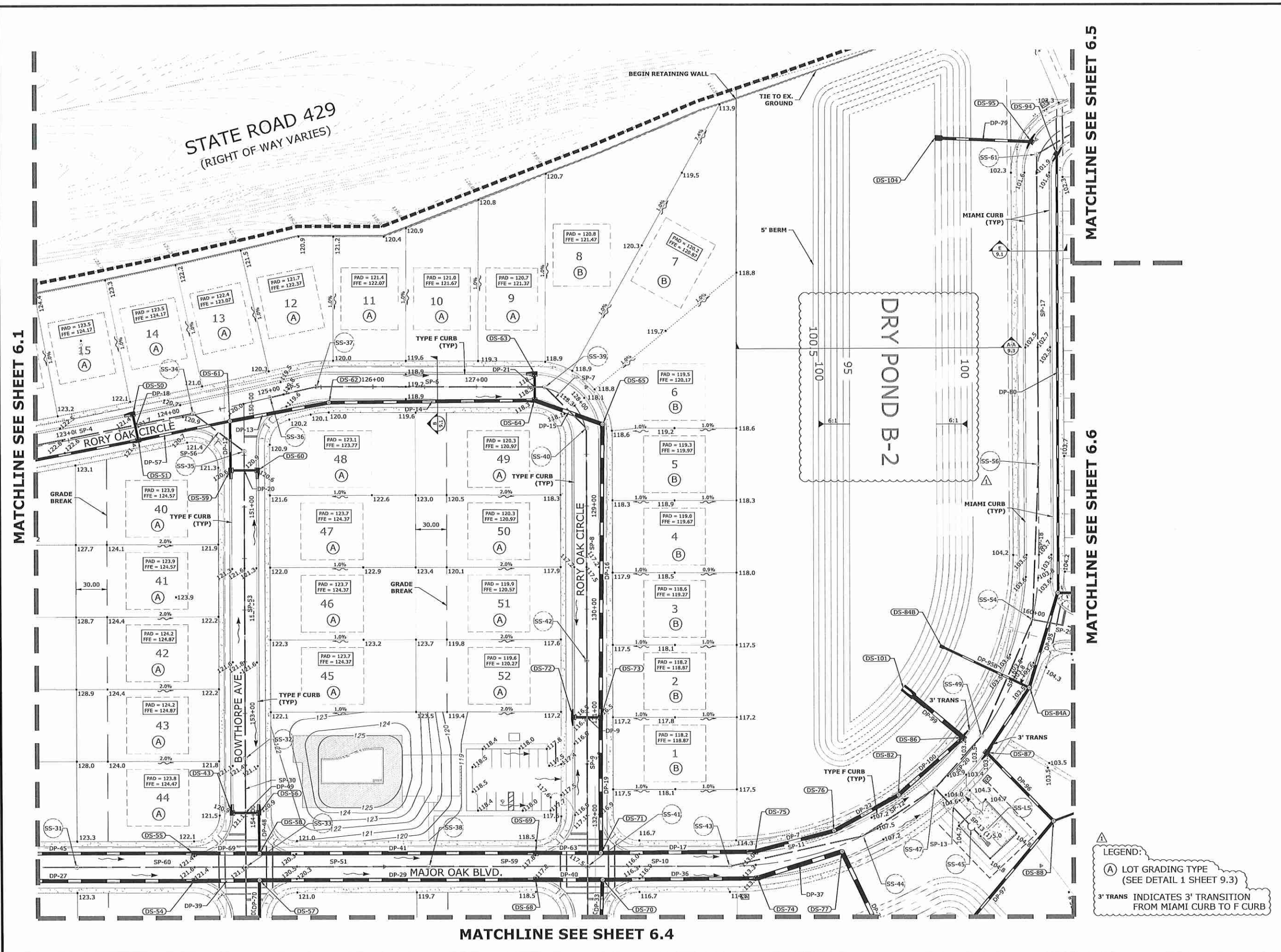
OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
PAVING, GRADING, AND DRAINAGE

REVISIONS	
DATE	BY
7-9-18	JKS
DETAIL COMMENTS	
PR18-11 DATED 4-23-18	

DRAWN BY:	DATE:
JKS	MAR, 2018
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DLE	25801



SHEET #:
6.3



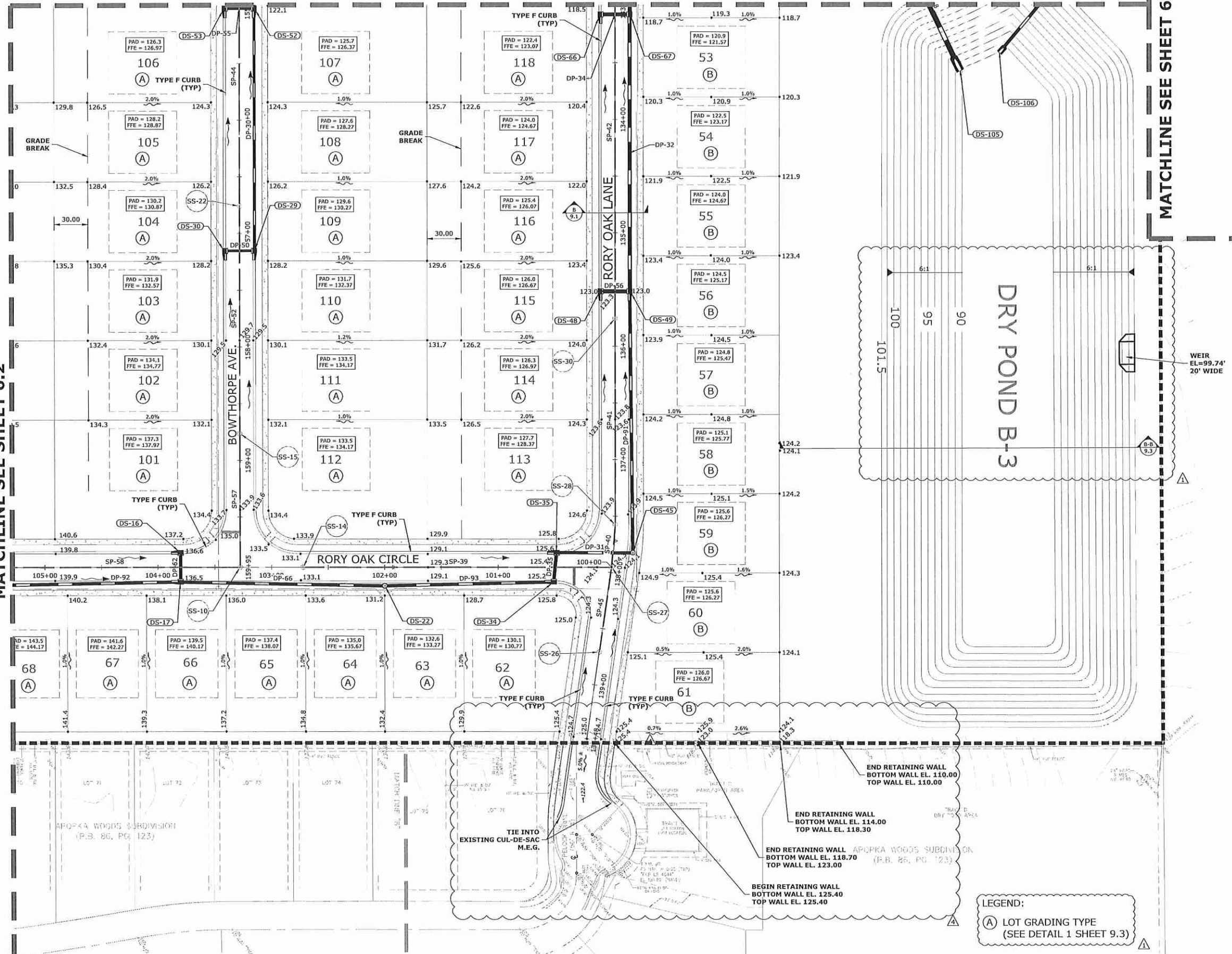
LEGEND:
 (A) LOT GRADING TYPE (SEE DETAIL 1 SHEET 9.3)
 3' TRANS INDICATES 3' TRANSITION FROM MIAMI CURB TO F CURB

2/18/2018 - Oak Pointe (South) Final Construction Plans - Paving, Grading, and Drainage - 10/11/2018 - 10:38am by JKS

MATCHLINE SEE SHEET 6.2

MATCHLINE SEE SHEET 6.3

MATCHLINE SEE SHEET 6.6



LEGEND:
 (A) LOT GRADING TYPE
 (SEE DETAIL 1 SHEET 9.3)

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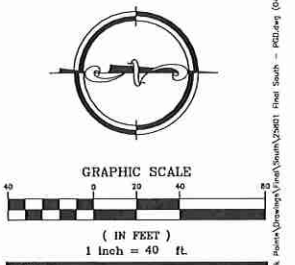
DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PAVING, GRADING, AND DRAINAGE

REVISIONS	DATE	NO.	REV. BY	CHK. BY	DETAIL COMMENTS
	7-9-18	1	JSK	JSK	PR18-11 DATED 4-23-18
	8-13-18	2	JSK	JSK	PR18-11 CITY OF APOPKA COMMENTS DATED 7/26/18

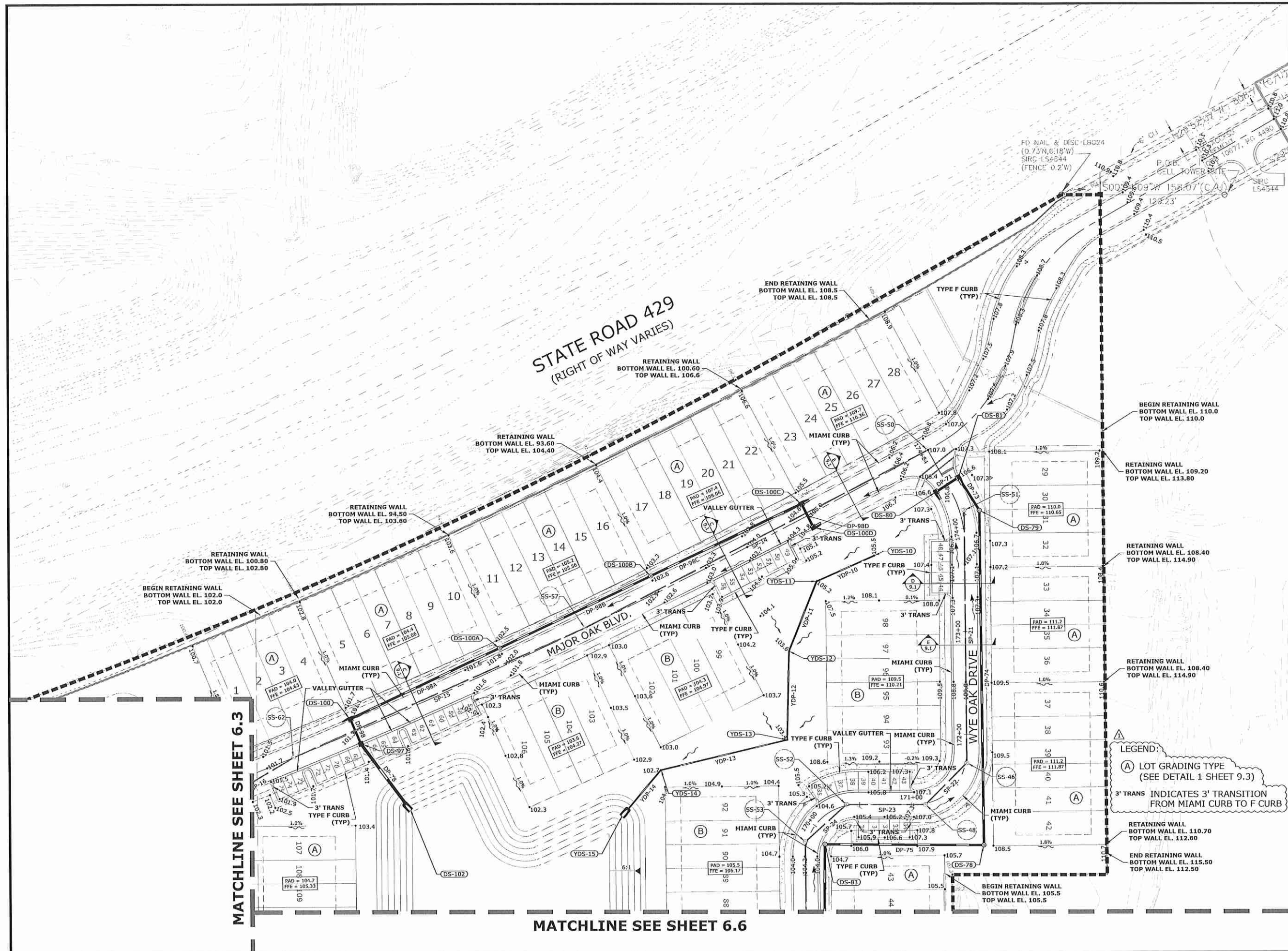
DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801



SHEET #:
6.4

2:\000578801 - Oak Pointe\000578801\Final\Sheet - Paving - 0818.dwg (DWG) Plot Scale - 1/4"=40' Date: Sep 13, 2018 1:03:00 PM by: dle

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PAVING, GRADING, AND DRAINAGE



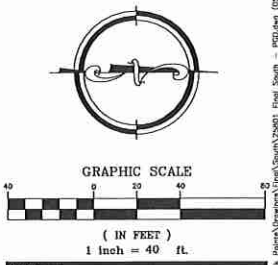
MATCHLINE SEE SHEET 6.3

MATCHLINE SEE SHEET 6.6

LEGEND:
 (A) LOT GRADING TYPE
 (SEE DETAIL 1 SHEET 9.3)
 3' TRANS INDICATES 3' TRANSITION
 FROM MIAMI CURB TO F CURB

DATE	NO.	REV.	BY	REVISIONS
7-9-18	1	1	JKS	REVISED PER COMMENTS PRLS-11 DATED 4-23-18

DRAWN BY:	DATE:
JKS	MAR, 2018
CHECKED BY:	JOB #:
DLE	25801



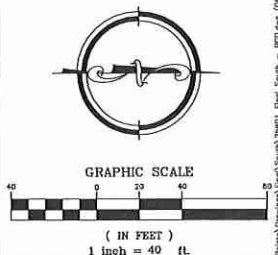
SHEET #:
6.5

DATE PLOTTED: 3/13/2018 10:03:00 AM; PLOTTER: HP DesignJet T1100; PLOT SCALE: 1"=40'; PLOT SHEET: 6.5; PLOT TITLE: OAK POINTE - SOUTH; PLOT USER: JKS

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
PAVING, GRADING, AND DRAINAGE

DATE	NO.	REVISIONS	BY
7-9-18	1	REV. PER GENERAL COMMENTS	JSK
	2	PR18-11 DATED 4-23-18	JSK

DRAWN BY: JSK	DATE: MAR, 2018
CHECKED BY: DLE	JOB #: 25801

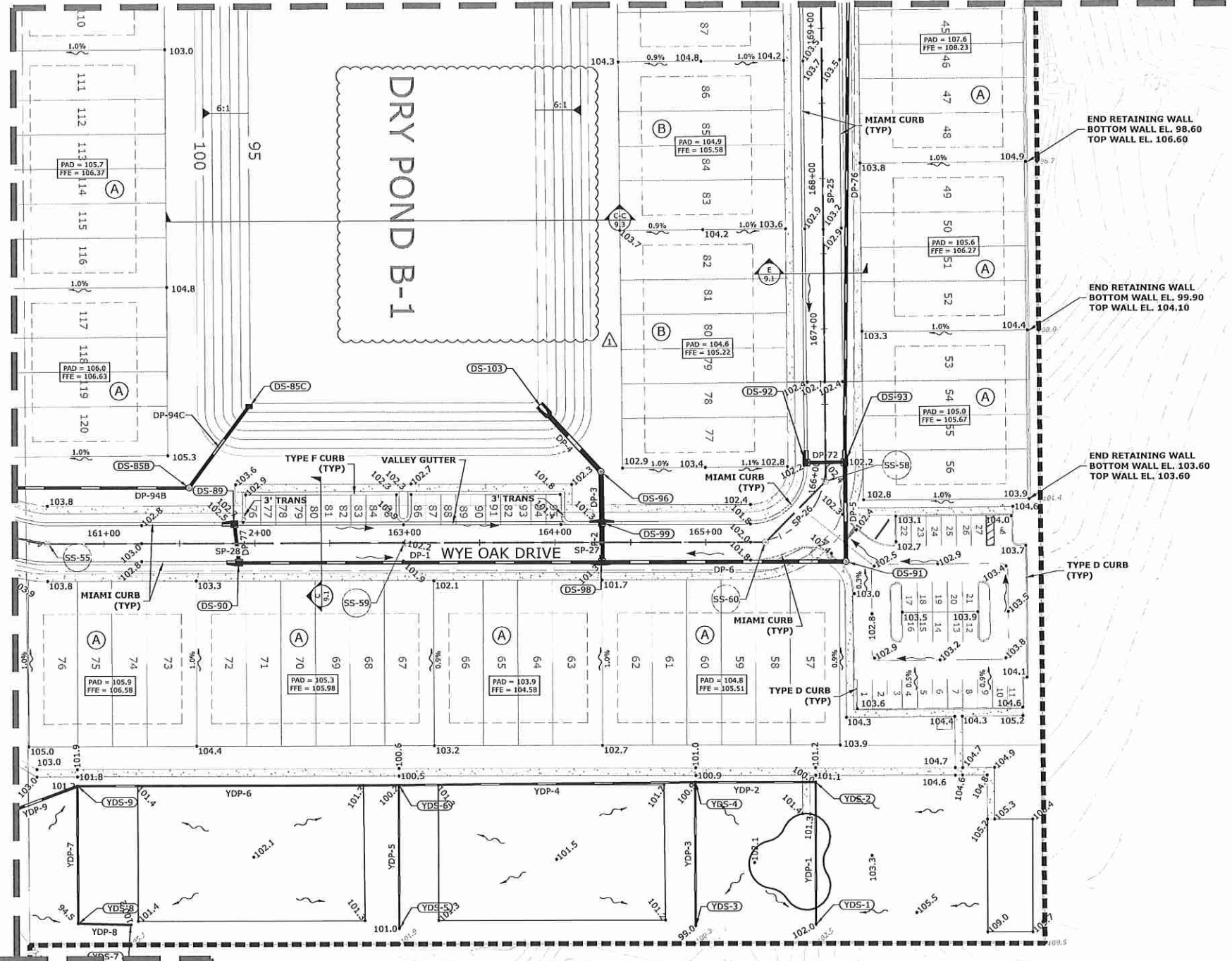


SHEET #:
6.6

MATCHLINE SEE SHEET 6.5

MATCHLINE SEE SHEET 6.3

MATCHLINE SEE SHEET 6.4



NAME	LENGTH	SIZE	SLOPE
DP-1	241'	18"	0.50%
DP-2	27'	30"	0.50%
DP-3	34'	30"	0.20%
DP-4	60'	30"	0.20%
DP-5	66'	24"	0.50%
DP-6	162'	24"	0.50%
DP-7	79'	36"	0.50%
DP-8	26'	18"	0.20%
DP-9	26'	18"	0.45%
DP-10	48'	18"	0.20%
DP-11	214'	24"	0.84%
DP-12	48'	18"	0.50%
DP-13	97'	30"	0.20%
DP-14	199'	30"	0.20%
DP-15	69'	36"	0.50%
DP-16	284'	36"	0.50%
DP-17	149'	36"	1.00%
DP-18	26'	18"	0.50%
DP-19	131'	36"	0.50%
DP-20	26'	18"	0.50%

NAME	LENGTH	SIZE	SLOPE
DP-21	26'	18"	0.38%
DP-22	71'	36"	2.80%
DP-23	111'	24"	0.50%
DP-24	272'	24"	0.50%
DP-25	77'	24"	1.00%
DP-26	264'	36"	0.22%
DP-27	264'	36"	1.06%
DP-28	63'	36"	1.61%
DP-29	268'	36"	1.07%
DP-30	214'	18"	0.50%
DP-31	67'	24"	0.50%
DP-32	244'	30"	1.96%
DP-33	40'	30"	2.24%
DP-34	26'	30"	0.50%
DP-35	26'	24"	0.50%
DP-36	150'	36"	0.20%
DP-37	86'	42"	0.96%
DP-38	135'	42"	3.00%
DP-39	63'	36"	1.00%
DP-40	64'	42"	0.63%

NAME	LENGTH	SIZE	SLOPE
DP-81	176'	18"	0.20%
DP-82	166'	18"	0.20%
DP-83	104'	18"	0.20%
DP-84	14'	24"	0.20%
DP-85	199'	24"	3.39%
DP-86	144'	18"	0.20%
DP-87	140'	18"	0.20%
DP-88	113'	18"	0.20%
DP-89	21'	18"	0.20%
DP-90	207'	24"	3.27%
DP-91	231'	24"	0.50%
DP-92	235'	24"	1.00%
DP-93	149'	24"	2.70%
DP-94B	129'	18"	1.21%
DP-94C	67'	18"	1.16%
DP-95	96'	24"	0.49%
DP-95A	76'	24"	1.00%
DP-95B	93'	18"	2.70%
DP-96	91'	24"	1.50%
DP-97	176'	24"	0.61%

NAME	LENGTH	SIZE	SLOPE
DP-41	268'	36"	0.50%
DP-42	63'	30"	1.61%
DP-43	263'	30"	0.22%
DP-44	77'	24"	0.32%
DP-45	264'	30"	0.50%
DP-46	39'	18"	0.51%
DP-47	26'	18"	0.19%
DP-48	39'	18"	0.50%
DP-49	26'	18"	0.50%
DP-50	26'	18"	0.50%
DP-51	214'	18"	0.50%
DP-52	26'	18"	0.38%
DP-53	26'	18"	1.23%
DP-54	40'	24"	0.50%
DP-55	26'	18"	0.50%
DP-56	28'	30"	0.50%
DP-57	91'	24"	0.50%
DP-58	26'	18"	0.50%
DP-59	73'	18"	0.50%
DP-60	47'	18"	0.47%

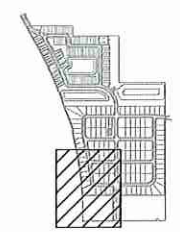
NAME	LENGTH	SIZE	SLOPE
DP-61	26'	18"	0.19%
DP-62	26'	24"	0.20%
DP-63	63'	36"	0.50%
DP-64	26'	18"	0.23%
DP-65	49'	24"	0.32%
DP-66	180'	24"	1.97%
DP-67	26'	18"	0.50%
DP-68	64'	24"	0.50%
DP-69	63'	36"	0.50%
DP-70	40'	24"	0.50%
DP-71	26'	18"	0.50%
DP-72	26'	18"	0.20%
DP-73	38'	18"	0.50%
DP-74	325'	18"	0.50%
DP-75	154'	18"	0.50%
DP-76	369'	18"	0.50%
DP-77	26'	18"	0.50%
DP-78	81'	24"	0.15%
DP-79	93'	24"	2.82%
DP-80	423'	18"	0.31%

NAME	LENGTH	SIZE	SLOPE
DP-98	26'	18"	0.35%
DP-98A	160'	18"	0.20%
DP-98B	162'	18"	0.20%
DP-98C	162'	18"	0.20%
DP-98D	26'	18"	0.20%
DP-99	76'	42"	1.32%
DP-100	84'	36"	1.19%
YDP-1	94'	12"	1.16%
YDP-2	80'	12"	1.20%
YDP-3	95'	12"	0.80%
YDP-4	197'	12"	0.50%
YDP-5	95'	12"	2.88%
YDP-6	214'	12"	1.00%
YDP-7	91'	12"	0.67%
YDP-8	35'	12"	3.65%
YDP-9	65'	18"	1.00%
YDP-10	61'	12"	1.20%
YDP-11	73'	12"	1.20%
YDP-12	86'	12"	1.20%
YDP-13	126'	12"	1.20%

NAME	LENGTH	SIZE	SLOPE
YDP-14	51'	12"	1.67%

LEGEND:
 (A) LOT GRADING TYPE
 (SEE DETAIL 1 SHEET 9.3)
 3' TRANS INDICATES 3' TRANSITION FROM MIAMI CURB TO F CURB

J:\Projects\2018\18-0001\Drawings\DWG\25801 Final South - Paving.dwg (00) Plotted on: 3/12/2018 10:53:58 AM by DLE

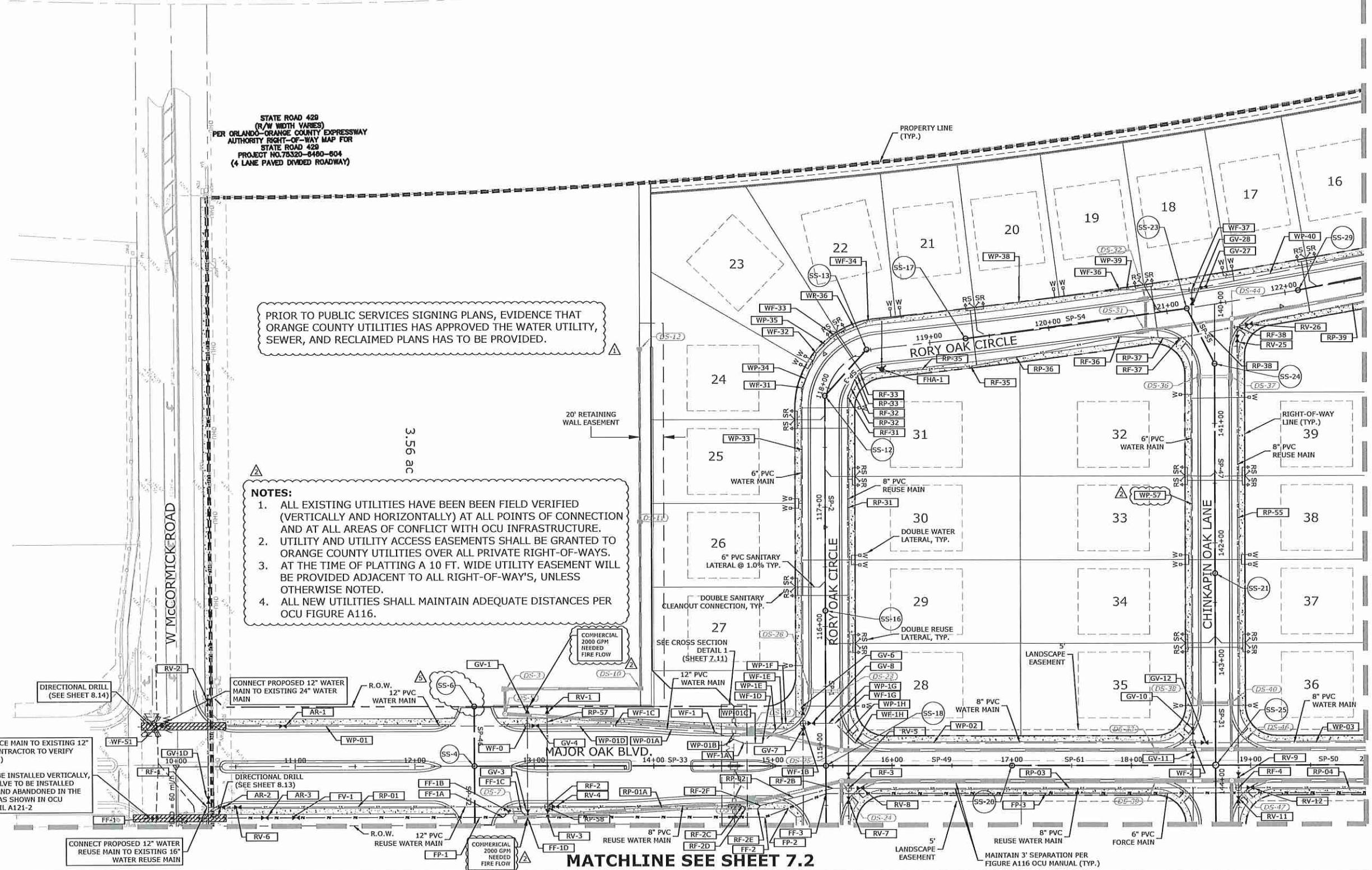


KEY MAP

STATE ROAD 428
 (R/W WIDTH VARIES)
 PER ORLANDO-ORANGE COUNTY EXPRESSWAY
 AUTHORITY RIGHT-OF-WAY MAP FOR
 STATE ROAD 428
 PROJECT NO. 78320-6480-604
 (4 LANE PAVED DIVIDED ROADWAY)

PRIOR TO PUBLIC SERVICES SIGNING PLANS, EVIDENCE THAT ORANGE COUNTY UTILITIES HAS APPROVED THE WATER UTILITY, SEWER, AND RECLAIMED PLANS HAS TO BE PROVIDED.

- NOTES:**
1. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE.
 2. UTILITY AND UTILITY ACCESS EASEMENTS SHALL BE GRANTED TO ORANGE COUNTY UTILITIES OVER ALL PRIVATE RIGHT-OF-WAYS.
 3. AT THE TIME OF PLATTING A 10 FT. WIDE UTILITY EASEMENT WILL BE PROVIDED ADJACENT TO ALL RIGHT-OF-WAYS, UNLESS OTHERWISE NOTED.
 4. ALL NEW UTILITIES SHALL MAINTAIN ADEQUATE DISTANCES PER OCU FIGURE A116.

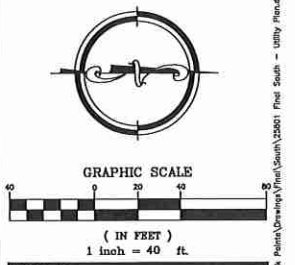


MATCHLINE SEE SHEET 7.3

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
UTILITY PLAN

DATE	NO.	REV.	BY	DETAIL COMMENTS
5-24-18	1	A	JSK	PROJ. 18-11 DATED 4-23-18
7-16-18	2	A	JSK	OCU 18-05-23 UTILITIES REVIEW
9-7-18	3	A	CA	OCU 18-05-23 UTILITIES REVIEW
				OCU 18-05-23 UTILITIES REVIEW

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801

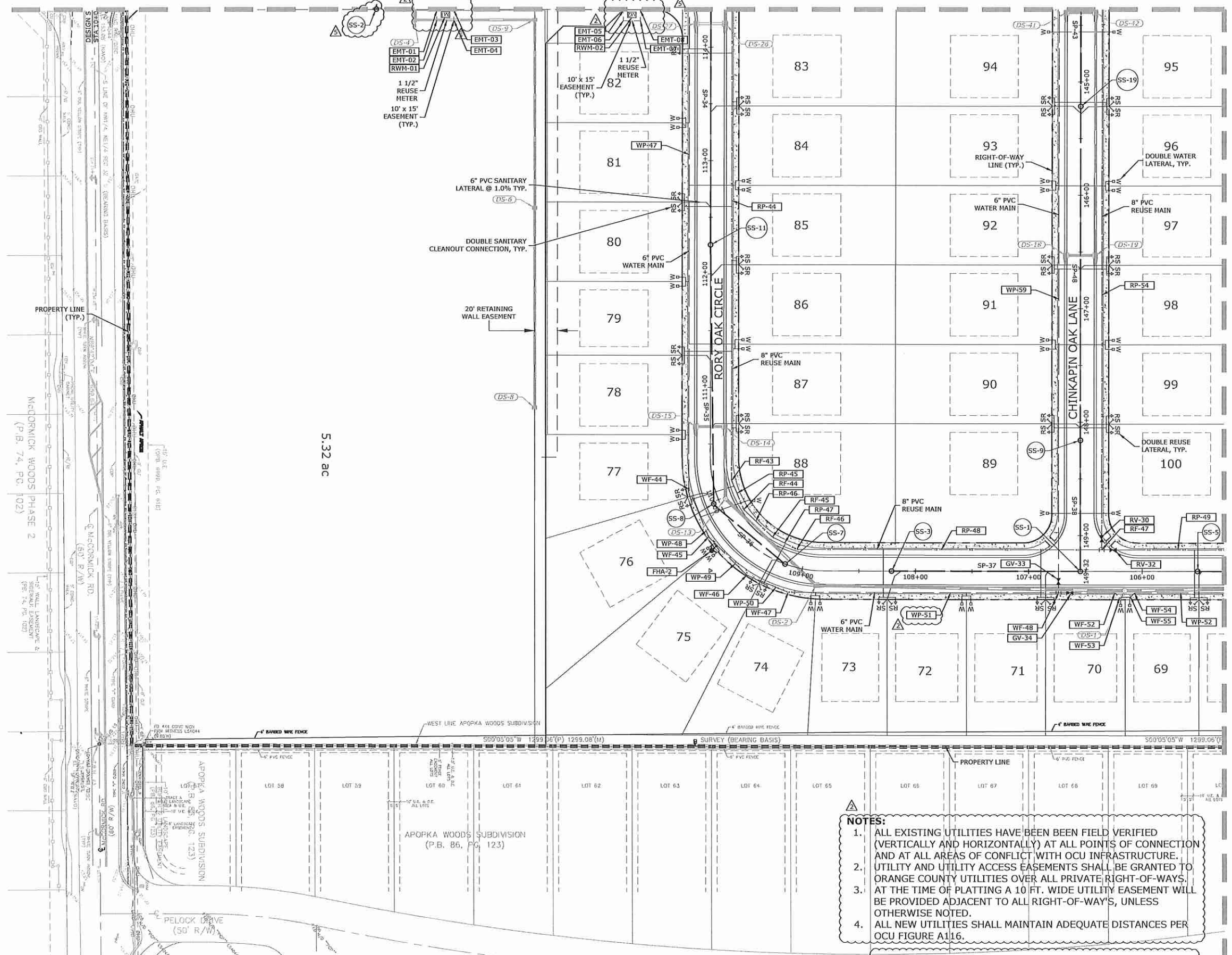


SHEET # **7.1**

DATE PLOTTED: 3/15/2018 10:52:16 AM; PLOT SCALE: 1/4"=40'-0"; PLOT SHEET: 7.1; PLOT TITLE: UTILITY PLAN; PLOT BY: DLE; PLOT FROM: C:\Users\dlevans\Documents\Projects\18-05-23\18-05-23-01\18-05-23-01.dwg



KEY MAP



5.32 ac

MATCHLINE SEE SHEET 7.1

MATCHLINE SEE SHEET 7.4

- NOTES:**
1. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE.
 2. UTILITY AND UTILITY ACCESS EASEMENTS SHALL BE GRANTED TO ORANGE COUNTY UTILITIES OVER ALL PRIVATE RIGHT-OF-WAYS.
 3. AT THE TIME OF PLATTING A 10 FT. WIDE UTILITY EASEMENT WILL BE PROVIDED ADJACENT TO ALL RIGHT-OF-WAYS, UNLESS OTHERWISE NOTED.
 4. ALL NEW UTILITIES SHALL MAINTAIN ADEQUATE DISTANCES PER OCU FIGURE A116.

PRIOR TO PUBLIC SERVICES SIGNING PLANS, EVIDENCE THAT ORANGE COUNTY UTILITIES HAS APPROVED THE WATER UTILITY, SEWER, AND RECLAIMED PLANS HAS TO BE PROVIDED.

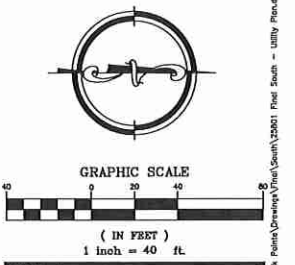
EVANS ENGINEERING, INC.
 CIVIL ENGINEERING LAND PLANNING PERMITTING SERVICES
 710 IRMA AVENUE
 ORLANDO, FLORIDA 32809
 (407) 872-1616
 www.evansenginc.com
 CERTIFICATE OF AUTHORIZATION NO. 00006788

EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788
 DAVID L. EVANS
 FLORIDA P.E. NO. 46586
 DATE:

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
UTILITY PLAN

DATE	NO.	REVISIONS	BY
5-24-18	1	REV. PRELIMINARY COMMENTS	JSK
7-16-18	2	OCU 18-E-23 UTILITIES REVIEW	JSK
9-7-18	3	OCU 18-E-23-18 UTILITIES REVIEW	CA

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801



SHEET #:
7.2

18-000001-0001 - Oak Pointe (Development) Final (South) Utility Plan - Utility Plan (OCU) Review etc. 5/24/18 - 10/26/18 by GADG



KEY MAP

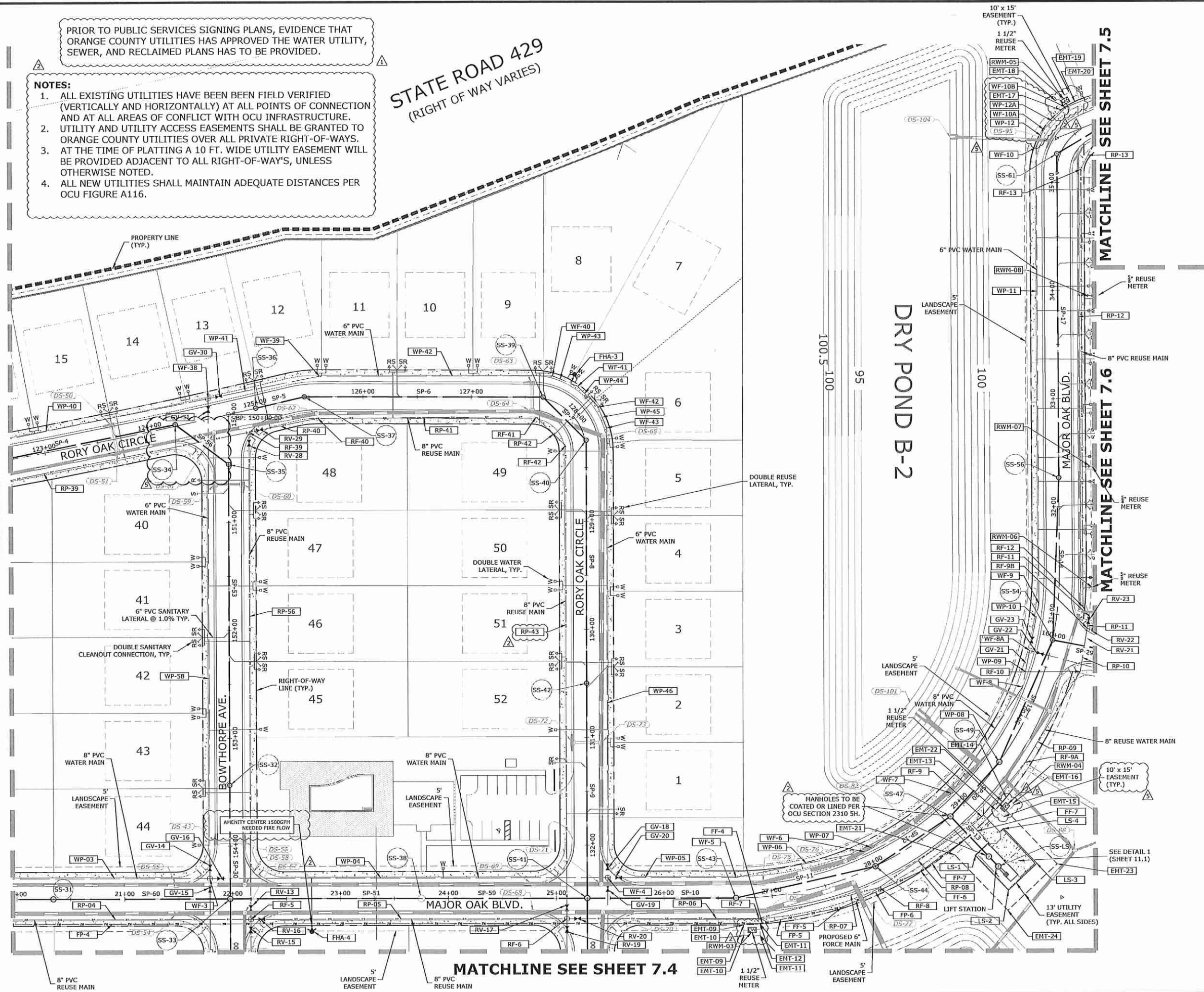
PRIOR TO PUBLIC SERVICES SIGNING PLANS, EVIDENCE THAT ORANGE COUNTY UTILITIES HAS APPROVED THE WATER UTILITY, SEWER, AND RECLAIMED PLANS HAS TO BE PROVIDED.

NOTES:

1. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE.
2. UTILITY AND UTILITY ACCESS EASEMENTS SHALL BE GRANTED TO ORANGE COUNTY UTILITIES OVER ALL PRIVATE RIGHT-OF-WAYS.
3. AT THE TIME OF PLATTING A 10 FT. WIDE UTILITY EASEMENT WILL BE PROVIDED ADJACENT TO ALL RIGHT-OF-WAY'S, UNLESS OTHERWISE NOTED.
4. ALL NEW UTILITIES SHALL MAINTAIN ADEQUATE DISTANCES PER OCU FIGURE A116.

STATE ROAD 429
(RIGHT OF WAY VARIES)

MATCHLINE SEE SHEET 7.1



EVANS ENGINEERING, INC.
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 719 IRMA AVENUE
 ORLANDO, FLORIDA 32809
 (407) 872-1616
 www.evansenginc.com
 CERTIFICATE OF AUTHORIZATION NO. 00009788

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CERTIFICATE OF AUTHORIZATION NO. 6788

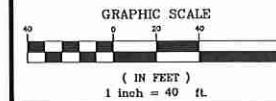
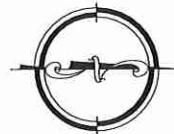
DAVID L. EVANS
FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
UTILITY PLAN

REVISIONS	DATE	NO.	BY	DETAIL
REV. PER GENERAL COMMENTS	5-24-18	1	JSK	
OCU 18-E-23 UTILITIES REVIEW	7-16-18	2	JSK	
DATED 6-29-18	9-7-18	3	CA	
OCU 18-E-23 UTILITIES REVIEW	9-7-18	4	CA	
DATED 8-29-18				

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801



SHEET #:
7.3

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 2. UTILITY AND UTILITY ACCESS EASEMENTS SHALL BE GRANTED TO ORANGE COUNTY UTILITIES OVER ALL PRIVATE RIGHT-OF-WAYS.
 3. AT THE TIME OF PLATTING A 10 FT. WIDE UTILITY EASEMENT WILL BE PROVIDED ADJACENT TO ALL RIGHT-OF-WAYS, UNLESS OTHERWISE NOTED.
 4. ALL NEW UTILITIES SHALL MAINTAIN ADEQUATE DISTANCES-PER OCU FIGURE A116.

PRIOR TO PUBLIC SERVICES SIGNING PLANS, EVIDENCE THAT ORANGE COUNTY UTILITIES HAS APPROVED THE WATER UTILITY, SEWER, AND RECLAIMED PLANS HAS TO BE PROVIDED.

EVANS ENGINEERING, INC.
 CIVIL ENGINEERING LAND PLANNING PERMITTING SERVICES
 719 IRMA AVENUE
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 CERTIFICATE OF AUTHORIZATION NO. 00003788

EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788

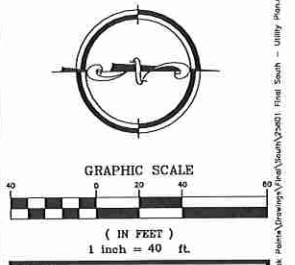
DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE: _____

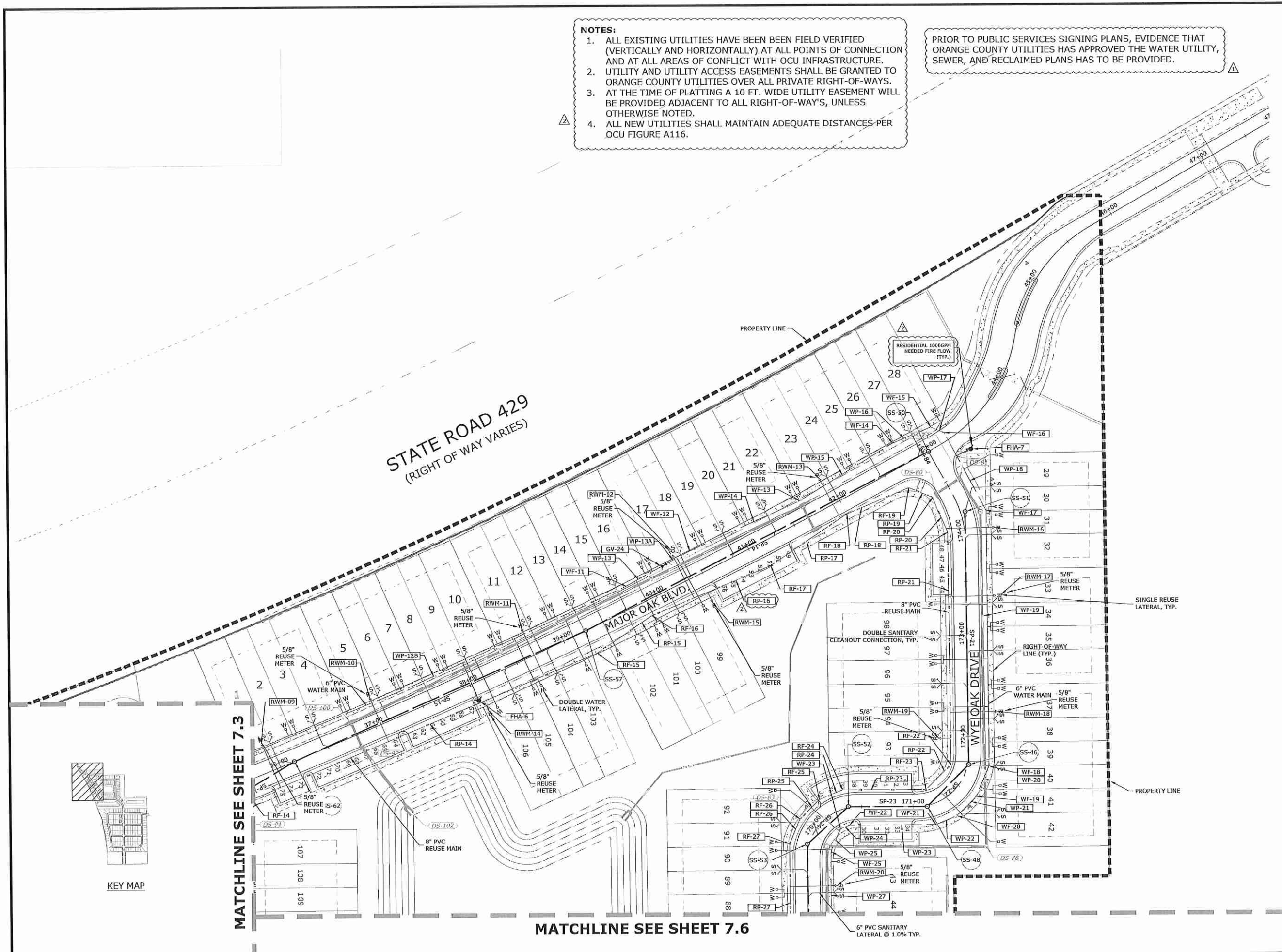
OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
UTILITY PLAN

REVISIONS	DATE	NO.	BY	DETAIL	COMMENTS
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	7-16-18	2	JSK	REVISED	OCU UTILITIES REVIEW

DRAWN BY:	DATE:
JSK	MAR, 2018
CHECKED BY:	JOB #:
DLE	25801



SHEET #:
7.5

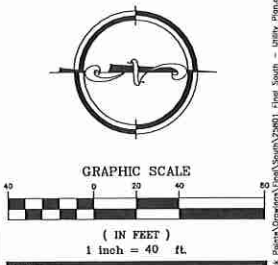


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OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
CITY OF APOPKA, FLORIDA
UTILITY PLAN

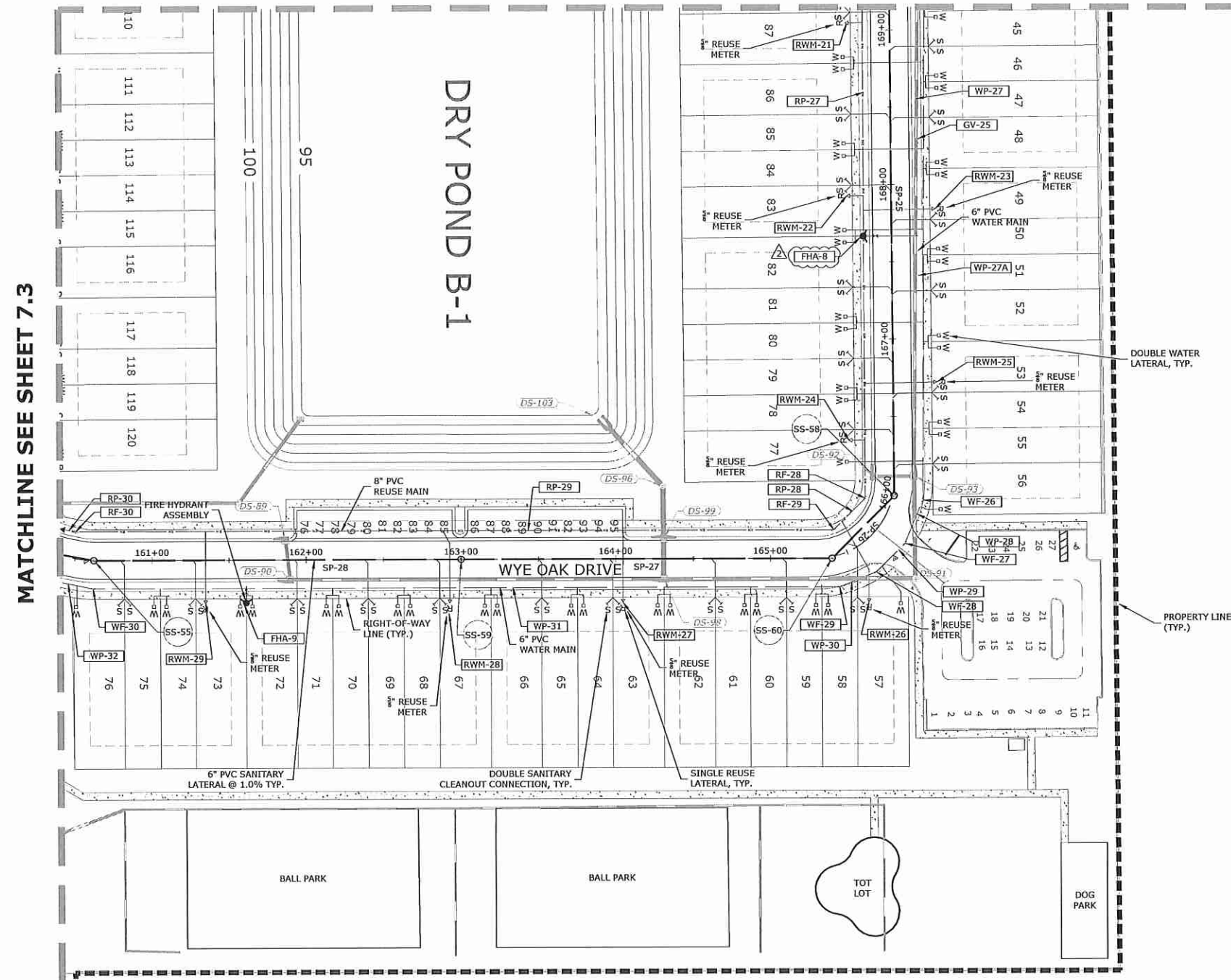
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7-16-18	2	OCU 18-E-23 UTILITIES REVIEW	JSK
9-7-18	3	OCU 18-E-53 UTILITIES REVIEW	CA
		OCU 18-E-53 UTILITIES REVIEW	CA
		DATED 6-29-18	
		DATED 8-29-18	

DRAWN BY: JSK
CHECKED BY: DLE
DATE: MAR, 2018
JOB #: 25801



SHEET #:
7.6

MATCHLINE SEE SHEET 7.5



ID Number	Plan Sheet #	Easting	Northing	Elevation	Main Type	Comments
RSFM-1	7.3				Reclaimed Water Main	
RSFM-2	7.3				Reclaimed Water Main	
RSFM-3	7.3				Reclaimed Water Main	
RSFM-4	7.3				Reclaimed Water Main	
RSFM-5	7.3				Reclaimed Water Main	
RSFM-6	7.3				Reclaimed Water Main	
RSFM-7	7.3				Reclaimed Water Main	
RSFM-8	7.3				Reclaimed Water Main	
RSFM-9	7.3				Reclaimed Water Main	
RSFM-10	7.3				Reclaimed Water Main	
RSFM-11	7.3				Reclaimed Water Main	
RSFM-12	7.3				Reclaimed Water Main	
RSFM-13	7.3				Reclaimed Water Main	
RSFM-14	7.3				Reclaimed Water Main	
RSFM-15	7.3				Reclaimed Water Main	
RSFM-16	7.1				Reclaimed Water Main	
RSFM-17	7.1				Reclaimed Water Main	
RSFM-18	7.1				Reclaimed Water Main	
RSFM-19	7.1				Reclaimed Water Main	
RSFM-20	7.1				Reclaimed Water Main	
RSFM-21	7.1				Reclaimed Water Main	
RSFM-22	7.1				Reclaimed Water Main	
RSFM-23	7.1				Reclaimed Water Main	
RSFM-24	7.1				Reclaimed Water Main	
RSFM-25	7.1				Reclaimed Water Main	
RSFM-26	7.1				Reclaimed Water Main	
RSFM-27	7.1				Reclaimed Water Main	
RSFM-28	7.1				Reclaimed Water Main	
RSFM-29	7.1				Reclaimed Water Main	
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RSFM-31	7.1				Reclaimed Water Main	
RSFM-32	7.1				Reclaimed Water Main	
RSFM-33	7.1				Reclaimed Water Main	
RSFM-34	7.1				Reclaimed Water Main	
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RSFM-37	7.1				Reclaimed Water Main	
RSFM-38	7.1				Reclaimed Water Main	
RSFM-39	7.1				Reclaimed Water Main	
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RSFM-83	7.2				Reclaimed Water Main	
RSFM-84	7.2				Reclaimed Water Main	
RSFM-85	7.2				Reclaimed Water Main	
RSFM-86	7.2				Reclaimed Water Main	
RSFM-87	7.2				Reclaimed Water Main	
RSFM-88	7.2				Reclaimed Water Main	
RSFM-89	7.2				Reclaimed Water Main	
RSFM-90	7.2				Reclaimed Water Main	
RSFM-91	7.2				Reclaimed Water Main	
RSFM-92	7.2				Reclaimed Water Main	
RSFM-93	7.2				Reclaimed Water Main	
RSFM-94	7.2				Reclaimed Water Main	
RSFM-95	7.2				Reclaimed Water Main	
RSFM-96	7.2				Reclaimed Water Main	
RSFM-97	7.2				Reclaimed Water Main	
RSFM-98	7.2				Reclaimed Water Main	
RSFM-99	7.2				Reclaimed Water Main	
RSFM-100	7.2				Reclaimed Water Main	
RSFM-101	7.4				Reclaimed Water Main	
RSFM-102	7.4				Reclaimed Water Main	
RSFM-103	7.4				Reclaimed Water Main	
RSFM-104	7.4				Reclaimed Water Main	
RSFM-105	7.4				Reclaimed Water Main	
RSFM-106	7.4				Reclaimed Water Main	
RSFM-107	7.4				Reclaimed Water Main	
RSFM-108	7.4				Reclaimed Water Main	
RSFM-109	7.4				Reclaimed Water Main	
RSFM-110	7.4				Reclaimed Water Main	
RSFM-111	7.4				Reclaimed Water Main	
RSFM-112	7.4				Reclaimed Water Main	
RSFM-113	7.4				Reclaimed Water Main	
RSFM-114	7.4				Reclaimed Water Main	
RSFM-115	7.4				Reclaimed Water Main	
RSFM-116	7.4				Reclaimed Water Main	
RSFM-117	7.4				Reclaimed Water Main	
RSFM-118	7.4				Reclaimed Water Main	
RACM-119	7.3				Reclaimed Water Main	

RECLAIMED MAIN METERS (SINGLE FAMILY)

MATCHLINE SEE SHEET 7.4

- NOTES:**
- ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE.
 - UTILITY AND UTILITY ACCESS EASEMENTS SHALL BE GRANTED TO ORANGE COUNTY UTILITIES OVER ALL PRIVATE RIGHT-OF-WAYS. AT THE TIME OF PLATTING A 10 FT. WIDE UTILITY EASEMENT WILL BE PROVIDED ADJACENT TO ALL RIGHT-OF-WAYS, UNLESS OTHERWISE NOTED.
 - ALL NEW UTILITIES SHALL MAINTAIN ADEQUATE DISTANCES PER OCU FIGURE A116.

PRIOR TO PUBLIC SERVICES SIGNING PLANS, EVIDENCE THAT ORANGE COUNTY UTILITIES HAS APPROVED THE WATER UTILITY, SEWER, AND RECLAIMED PLANS HAS TO BE PROVIDED.

MATCHLINE SEE SHEET 7.3



KEY MAP

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
SANITARY STRUCTURE TABLES

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
SS-1	RIM = 144.18 INV IN = 137.61 INV OUT = 137.51	SP-37, 8" INV IN =137.61	SP-38, 8" INV OUT =137.51
SS-2	RIM = 141.84 INV OUT = 134.15		SP-32, 8" INV OUT =134.15
SS-3	RIM = 142.30 INV OUT = 138.27		SP-37, 8" INV OUT =138.27
SS-4	RIM = 142.26 INV IN = 131.70 INV IN = 131.70 INV OUT = 131.60	SP-32, 8" INV IN =131.70 SP-46, 8" INV IN =131.70	SP-33, 8" INV OUT =131.60
SS-5	RIM = 141.90 INV OUT = 137.66		SP-58, 8" INV OUT =137.66
SS-6	RIM = 141.79 INV OUT = 131.98		SP-46, 8" INV OUT =131.98
SS-7	RIM = 140.77 INV OUT = 137.02		SP-36, 8" INV OUT =137.02
SS-9	RIM = 139.75 INV IN = 135.77 INV OUT = 130.38	SP-38, 8" INV IN =135.77	SP-48, 8" INV OUT =130.38
SS-8	RIM = 139.33 INV OUT = 131.54		SP-35, 8" INV OUT =131.54
SS-10	RIM = 135.21 INV IN = 129.84 INV OUT = 129.74	SP-58, 8" INV IN =129.84	SP-57, 8" INV OUT =129.74
SS-11	RIM = 135.05 INV IN = 128.12 INV OUT = 123.28	SP-35, 8" INV IN =128.12	SP-34, 8" INV OUT =123.28
SS-12	RIM = 134.46 INV IN = 129.60 INV OUT = 129.60	SP-3, 8" INV IN =129.60	SP-2, 8" INV OUT =129.60
SS-13	RIM = 133.63 INV OUT = 129.82		SP-3, 8" INV OUT =129.82
SS-14	RIM = 133.24 INV OUT = 128.91		SP-39, 8" INV OUT =128.91
SS-15	RIM = 132.00 INV IN = 126.79 INV OUT = 125.30	SP-57, 8" INV IN =126.79	SP-52, 8" INV OUT =125.30
SS-16	RIM = 132.08 INV IN = 127.81 INV OUT = 122.77	SP-2, 8" INV IN =127.81	SP-1, 8" INV OUT =122.77
SS-17	RIM = 131.25 INV OUT = 123.24		SP-54, 8" INV OUT =123.24
SS-18	RIM = 130.48 INV IN = 124.49 INV IN = 122.25 INV IN = 122.25 INV OUT = 121.30	SP-33, 8" INV IN =124.49 SP-34, 8" INV IN =122.25 SP-1, 8" INV IN =122.25	SP-49, 8" INV OUT =121.30
SS-19	RIM = 127.99 INV IN = 120.07 INV OUT = 118.08	SP-48, 8" INV IN =120.07	SP-43, 8" INV OUT =118.08
SS-20	RIM = 127.60 INV IN = 120.68 INV OUT = 120.58	SP-49, 8" INV IN =120.68	SP-61, 8" INV OUT =120.58
SS-21	RIM = 127.00 INV IN = 114.34 INV OUT = 114.24	SP-47, 8" INV IN =114.34	SP-31, 8" INV OUT =114.24
SS-22	RIM = 126.37 INV IN = 118.28 INV OUT = 117.50	SP-52, 8" INV IN =118.28	SP-44, 8" INV OUT =117.50
SS-23	RIM = 125.89 INV IN = 116.69 INV OUT = 115.35	SP-54, 8" INV IN =116.69	SP-55, 8" INV OUT =115.35

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
SS-24	RIM = 125.64 INV IN = 115.14 INV OUT = 115.04	SP-55, 8" INV IN =115.14	SP-47, 8" INV OUT =115.04
SS-25	RIM = 124.89 INV IN = 113.34 INV IN = 113.59 INV IN = 118.98 INV OUT = 112.64	SP-43, 8" INV IN =113.34 SP-31, 8" INV IN =113.59 SP-61, 8" INV IN =118.98	SP-50, 8" INV OUT =112.64
SS-26	RIM = 124.67 INV OUT = 120.68		SP-45, 8" INV OUT =120.68
SS-27	RIM = 124.35 INV IN = 119.38 INV IN = 120.38 INV OUT = 119.27	SP-39, 8" INV IN =119.38 SP-45, 8" INV IN =120.38	SP-40, 8" INV OUT =119.27
SS-28	RIM = 124.19 INV IN = 119.12 INV OUT = 118.97	SP-40, 8" INV IN =119.12	SP-41, 8" INV OUT =118.97
SS-29	RIM = 124.07 INV OUT = 119.69		SP-4, 8" INV OUT =119.69
SS-30	RIM = 123.42 INV IN = 116.25 INV OUT = 112.18	SP-41, 8" INV IN =116.25	SP-42, 8" INV OUT =112.18
SS-31	RIM = 122.87 INV IN = 111.99 INV OUT = 110.79	SP-50, 8" INV IN =111.99	SP-60, 8" INV OUT =110.79
SS-32	RIM = 121.39 INV IN = 110.66 INV OUT = 110.56	SP-53, 8" INV IN =110.66	SP-30, 8" INV OUT =110.56
SS-33	RIM = 121.09 INV IN = 110.14 INV IN = 110.14 INV IN = 112.96 INV OUT = 110.04	SP-60, 8" INV IN =110.14 SP-30, 8" INV IN =110.14 SP-44, 8" INV IN =112.96	SP-51, 8" INV OUT =110.04
SS-34	RIM = 120.75 INV IN = 112.26 INV OUT = 112.16	SP-4, 8" INV IN =112.26	SP-56, 8" INV OUT =112.16
SS-35	RIM = 120.69 INV IN = 111.90 INV OUT = 111.81	SP-56, 8" INV IN =111.90	SP-53, 8" INV OUT =111.81
SS-36	RIM = 119.87 INV OUT = 115.82		SP-5, 8" INV OUT =115.82
SS-37	RIM = 119.61 INV IN = 115.63 INV OUT = 112.10	SP-5, 8" INV IN =115.63	SP-6, 8" INV OUT =112.10
SS-38	RIM = 119.16 INV IN = 109.33 INV OUT = 108.13	SP-51, 8" INV IN =109.33	SP-59, 8" INV OUT =108.13
SS-39	RIM = 118.46 INV IN = 111.22 INV OUT = 107.08	SP-6, 8" INV IN =111.22	SP-7, 8" INV OUT =107.08
SS-40	RIM = 118.15 INV IN = 106.86 INV OUT = 106.76	SP-7, 8" INV IN =106.86	SP-8, 8" INV OUT =106.76
SS-41	RIM = 117.50 INV IN = 104.83 INV IN = 107.28 INV IN = 107.52 INV OUT = 104.73	SP-9, 8" INV IN =104.83 SP-42, 8" INV IN =107.28 SP-59, 8" INV IN =107.52	SP-10, 8" INV OUT =104.73
SS-42	RIM = 117.00 INV IN = 105.85 INV OUT = 105.63	SP-8, 8" INV IN =105.85	SP-9, 8" INV OUT =105.63
SS-43	RIM = 114.07 INV IN = 104.18 INV OUT = 104.08	SP-10, 8" INV IN =104.18	SP-11, 8" INV OUT =104.08
SS-44	RIM = 108.27 INV IN = 99.68 INV OUT = 97.69	SP-11, 8" INV IN =99.68	SP-12, 8" INV OUT =97.69
SS-LS	RIM = 105.00 INV IN = 90.29	SP-13 (1), 8" INV IN =90.29	
SS-46	RIM = 108.94 INV IN = 101.85 INV OUT = 101.75	SP-21, 8" INV IN =101.85	SP-22, 8" INV OUT =101.75

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
SS-47	RIM = 104.37 INV IN = 94.76 INV IN = 90.75 INV OUT = 90.65	SP-12, 8" INV IN =94.76 SP-20, 8" INV IN =90.75	SP-13, 8" INV OUT =90.65
SS-48	RIM = 107.60 INV IN = 101.52 INV OUT = 101.42	SP-22, 8" INV IN =101.52	SP-23, 8" INV OUT =101.42
SS-49	RIM = 103.48 INV IN = 91.06 INV OUT = 90.96	SP-19, 8" INV IN =91.06	SP-20, 8" INV OUT =90.96
SS-50	RIM = 107.00 INV OUT = 97.06		SP-14, 8" INV OUT =97.06
SS-51	RIM = 106.76 INV OUT = 102.83		SP-21, 8" INV OUT =102.83
SS-52	RIM = 105.40 INV IN = 101.11 INV OUT = 101.01	SP-23, 8" INV IN =101.11	SP-24, 8" INV OUT =101.01
SS-53	RIM = 104.33 INV IN = 100.80 INV OUT = 94.98	SP-24, 8" INV IN =100.80	SP-25, 8" INV OUT =94.98
SS-54	RIM = 103.90 INV IN = 91.71 INV IN = 91.54 INV OUT = 91.44	SP-18, 8" INV IN =91.71 SP-29, 8" INV IN =91.54	SP-19, 8" INV OUT =91.44
SS-55	RIM = 103.37 INV IN = 92.67 INV OUT = 91.73	SP-28, 8" INV IN =92.67	SP-29, 8" INV OUT =91.73
SS-56	RIM = 103.27 INV IN = 92.42 INV OUT = 92.32	SP-17, 8" INV IN =92.42	SP-18, 8" INV OUT =92.32
SS-57	RIM = 102.47 INV IN = 95.56 INV OUT = 95.46	SP-14, 8" INV IN =95.56	SP-15, 8" INV OUT =95.46
SS-58	RIM = 102.32 INV IN = 93.79 INV OUT = 93.69	SP-25, 8" INV IN =93.79	SP-26, 8" INV OUT =93.69
SS-59	RIM = 102.15 INV IN = 92.67 INV OUT = 92.57	SP-27, 8" INV IN =92.67	SP-28, 8" INV OUT =92.57
SS-60	RIM = 102.02 INV IN = 93.51 INV OUT = 93.41	SP-26, 8" INV IN =93.51	SP-27, 8" INV OUT =93.41
SS-61	RIM = 101.72 INV IN = 93.72 INV OUT = 93.61	SP-16, 8" INV IN =93.72	SP-17, 8" INV OUT =93.61
SS-62	RIM = 101.62 INV IN = 94.23 INV OUT = 94.06	SP-15, 8" INV IN =94.23	SP-16, 8" INV OUT =94.06
SS-45	RIM = 104.87 INV IN = 90.44 INV OUT = 90.34	SP-13, 8" INV IN =90.44	SP-13 (1), 8" INV OUT =90.34

SAN. PIPE TABLE			
NAME	LENGTH	SIZE	SLOPE
SP-1	130'	8"	0.40%
SP-2	180'	8"	1.00%
SP-3	52'	8"	0.40%
SP-4	212'	8"	3.50%
SP-5	46'	8"	0.40%
SP-6	221'	8"	0.40%
SP-7	56'	8"	0.40%
SP-8	225'	8"	0.40%
SP-9	199'	8"	0.40%
SP-10	138'	8"	0.40%
SP-11	132'	8"	3.32%
SP-12	84'	8"	3.50%
SP-13	51'	8"	0.40%
SP-13 (1)	13'	8"	0.40%
SP-14	374'	8"	0.40%
SP-15	309'	8"	0.40%
SP-16	87'	8"	0.40%
SP-17	300'	8"	0.40%
SP-18	151'	8"	0.40%
SP-19	123'	8"	0.31%

SAN. PIPE TABLE			
NAME	LENGTH	SIZE	SLOPE
SP-20	68'	8"	0.31%
SP-21	245'	8"	0.40%
SP-22	57'	8"	0.40%
SP-23	77'	8"	0.40%
SP-24	54'	8"	0.40%
SP-25	384'	8"	0.31%
SP-26	57'	8"	0.31%
SP-27	240'	8"	0.31%
SP-28	238'	8"	0.31%
SP-29	62'	8"	0.31%
SP-30	105'	8"	0.40%
SP-31	161'	8"	0.40%
SP-32	50'	8"	4.90%
SP-33	294'	8"	2.42%
SP-34	258'	8"	0.40%
SP-35	229'	8"	1.50%
SP-36	81'	8"	1.75%
SP-37	165'	8"	0.40%
SP-38	116'	8"	1.50%
SP-39	272'	8"	3.50%

SAN. PIPE TABLE			
NAME	LENGTH	SIZE	SLOPE
SP-40	38'	8"	0.40%
SP-41	182'	8"	1.50%
SP-42	326'	8"	1.50%
SP-43	135'	8"	3.50%
SP-44	227'	8"	2.00%
SP-45	76'	8"	0.40%
SP-46	50'	8"	0.56%
SP-47	175'	8"	0.40%
SP-48	294'	8"	3.50%
SP-49	156'	8"	0.40%
SP-50	163'	8"	0.40%
SP-51	177'	8"	0.40%
SP-52	201'	8"	3.50%
SP-53	297'	8"	0.39%
SP-54	187'	8"	3.50%
SP-55	52'	8"	0.40%
SP-56	62'	8"	0.42%
SP-57	118'	8"	2.50%
SP-58	224'	8"	3.50%
SP-59	154'	8"	0.40%

SAN. PIPE TABLE			
NAME	LENGTH	SIZE	SLOPE
SP-60	164'	8"	0.40%
SP-61	171'	8"	0.93%

DATE	NO.	REVISIONS	BY
5-24-18	1	REV. PER GENERAL COMMENTS	JSK
5-24-18	2	PRC-SP-1 DATED 4-25-18	JSK

DRAWN BY: JSK	DATE: MAR, 2018
CHECKED BY: DLE	JOB #: 25801

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ID Number	Plan Sheet#	Easting	Northing	Elevation	Main Type	Type of Shot	Construction Method	Material	Pressure Class	Manufacturer	Comments
WP-01	7.1				Water main			12" PVC			
WP-01A	7.1				Water main			12" PVC			
WP-01B	7.1				Water main			8" PVC			
WP-01C	7.1				Water main			8" PVC			
WP-01D	7.1				Water main			8" PVC			
WP-01E	7.1				Water main			8" PVC			
WP-01F	7.1				Water main			8" PVC			
WP-01G	7.1				Water main			8" PVC			
WP-01H	7.1				Water main			8" PVC			
WP-02	7.1				Water main			8" PVC			
WP-03	7.1, 7.3				Water main			8" PVC			
WP-04	7.3				Water main			8" PVC			
WP-05	7.3				Water main			8" PVC			
WP-06	7.3				Water main			8" PVC			
WP-07	7.3				Water main			8" PVC			
WP-08	7.3				Water main			8" PVC			
WP-09	7.3				Water main			8" PVC			
WP-10	7.3				Water main			8" PVC			
WP-11	7.3				Water main			8" PVC			
WP-12	7.3				Water main			8" PVC			
WP-12A	7.3				Water main			8" PVC			
WP-12B	7.3				Water main			8" PVC			
WP-13	7.5				Water main			8" PVC			
WP-14	7.5				Water main			8" PVC			
WP-15	7.5				Water main			8" PVC			
WP-16	7.5				Water main			8" PVC			
WP-17	7.5				Water main			8" PVC			
WP-18	7.5				Water main			8" PVC			
WP-19	7.5				Water main			8" PVC			
WP-20	7.5				Water main			8" PVC			
WP-21	7.5				Water main			8" PVC			
WP-22	7.5				Water main			8" PVC			
WP-23	7.5				Water main			8" PVC			
WP-24	7.5				Water main			8" PVC			
WP-25	7.5				Water main			8" PVC			
WP-27	7.5, 7.6				Water main			8" PVC			
WP-27A	7.6				Water main			8" PVC			
WP-28	7.6				Water main			8" PVC			
WP-29	7.6				Water main			8" PVC			
WP-30	7.6				Water main			8" PVC			
WP-31	7.6				Water main			8" PVC			
WP-32	7.6				Water main			8" PVC			
WP-33	7.1				Water main			8" PVC			
WP-34	7.1				Water main			8" PVC			
WP-35	7.1				Water main			8" PVC			
WP-36	7.1				Water main			8" PVC			
WP-38	7.1				Water main			8" PVC			
WP-39	7.1				Water main			8" PVC			
WP-40	7.1, 7.3				Water main			8" PVC			
WP-41	7.3				Water main			8" PVC			
WP-42	7.3				Water main			8" PVC			
WP-43	7.3				Water main			8" PVC			
WP-44	7.3				Water main			8" PVC			
WP-45	7.3				Water main			8" PVC			
WP-46	7.3				Water main			8" PVC			
WP-47	7.2				Water main			8" PVC			
WP-48	7.2				Water main			8" PVC			
WP-49	7.2				Water main			8" PVC			
WP-50	7.2				Water main			8" PVC			
WP-51	7.2				Water main			8" PVC			
WP-52	7.2, 7.4				Water main			8" PVC			
WP-53	7.4				Water main			8" PVC			
WP-54	7.4				Water main			8" PVC			
WP-55	7.4				Water main			8" PVC			
WP-56	7.4				Water main			8" PVC			
WP-57	7.1				Water main			8" PVC			
WP-58	7.3				Water main			8" PVC			
WP-59	7.2				Water main			8" PVC			

WATER MAIN PIPES

ID Number	Plan Sheet#	Easting	Northing	Elevation	Boundary Corner Type	Comments
EMT-01	7.2				Easement	
EMT-02	7.2				Easement	
EMT-03	7.2				Easement	
EMT-04	7.2				Easement	
EMT-05	7.2				Easement	
EMT-06	7.2				Easement	
EMT-07	7.2				Easement	
EMT-08	7.2				Easement	
EMT-09	7.3				Easement	
EMT-10	7.3				Easement	
EMT-11	7.3				Easement	
EMT-12	7.3				Easement	
EMT-13	7.3				Easement	
EMT-14	7.3				Easement	
EMT-15	7.3				Easement	
EMT-16	7.3				Easement	
EMT-17	7.3				Easement	
EMT-18	7.3				Easement	
EMT-19	7.3				Easement	
EMT-20	7.3				Easement	
EMT-21	7.3				Easement	
EMT-22	7.3				Easement	
EMT-23	7.3				Easement	
EMT-24	7.3				Easement	

EASEMENT TRACT CORNERS

ID Number	Plan Sheet#	Easting	Northing	Elevation	Boundary Corner Type	Comments
LS-1	7.3				Pump Station Tract	
LS-2	7.3				Pump Station Tract	
LS-3	7.3				Pump Station Tract	
LS-4	7.3				Pump Station Tract	

LIFT STATION TRACT CORNERS

ID Number	Plan Sheet#	Easting	Northing	Elevation	Manufacturer	Model #	Comments
FHA-1	7.1						
FHA-2	7.2						
FHA-3	7.3						
FHA-4	7.3						
FHA-5	7.4						
FHA-6	7.5						
FHA-7	7.5						
FHA-8	7.6						
FHA-9	7.6						
FHA-10	7.4						

FIRE HYDRANT ASSEMBLIES

ID Number	Plan Sheet#	Easting	Northing	Elevation	Main Type	Type of Shot	Construction Method	Material	Pressure Class	Manufacturer	Comments
RP-01	7.1				Reclaimed Water Main			12" PVC			
RP-01A	7.1				Reclaimed Water Main			12" PVC			
RP-02	7.1				Reclaimed Water Main			8" PVC			
RP-03	7.1				Reclaimed Water Main			8" PVC			
RP-04	7.1, 7.3				Reclaimed Water Main			8" PVC			
RP-05	7.3				Reclaimed Water Main			8" PVC			
RP-06	7.3				Reclaimed Water Main			8" PVC			
RP-07	7.3				Reclaimed Water Main			8" PVC			
RP-08	7.3				Reclaimed Water Main			8" PVC			
RP-09	7.3				Reclaimed Water Main			8" PVC			
RP-10	7.3				Reclaimed Water Main			8" PVC			
RP-11	7.3				Reclaimed Water Main			8" PVC			
RP-12	7.3				Reclaimed Water Main			8" PVC			
RP-13	7.3				Reclaimed Water Main			8" PVC			
RP-14	7.5				Reclaimed Water Main			8" PVC			
RP-15	7.5				Reclaimed Water Main			8" PVC			
RP-16	7.5				Reclaimed Water Main			8" PVC			
RP-17	7.5				Reclaimed Water Main			8" PVC			
RP-18	7.5				Reclaimed Water Main			8" PVC			
RP-19	7.5				Reclaimed Water Main			8" PVC			
RP-20	7.5				Reclaimed Water Main			8" PVC			
RP-21	7.5				Reclaimed Water Main			8" PVC			
RP-22	7.5				Reclaimed Water Main			8" PVC			
RP-23	7.5				Reclaimed Water Main			8" PVC			
RP-24	7.5				Reclaimed Water Main			8" PVC			
RP-25	7.5				Reclaimed Water Main			8" PVC			
RP-26	7.5				Reclaimed Water Main			8" PVC			
RP-27	7.5, 7.6				Reclaimed Water Main			8" PVC			
RP-28	7.6				Reclaimed Water Main			8" PVC			
RP-29	7.6				Reclaimed Water Main			8" PVC			
RP-30	7.6				Reclaimed Water Main			8" PVC			
RP-31	7.1				Reclaimed Water Main			8" PVC			
RP-32	7.1				Reclaimed Water Main			8" PVC			
RP-33	7.1				Reclaimed Water Main			8" PVC			
NOT USED											
RP-35	7.1				Reclaimed Water Main			8" PVC			
RP-36	7.1				Reclaimed Water Main			8" PVC			
RP-37	7.1				Reclaimed Water Main			8" PVC			
RP-38	7.1				Reclaimed Water Main			8" PVC			
RP-39	7.3				Reclaimed Water Main			8" PVC			
RP-40	7.3				Reclaimed Water Main			8" PVC			
RP-41	7.3				Reclaimed Water Main			8" PVC			
RP-42	7.3				Reclaimed Water Main			8" PVC			
RP-43	7.3				Reclaimed Water Main			8" PVC			
RP-44	7.2				Reclaimed Water Main			8" PVC			
RP-45	7.2				Reclaimed Water Main			8" PVC			
RP-46	7.2				Reclaimed Water Main			8" PVC			
RP-47	7.2				Reclaimed Water Main			8" PVC			
RP-48	7.2				Reclaimed Water Main			8" PVC			
RP-49	7.2, 7.4				Reclaimed Water Main			8" PVC			
RP-50	7.4				Reclaimed Water Main			8" PVC			
RP-51	7.4				Reclaimed Water Main			8" PVC			
RP-52	7.4				Reclaimed Water Main			8" PVC			
RP-53	7.4				Reclaimed Water Main			8" PVC			
RP-54	7.2				Reclaimed Water Main			8" PVC			
RP-55	7.1				Reclaimed Water Main			8" PVC			
RP-56	7.3				Reclaimed Water Main			8" PVC			
RP-57	7.1				Reclaimed Water Main			4" PVC			
RP-58	7.1				Reclaimed Water Main			4" PVC			

RECLAIMED MAIN PIPES

ID Number	Plan Sheet#	Easting	Northing	Elevation	Main Type	Fitting Type	Comments
RF-1	7.1				Reclaimed Water Main	Tapping Saddle	
RF-1A	7.1				Reclaimed Water Main	Bend 22-1/2"	
RF-1B	7.1				Reclaimed Water Main	Bend 22-1/2"	
RF-1C	7.1				Reclaimed Water Main	Bend 45°	
RF-1D	7.1				Reclaimed Water Main	Bend 45°	
RF-1E	7.1				Reclaimed Water Main	Bend 45°	
RF-1F	7.1				Reclaimed Water Main	Bend 45°	
RF-2	7.1				Reclaimed Water Main	Cross	
RF-3	7.1				Reclaimed Water Main	Cross	
RF-4	7.1				Reclaimed Water Main	Cross	
RF-5	7.3				Reclaimed Water Main	Cross	
RF-6	7.3				Reclaimed Water Main	Cross	
RF-7	7.3				Reclaimed Water Main	Bend 22-1/2"	
RF-8							

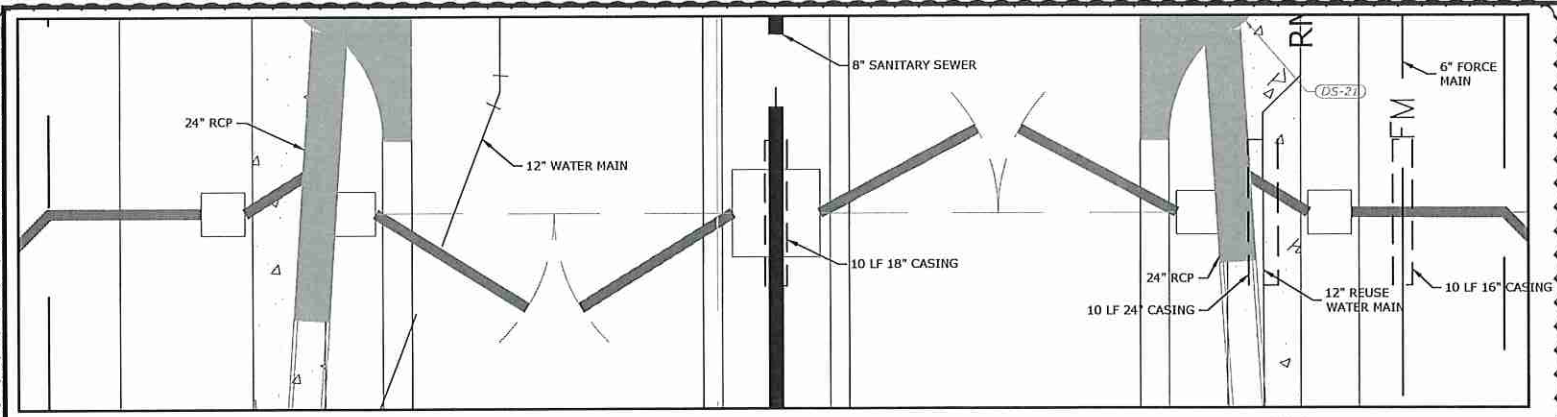
DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 UTILITY ASSET TABLES

ID Number	Plan Sheet #	Easting	Northing	Elevation	Main Type	Type of Shot	Construction Method	Material	Pressure Class	Manufacturer	Comments
w-sta-11+00	7.1				Water main			12" PVC			
w-sta-12+00	7.1				Water main			12" PVC			
w-sta-13+00	7.1				Water main			12" PVC			
w-sta-14+00	7.1				Water main			12" PVC			
w-sta-15+00	7.1				Water main			12" PVC			
w-sta-16+00	7.1				Water main			8" PVC			
w-sta-17+00	7.1				Water main			8" PVC			
w-sta-18+00	7.1				Water main			8" PVC			
w-sta-19+00	7.1				Water main			8" PVC			
w-sta-20+00	7.1, 7.3				Water main			8" PVC			
w-sta-21+00	7.3				Water main			8" PVC			
w-sta-22+00	7.3				Water main			8" PVC			
w-sta-23+00	7.3				Water main			8" PVC			
w-sta-24+00	7.3				Water main			8" PVC			
w-sta-25+00	7.3				Water main			8" PVC			
w-sta-26+00	7.3				Water main			8" PVC			
w-sta-27+00	7.3				Water main			8" PVC			
w-sta-28+00	7.3				Water main			8" PVC			
w-sta-29+00	7.3				Water main			8" PVC			
w-sta-30+00	7.3				Water main			8" PVC			
w-sta-31+00	7.3				Water main			6" PVC			
w-sta-32+00	7.3				Water main			6" PVC			
w-sta-33+00	7.3				Water main			6" PVC			
w-sta-34+00	7.3				Water main			6" PVC			
w-sta-35+00	7.3				Water main			6" PVC			
w-sta-36+00	7.5				Water main			6" PVC			
w-sta-37+00	7.5				Water main			6" PVC			
w-sta-38+00	7.5				Water main			6" PVC			
w-sta-39+00	7.5				Water main			6" PVC			
w-sta-40+00	7.5				Water main			6" PVC			
w-sta-41+00	7.5				Water main			6" PVC			
w-sta-42+00	7.5				Water main			6" PVC			
w-sta-43+00	7.5				Water main			6" PVC			
w-sta-100+00	7.4				Water main			6" PVC			
w-sta-101+00	7.4				Water main			6" PVC			
w-sta-102+00	7.4				Water main			6" PVC			
w-sta-103+00	7.4				Water main			6" PVC			
w-sta-104+00	7.4				Water main			6" PVC			
w-sta-105+00	7.4				Water main			6" PVC			
w-sta-106+00	7.2				Water main			6" PVC			
w-sta-107+00	7.2				Water main			6" PVC			
w-sta-108+00	7.2				Water main			6" PVC			
w-sta-109+00	7.2				Water main			6" PVC			
w-sta-110+00	7.2				Water main			6" PVC			
w-sta-111+00	7.2				Water main			6" PVC			
w-sta-112+00	7.2				Water main			6" PVC			
w-sta-113+00	7.2				Water main			6" PVC			
w-sta-114+00	7.2				Water main			6" PVC			
w-sta-115+00	7.1				Water main			6" PVC			
w-sta-116+00	7.1				Water main			6" PVC			
w-sta-117+00	7.1				Water main			6" PVC			
w-sta-118+00	7.1				Water main			6" PVC			
w-sta-119+00	7.1				Water main			6" PVC			
w-sta-120+00	7.1				Water main			6" PVC			
w-sta-121+00	7.1				Water main			6" PVC			
w-sta-122+00	7.1				Water main			6" PVC			
w-sta-123+00	7.3				Water main			6" PVC			
w-sta-124+00	7.3				Water main			6" PVC			
w-sta-125+00	7.3				Water main			6" PVC			
w-sta-126+00	7.3				Water main			6" PVC			
w-sta-127+00	7.3				Water main			6" PVC			
w-sta-128+00	7.3				Water main			6" PVC			
w-sta-129+00	7.3				Water main			6" PVC			
w-sta-130+00	7.3				Water main			6" PVC			
w-sta-131+00	7.3				Water main			6" PVC			
w-sta-132+00	7.3				Water main			6" PVC			
w-sta-133+00	7.3, 7.4				Water main			6" PVC			
w-sta-134+00	7.4				Water main			6" PVC			
w-sta-135+00	7.4				Water main			6" PVC			
w-sta-136+00	7.4				Water main			6" PVC			
w-sta-137+00	7.4				Water main			6" PVC			
w-sta-138+00	7.4				Water main			6" PVC			
w-sta-139+00	7.4				Water main			6" PVC			
w-sta-140+00	7.1				Water main			6" PVC			
w-sta-141+00	7.1				Water main			6" PVC			
w-sta-142+00	7.1				Water main			6" PVC			
w-sta-143+00	7.1				Water main			6" PVC			
w-sta-144+00	7.1				Water main			6" PVC			
w-sta-145+00	7.2				Water main			6" PVC			
w-sta-146+00	7.2				Water main			6" PVC			
w-sta-147+00	7.2				Water main			6" PVC			
w-sta-148+00	7.2				Water main			6" PVC			
w-sta-149+00	7.2				Water main			6" PVC			
w-sta-150+00	7.3				Water main			6" PVC			
w-sta-151+00	7.3				Water main			6" PVC			
w-sta-152+00	7.3				Water main			6" PVC			
w-sta-153+00	7.3				Water main			6" PVC			
w-sta-154+00	7.3				Water main			6" PVC			
w-sta-155+00	7.3, 7.4				Water main			6" PVC			
w-sta-156+00	7.4				Water main			6" PVC			
w-sta-157+00	7.4				Water main			6" PVC			
w-sta-158+00	7.4				Water main			6" PVC			
w-sta-159+00	7.4				Water main			6" PVC			
w-sta-161+00	7.6				Water main			6" PVC			
w-sta-162+00	7.6				Water main			6" PVC			
w-sta-163+00	7.6				Water main			6" PVC			
w-sta-164+00	7.6				Water main			6" PVC			
w-sta-165+00	7.6				Water main			6" PVC			
w-sta-166+00	7.6				Water main			6" PVC			
w-sta-167+00	7.6				Water main			6" PVC			
w-sta-168+00	7.6				Water main			6" PVC			
w-sta-169+00	7.6				Water main			6" PVC			
w-sta-170+00	7.5				Water main			6" PVC			
w-sta-171+00	7.5				Water main			6" PVC			
w-sta-172+00	7.5				Water main			6" PVC			
w-sta-173+00	7.5				Water main			6" PVC			
w-sta-174+00	7.5				Water main			6" PVC			

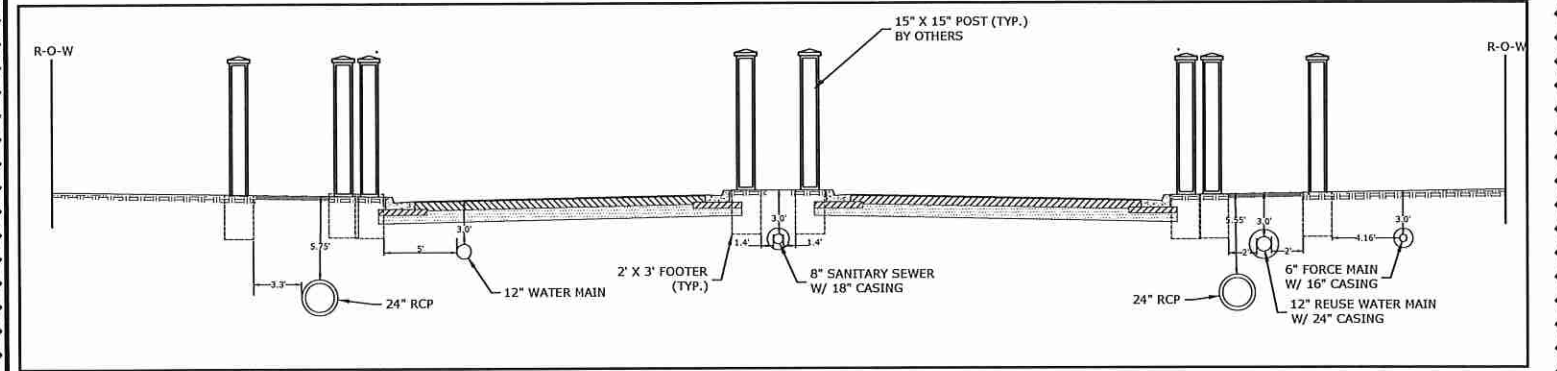
WATER MAIN SURVEY SHOTS AT 100' INTERVALS

ID Number	Plan Sheet #	Easting	Northing	Elevation	Main Type	Type of Shot	Construction Method	Material	Pressure Class	Manufacturer	Comments
r-sta-11+00	7.1				Reclaimed Water Main			12" PVC			
r-sta-12+00	7.1				Reclaimed Water Main			12" PVC			
r-sta-13+00	7.1				Reclaimed Water Main			6" PVC			
r-sta-14+00	7.1				Reclaimed Water Main			6" PVC			
r-sta-15+00	7.1				Reclaimed Water Main			6" PVC			
r-sta-16+00	7.1				Reclaimed Water Main			8" PVC			
r-sta-17+00	7.1				Reclaimed Water Main			8" PVC			
r-sta-18+00	7.1				Reclaimed Water Main			8" PVC			
r-sta-19+00	7.1				Reclaimed Water Main			8" PVC			
r-sta-20+00	7.1, 7.3				Reclaimed Water Main			8" PVC			
r-sta-21+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-22+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-23+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-24+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-25+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-26+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-27+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-28+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-29+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-30+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-31+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-32+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-33+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-34+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-35+00	7.3				Reclaimed Water Main			8" PVC			
r-sta-36+00	7.5				Reclaimed Water Main			8" PVC			
r-sta-37+00	7.5				Reclaimed Water Main			8" PVC			
r-sta-38+00	7.5				Reclaimed Water Main			8" PVC			
r-sta-39+00	7.5				Reclaimed Water Main			8" PVC			
r-sta-40+00	7.5				Reclaimed Water Main			8" PVC			
r-sta-41+00	7.5				Reclaimed Water Main			8" PVC			
r-sta-42+00	7.5				Reclaimed Water Main			8" PVC			
r-sta-100+00	7.4				Reclaimed Water Main			8" PVC			
r-sta-101+00	7.4				Reclaimed Water Main			8" PVC			
r-sta-102+00	7.4				Reclaimed Water Main			8" PVC			
r-sta-103+00	7.4				Reclaimed Water Main			8" PVC			
r-sta-104+00	7.4				Reclaimed Water Main			8" PVC			
r-sta-105+00	7.4				Reclaimed Water Main			8" PVC			
r-sta-106+00	7.2				Reclaimed Water Main			8" PVC			
r-sta-107+00	7.2				Reclaimed Water Main			8" PVC			
r-sta-108+00	7.2				Reclaimed Water Main			8" PVC			
r-sta-109+00	7.2				Reclaimed Water Main			8" PVC			
r-sta-110+00	7.2				Reclaimed Water Main			8" PVC			
r-sta-111+00	7.2				Reclaimed Water Main			8" PVC			
r-sta-112+00	7.2				Reclaimed Water Main			8" PVC			
r-sta-113+00	7.2				Reclaimed Water Main			8" PVC			
r-sta-114+00	7.2				Reclaimed Water Main			8" PVC			
r-sta-115+00	7.1				Reclaimed Water Main			8" PVC			
r-sta-116+00	7.1				Reclaimed Water Main			8" PVC			
r-sta-117+00	7.1				Reclaimed Water Main</						



PLAN VIEW
SCALE: 1" = 5'

NOTE:
CASINGS TO BE CONSTRUCTED PER
FIG. A106 (SEE DETAIL SHEET 10.1)



SECTION VIEW
ENTRY GATE - UTILITY CROSS SECTION
SCALE: N.T.S.

ID Number	Plan Sheet #	Easting	Northing	Elevation	Main Type	Comments
RWM-1	7.2				Reclaimed Water Main	1 1/2 INCH
RWM-2	7.2				Reclaimed Water Main	1 1/2 INCH
RWM-3	7.3				Reclaimed Water Main	1 1/2 INCH
RWM-4	7.3				Reclaimed Water Main	1 1/2 INCH
RWM-5	7.3				Reclaimed Water Main	1 1/2 INCH
RWM-6	7.3				Reclaimed Water Main	5/8\" INCH
RWM-7	7.3				Reclaimed Water Main	5/8\" INCH
RWM-8	7.3				Reclaimed Water Main	5/8\" INCH
RWM-9	7.5				Reclaimed Water Main	5/8\" INCH
RWM-10	7.5				Reclaimed Water Main	5/8\" INCH
RWM-11	7.5				Reclaimed Water Main	5/8\" INCH
RWM-12	7.5				Reclaimed Water Main	5/8\" INCH
RWM-13	7.5				Reclaimed Water Main	5/8\" INCH
RWM-14	7.5				Reclaimed Water Main	5/8\" INCH
RWM-15	7.5				Reclaimed Water Main	5/8\" INCH
RWM-16	7.5				Reclaimed Water Main	5/8\" INCH
RWM-17	7.5				Reclaimed Water Main	5/8\" INCH
RWM-18	7.5				Reclaimed Water Main	5/8\" INCH
RWM-19	7.5				Reclaimed Water Main	5/8\" INCH
RWM-20	7.5				Reclaimed Water Main	5/8\" INCH
RWM-21	7.6				Reclaimed Water Main	5/8\" INCH
RWM-22	7.6				Reclaimed Water Main	5/8\" INCH
RWM-23	7.6				Reclaimed Water Main	5/8\" INCH
RWM-24	7.6				Reclaimed Water Main	5/8\" INCH
RWM-25	7.6				Reclaimed Water Main	5/8\" INCH
RWM-26	7.6				Reclaimed Water Main	5/8\" INCH
RWM-27	7.6				Reclaimed Water Main	5/8\" INCH
RWM-28	7.6				Reclaimed Water Main	5/8\" INCH
RWM-29	7.6				Reclaimed Water Main	5/8\" INCH

RECLAIMED MAIN METERS (OPEN SPACE/TOWNHOMES)

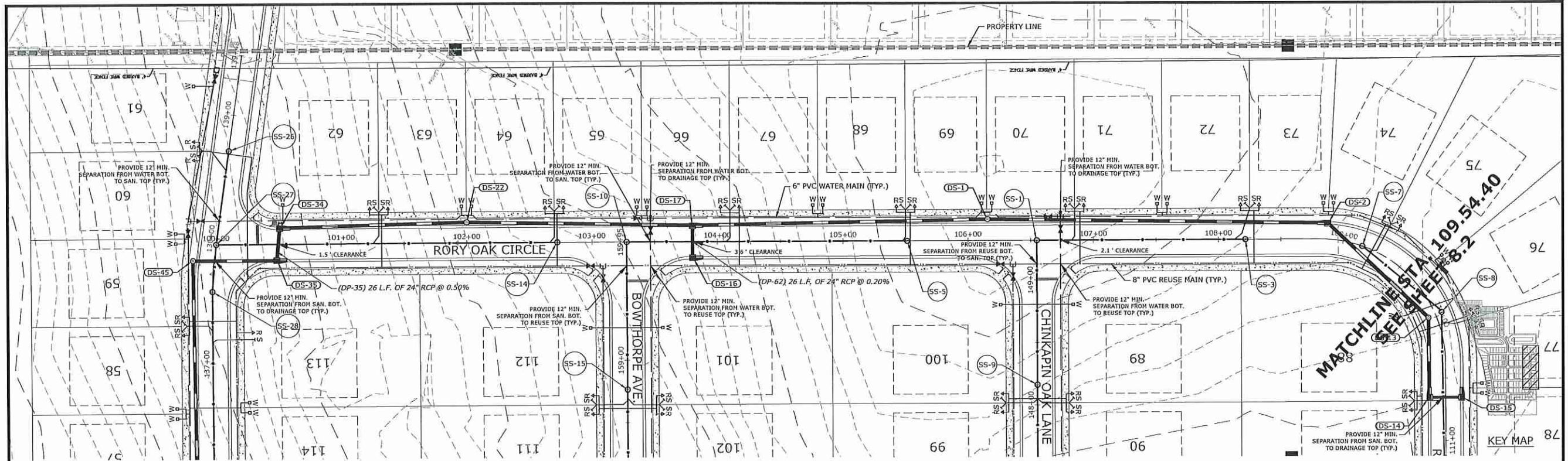
ID Number	Plan Sheet #	Easting	Northing	Elevation	Main Type	Fitting Type	Comments
WF-0	7.1				Water Main	Cross	
WF-1	7.1				Water Main	Bend 45°	
WF-2	7.1				Water Main	Bend 45°	
WF-3	7.1				Water Main	Bend 11 1/4°	
WF-4	7.1				Water Main	Bend 45°	
WF-5	7.1				Water Main	Bend 45°	
WF-6	7.1				Water Main	Bend 45°	
WF-7	7.1				Water Main	Bend 45°	
WF-8	7.1				Water Main	Bend 45°	
WF-9	7.1				Water Main	Bend 45°	
WF-10	7.1				Water Main	Bend 45°	
WF-11	7.1				Water Main	Bend 45°	
WF-12	7.1				Water Main	Bend 45°	
WF-13	7.1				Water Main	Bend 45°	
WF-14	7.1				Water Main	Bend 45°	
WF-15	7.1				Water Main	Bend 45°	
WF-16	7.1				Water Main	Bend 45°	
WF-17	7.1				Water Main	Bend 45°	
WF-18	7.1				Water Main	Bend 45°	
WF-19	7.1				Water Main	Bend 45°	
WF-20	7.1				Water Main	Bend 45°	
WF-21	7.1				Water Main	Bend 45°	
WF-22	7.1				Water Main	Bend 45°	
WF-23	7.1				Water Main	Bend 45°	
WF-24	7.1				Water Main	Bend 45°	
WF-25	7.1				Water Main	Bend 45°	
WF-26	7.1				Water Main	Bend 45°	
WF-27	7.1				Water Main	Bend 45°	
WF-28	7.1				Water Main	Bend 45°	
WF-29	7.1				Water Main	Bend 45°	
WF-30	7.1				Water Main	Bend 45°	
WF-31	7.1				Water Main	Bend 45°	
WF-32	7.1				Water Main	Bend 45°	
WF-33	7.1				Water Main	Bend 45°	
WF-34	7.1				Water Main	Bend 45°	
WF-35	7.1				Water Main	Bend 45°	
WF-36	7.1				Water Main	Bend 45°	
WF-37	7.1				Water Main	Bend 45°	
WF-38	7.1				Water Main	Bend 45°	
WF-39	7.1				Water Main	Bend 45°	
WF-40	7.1				Water Main	Bend 45°	
WF-41	7.1				Water Main	Bend 45°	
WF-42	7.1				Water Main	Bend 45°	
WF-43	7.1				Water Main	Bend 45°	
WF-44	7.1				Water Main	Bend 45°	
WF-45	7.1				Water Main	Bend 45°	
WF-46	7.1				Water Main	Bend 45°	
WF-47	7.1				Water Main	Bend 45°	
WF-48	7.1				Water Main	Bend 45°	
WF-49	7.1				Water Main	Bend 45°	
WF-50	7.1				Water Main	Bend 45°	
WF-51	7.1				Water Main	Bend 45°	
WF-52	7.1				Water Main	Bend 45°	
WF-53	7.1				Water Main	Bend 45°	
WF-54	7.1				Water Main	Bend 45°	
WF-55	7.1				Water Main	Bend 45°	
WF-56	7.1				Water Main	Bend 45°	
WF-57	7.1				Water Main	Bend 45°	
WF-58	7.1				Water Main	Bend 45°	
WF-59	7.1				Water Main	Bend 45°	

WATER MAIN FITTINGS

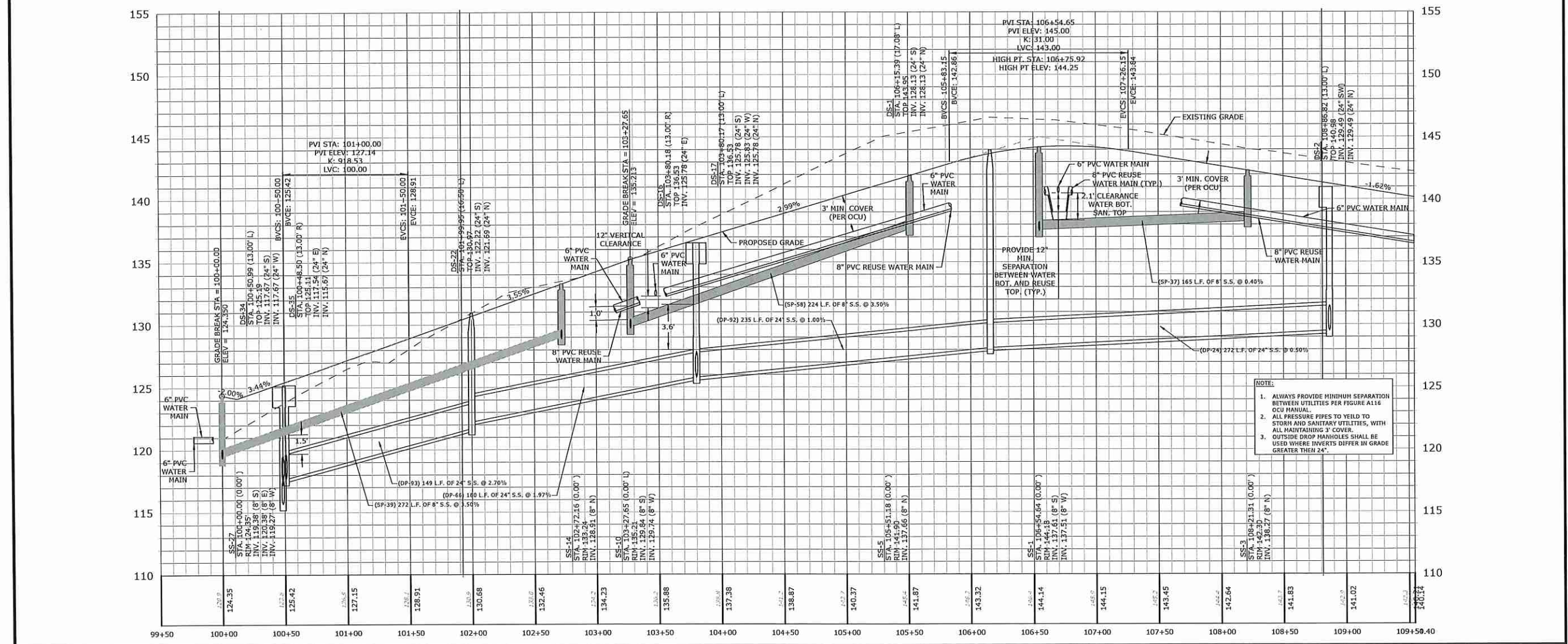
ID Number	Plan Sheet #	Easting	Northing	Elevation	Main Type	Fitting Type	Comments
WRL-1	7.3				Water Meter		
WRL-2	7.3				Water Meter		
WRL-3	7.3				Water Meter		
WRL-4	7.3				Water Meter		
WRL-5	7.3				Water Meter		
WRL-6	7.3				Water Meter		
WRL-7	7.3				Water Meter		
WRL-8	7.3				Water Meter		
WRL-9	7.3				Water Meter		
WRL-10	7.3				Water Meter		
WRL-11	7.3				Water Meter		
WRL-12	7.3				Water Meter		
WRL-13	7.3				Water Meter		
WRL-14	7.3				Water Meter		
WRL-15	7.3				Water Meter		
WRL-16	7.1				Water Meter		
WRL-17	7.1				Water Meter		
WRL-18	7.1				Water Meter		
WRL-19	7.1				Water Meter		
WRL-20	7.1				Water Meter		
WRL-21	7.1				Water Meter		
WRL-22	7.1				Water Meter		
WRL-23	7.1				Water Meter		
WRL-24	7.1				Water Meter		
WRL-25	7.1				Water Meter		
WRL-26	7.1				Water Meter		
WRL-27	7.1				Water Meter		
WRL-28	7.1				Water Meter		
WRL-29	7.1				Water Meter		
WRL-30	7.1				Water Meter		
WRL-31	7.1				Water Meter		
WRL-32	7.1				Water Meter		
WRL-33	7.1				Water Meter		
WRL-34	7.1				Water Meter		
WRL-35	7.1				Water Meter		
WRL-36	7.1				Water Meter		
WRL-37	7.1				Water Meter		
WRL-38	7.1				Water Meter		
WRL-39	7.1				Water Meter		
WRL-40	7.3				Water Meter		
WRL-41	7.3				Water Meter		
WRL-42	7.3				Water Meter		
WRL-43	7.3				Water Meter		
WRL-44	7.3				Water Meter		
WRL-45	7.3				Water Meter		
WRL-46	7.3				Water Meter		
WRL-47	7.3				Water Meter		
WRL-48	7.3				Water Meter		
WRL-49	7.3				Water Meter		
WRL-50	7.3				Water Meter		
WRL-51	7.3				Water Meter		
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WRL-70	7.2				Water Meter		
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WRL-114	7.4				Water Meter		
WRL-115	7.4				Water Meter		
WRL-116	7.4				Water Meter		
WRL-117	7.4				Water Meter		
WRL-118	7.4				Water Meter		
WRL-119	7.4				Water Meter		
WRL-120	7.3				Water Meter		

WATER METERS
WRL = WATER METER-RESIDENTIAL LOT
-100 = LOT NUMBER

ID Number	Plan Sheet #	Easting	Northing	Elevation	Main Type	Fitting Type	Comments
WTH-1	7.5				Water Meter		
WTH-2	7.5				Water Meter		
WTH-3	7.5				Water Meter		
WTH-4	7.5				Water Meter		
WTH-5	7.5				Water Meter		
WTH-6	7.5				Water Meter		
WTH-7	7.5				Water Meter		
WTH-8	7.5				Water Meter		
WTH-9	7.5				Water Meter		
WTH-10	7.5				Water Meter		
WTH-11	7.5				Water Meter		
WTH-12	7.5				Water Meter		
WTH-13	7.5				Water		



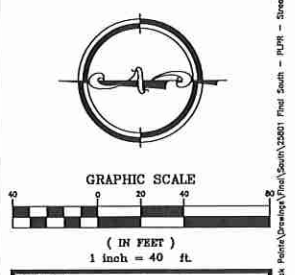
OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PLAN AND PROFILE
 RORY OAK CIRCLE



- NOTE:**
1. ALWAYS PROVIDE MINIMUM SEPARATION BETWEEN UTILITIES PER FIGURE A116 OCC MANUAL.
 2. ALL PRESSURE PIPES TO YIELD TO STORM AND SANITARY UTILITIES, WITH ALL MAINTAINING 3' COVER.
 3. OUTSIDE DROP MANHOLES SHALL BE USED WHERE INVERTS DIFFER IN GRADE GREATER THAN 24\".

DATE	NO.	REVISIONS	BY
		DETAIL	

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801

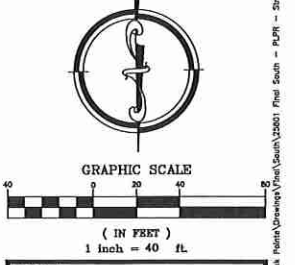


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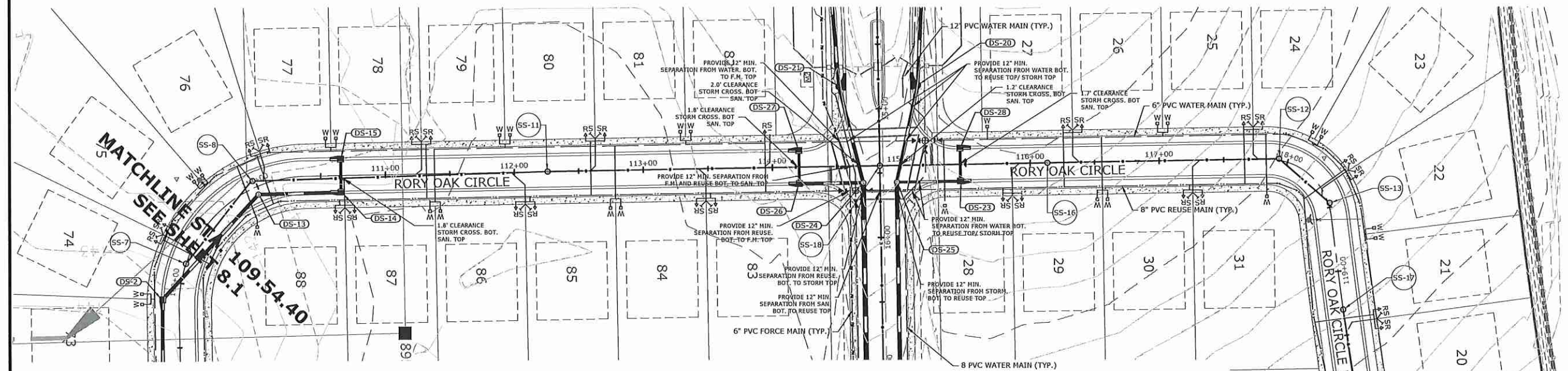
OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
PLAN AND PROFILE
RORY OAK CIRCLE

REVISIONS	DATE	NO.	DETAIL	BY

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801

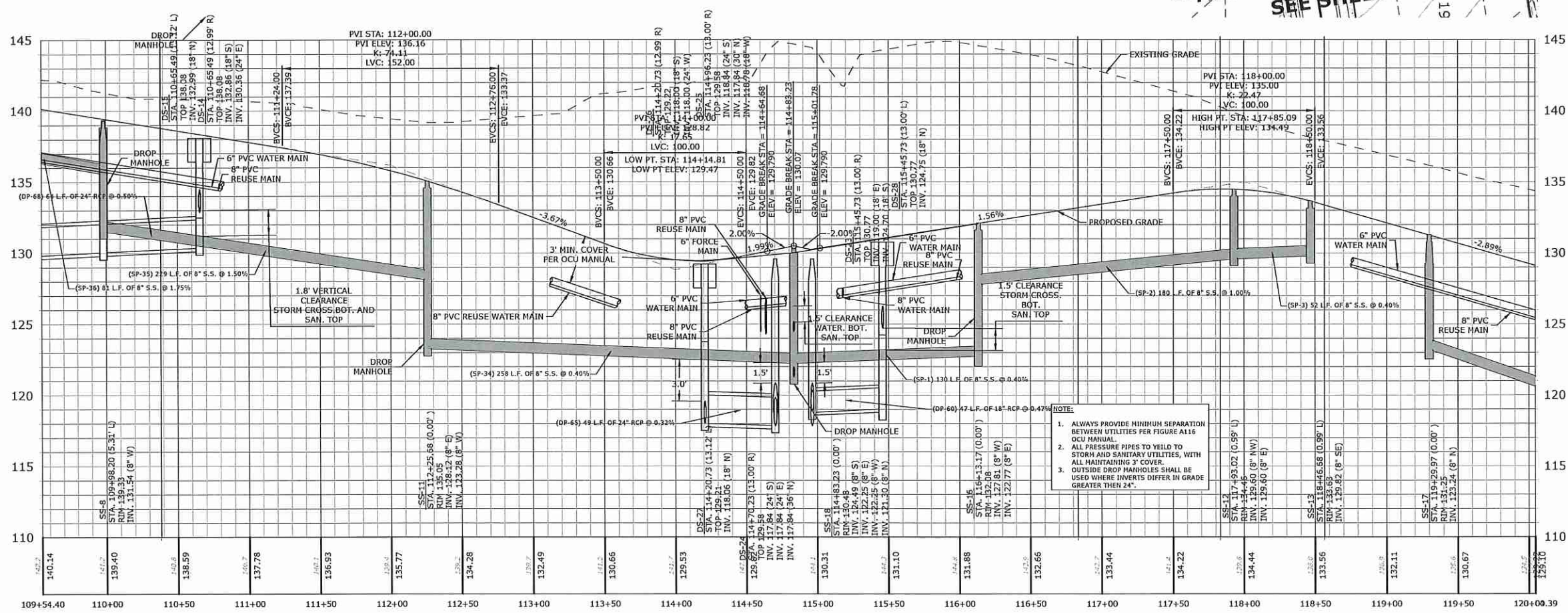


SHEET #:
8.2



PROFILE VIEW: STREET A B & G (1)
 VERTICAL SCALE: 1" = 4' (10x)

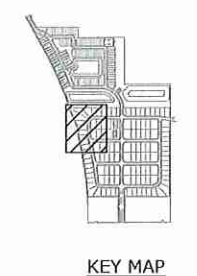
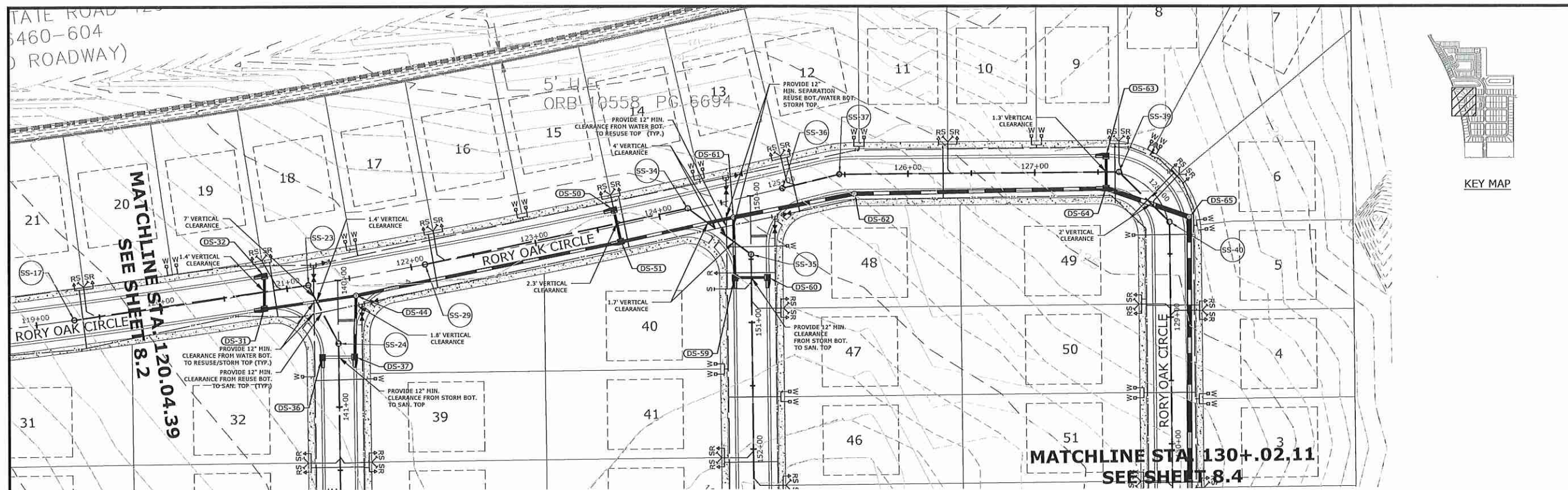
MATCHLINE STA. 120.04.39
 SEE SHEET 8.3



- NOTE:
1. ALWAYS PROVIDE MINIMUM SEPARATION BETWEEN UTILITIES PER FIGURE A116 OCU MANUAL.
 2. ALL PRESSURE PIPES TO YIELD TO STORM AND SANITARY UTILITIES, WITH ALL MAINTAINING 3' COVER.
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Street A and B and G





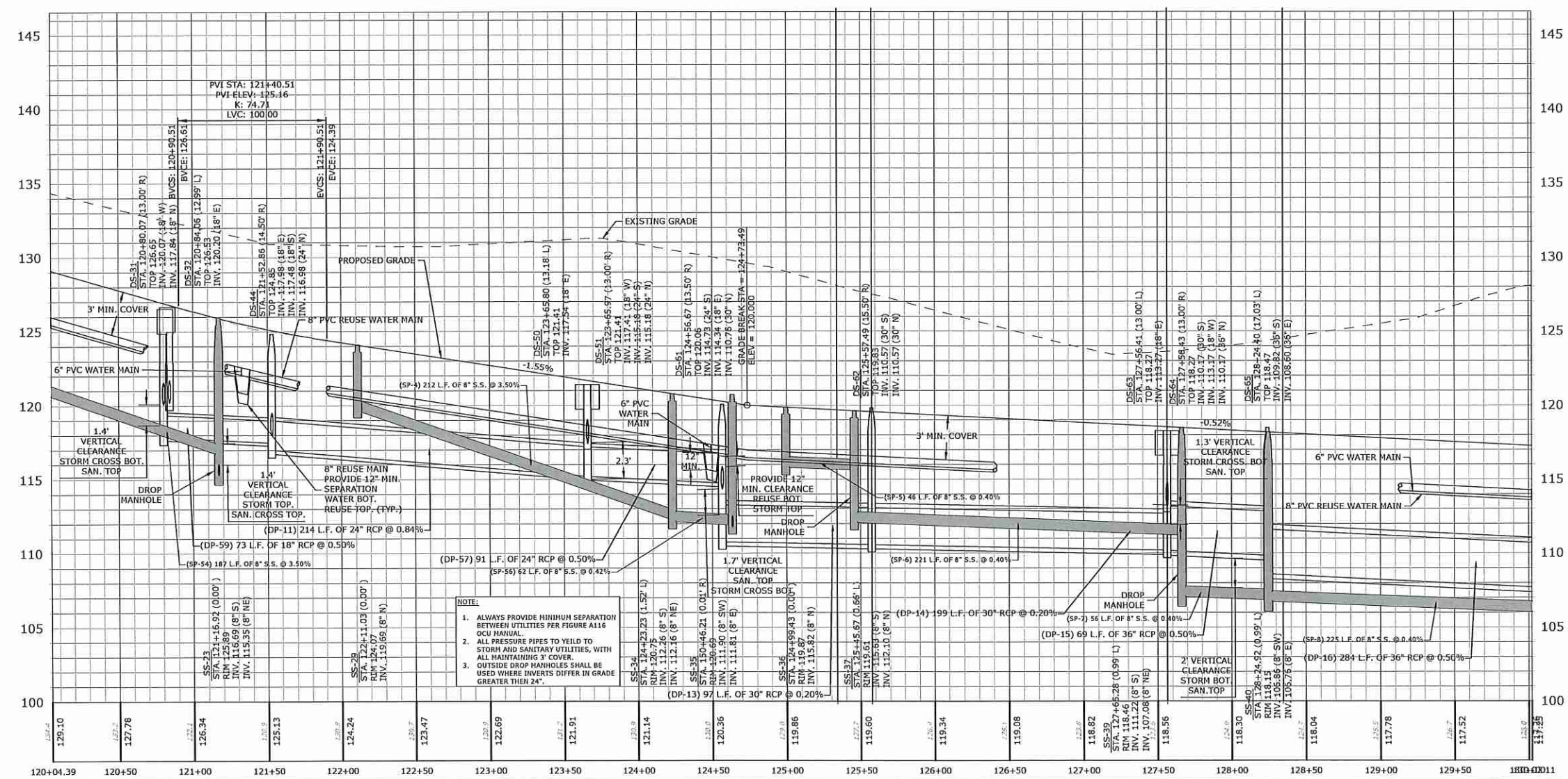
EVANS ENGINEERING, INC.
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 (407) 872-1515
 www.evansenginc.com
 CERTIFICATE OF AUTHORIZATION NO. 00006788

EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788

DAVID L. EVANS
 FLORIDA P.E. NO. 46586

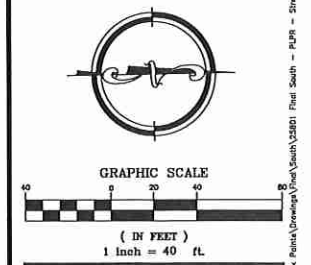
DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PLAN AND PROFILE
 RORY OAK CIRCLE



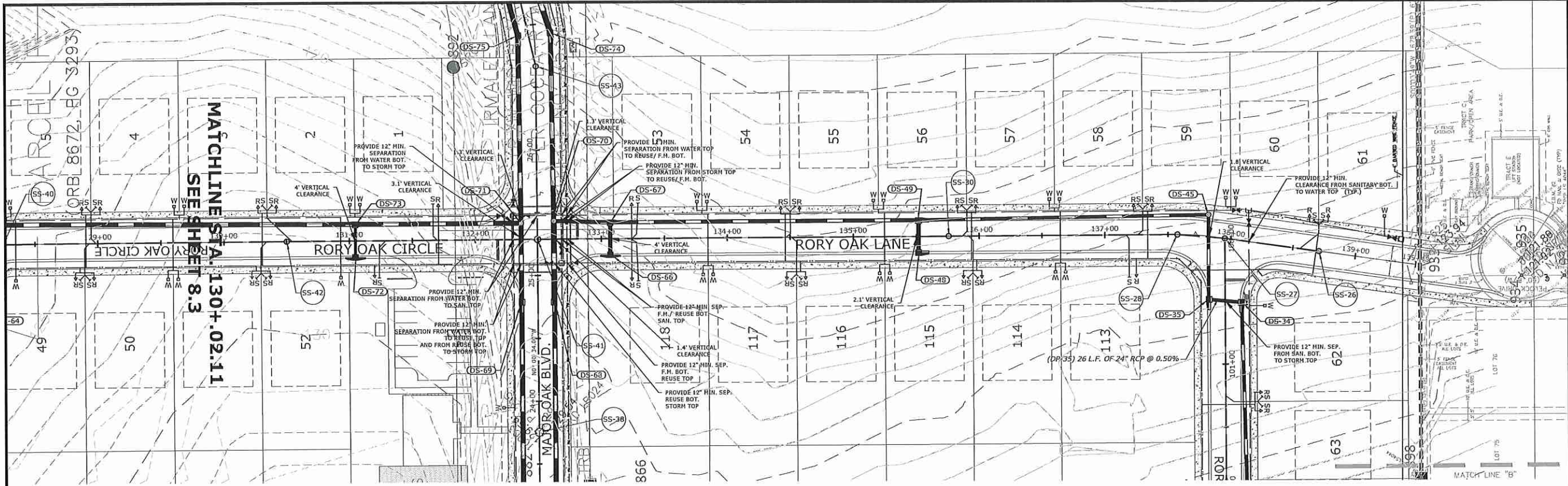
DATE	NO.	REVISIONS	BY
		DETAIL	

DRAWN BY: JSK
 CHECKED BY: DLE
 DATE: MAR, 2018
 JOB #: 25801

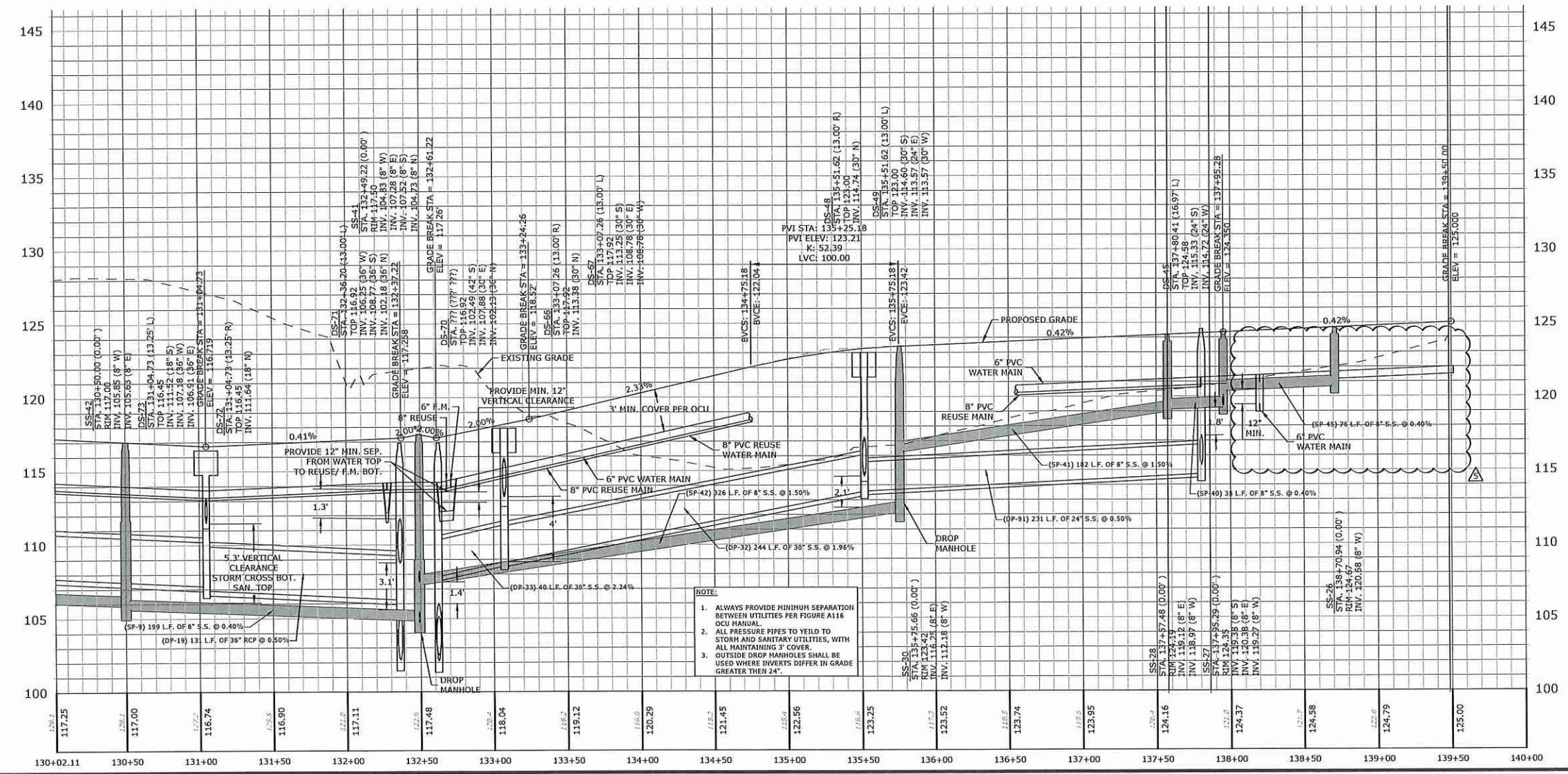


SHEET #: **8.3**

2:00pm/25801 - Oak Pointe/Orange/Vue/25801 Final South - RORY - Sheet A and B and E&G (02) Plotted on: Sep 18, 2018 - 8:06am by James



KEY MAP



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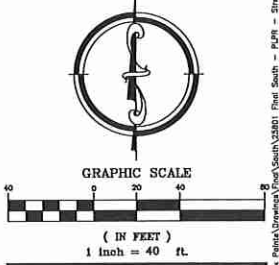
DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PLAN AND PROFILE
 RORY OAK CIRCLE' AND RORY OAK LANE

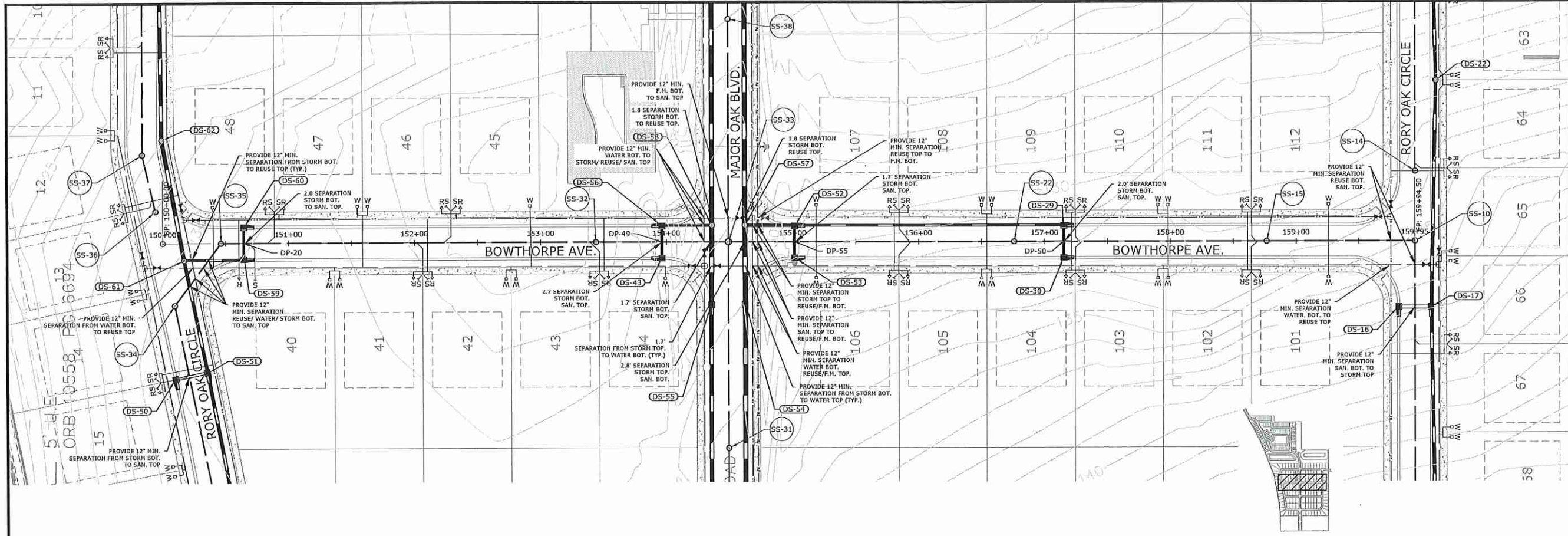
DATE	NO.	REVISIONS	BY
9-7-18	1	CCU 156-E-53 UTILITIES REVIEW	CA
	2	DATED 8-29-18	

DRAWN BY: JSK
 CHECKED BY: DLE
 DATE: MAR, 2018
 JOB #: 25801



SHEET #:
8.4

2:\Users\j25801 - Oak Pointe\Drawings\Plan\South\156101 Final South - Rory Oak Circle and Rory Oak Lane.dwg (PLN) - Sheet 8.4 of 8.dwg (DWG) (Plotter set: Sep 18, 2018 - 8:58am by j25801)



KEY MAP

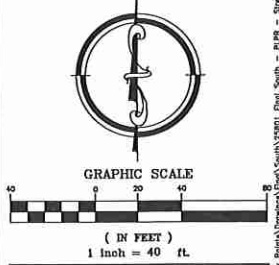
EVANS ENGINEERING, INC.
 CIVIL ENGINEERING LAND PLANNING PERMITTING SERVICES
 719 IRMA AVENUE
 ORLANDO, FLORIDA 32803
 (407) 872-1515
 www.evansengr.com
 CERTIFICATE OF AUTHORIZATION NO. 00009788

EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788
 DAVID L. EVANS
 FLORIDA P.E. NO. 46586
 DATE:

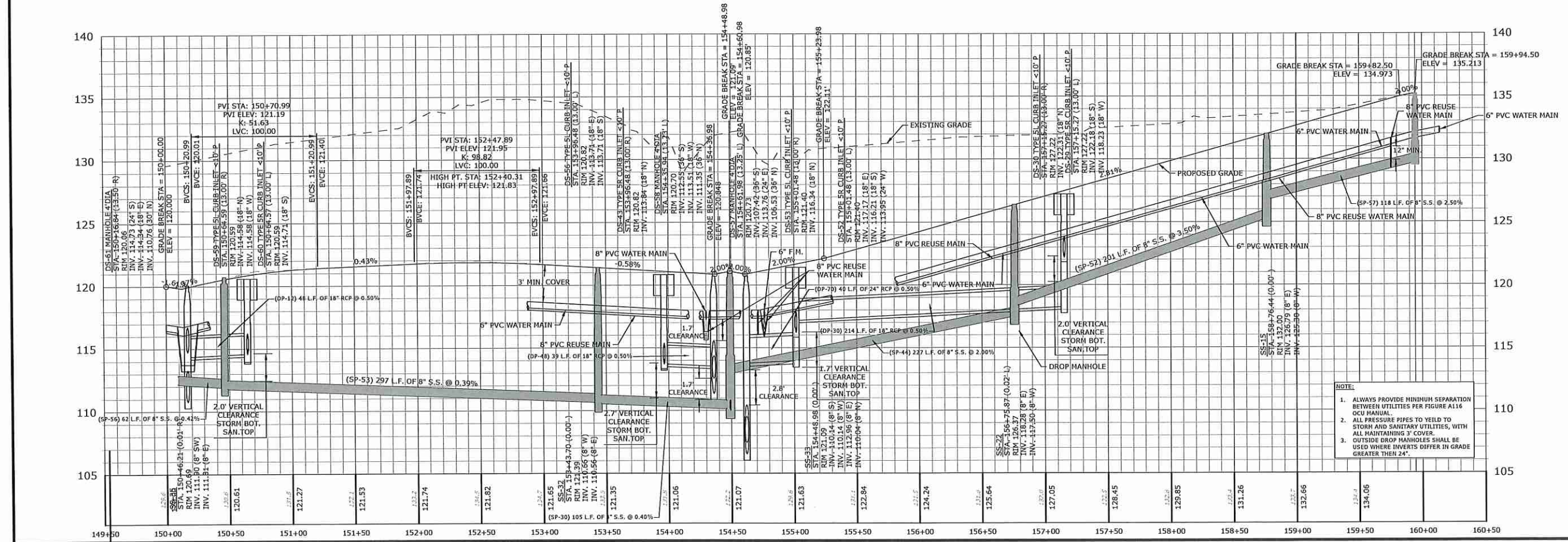
OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
PLAN AND PROFILE
BOWTHORPE AVENUE

REVISIONS	DATE	NO.	BY
DETAIL	9-7-18	1	CA
OCU 18-E-53 UTILITIES REVIEW	9-7-18	2	CA
DATED 8-9-18			

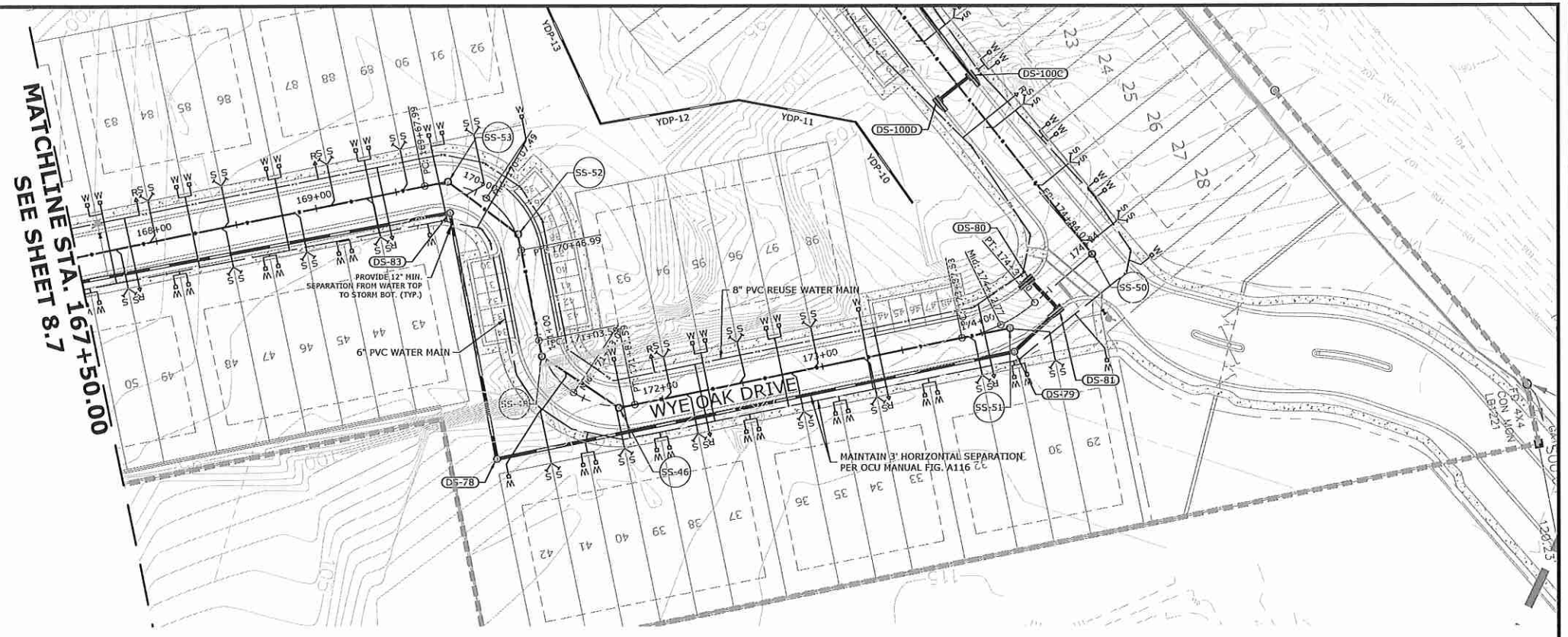
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 DATE: MAR, 2018
 JOB #: 25801



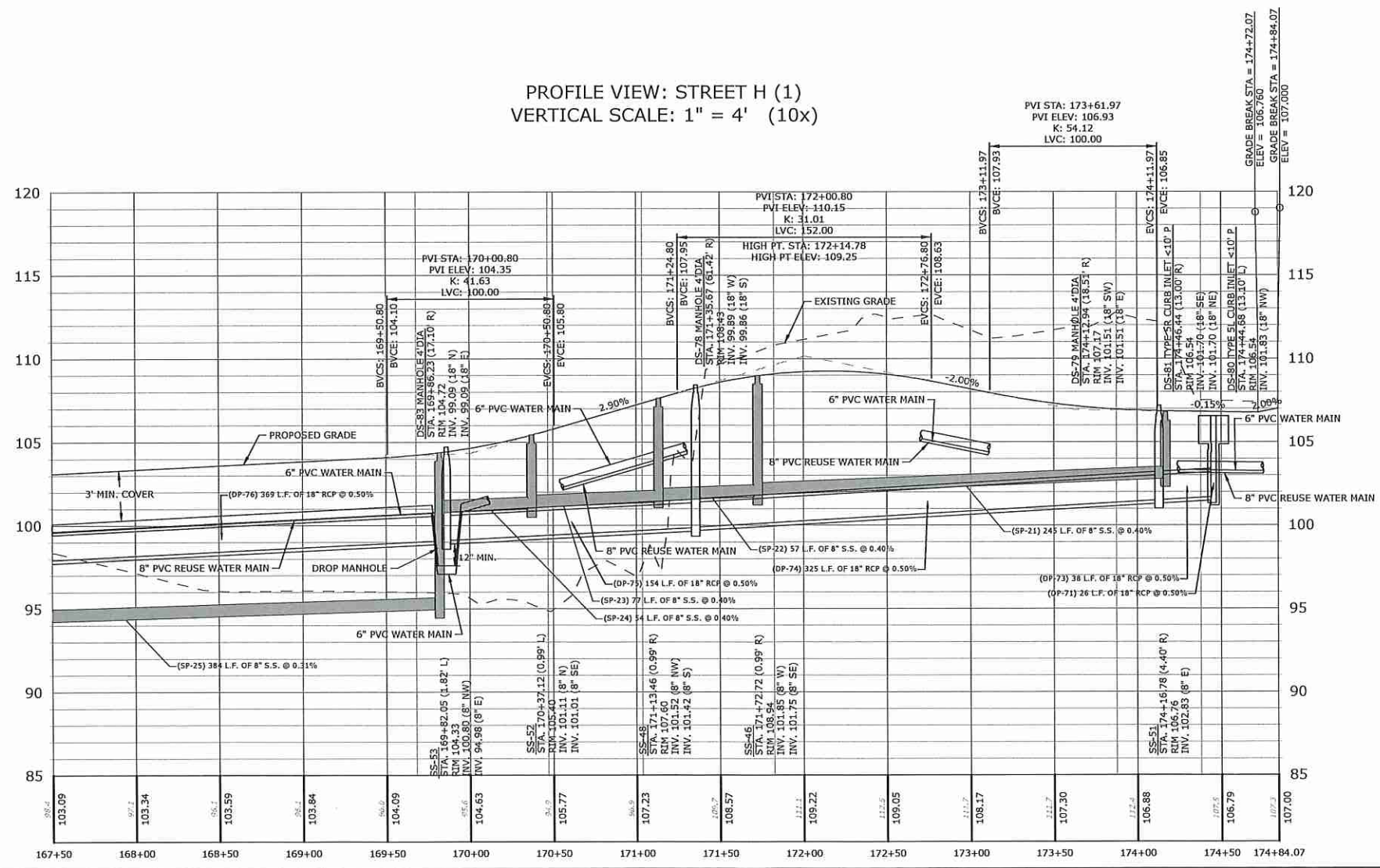
SHEET #:
8.6



NOTE:
 1. ALWAYS PROVIDE MINIMUM SEPARATION BETWEEN UTILITIES PER FIGURE A116 OCU MANUAL.
 2. ALL PRESSURE PIPES TO YIELD TO STORM AND SANITARY UTILITIES, WITH ALL MAINTAINING 3' COVER.
 3. OUTSIDE DROP MANHOLES SHALL BE USED WHERE INVERTS DIFFER IN GRADE GREATER THAN 24\"



PROFILE VIEW: STREET H (1)
VERTICAL SCALE: 1" = 4' (10x)



NOTE:
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CERTIFICATE OF AUTHORIZATION NO. 6788

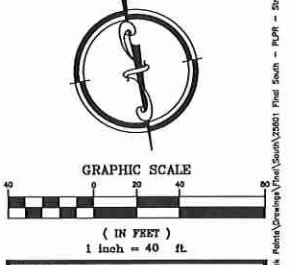
DAVID L. EVANS
FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
CITY OF APOPKA, FLORIDA
PLAN AND PROFILE
WYE OAK DRIVE

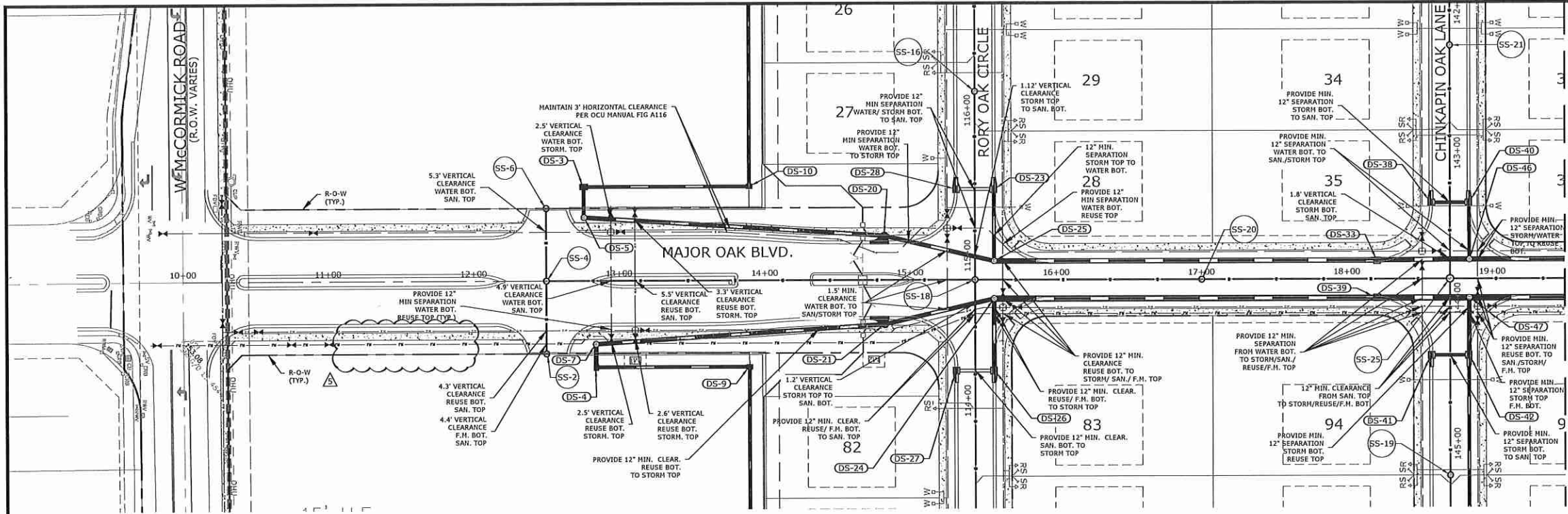
DATE	NO.	REVISIONS	BY
		DETAIL	

DRAWN BY: JSK DATE: MAR, 2018
CHECKED BY: DLE JOB #: 25801

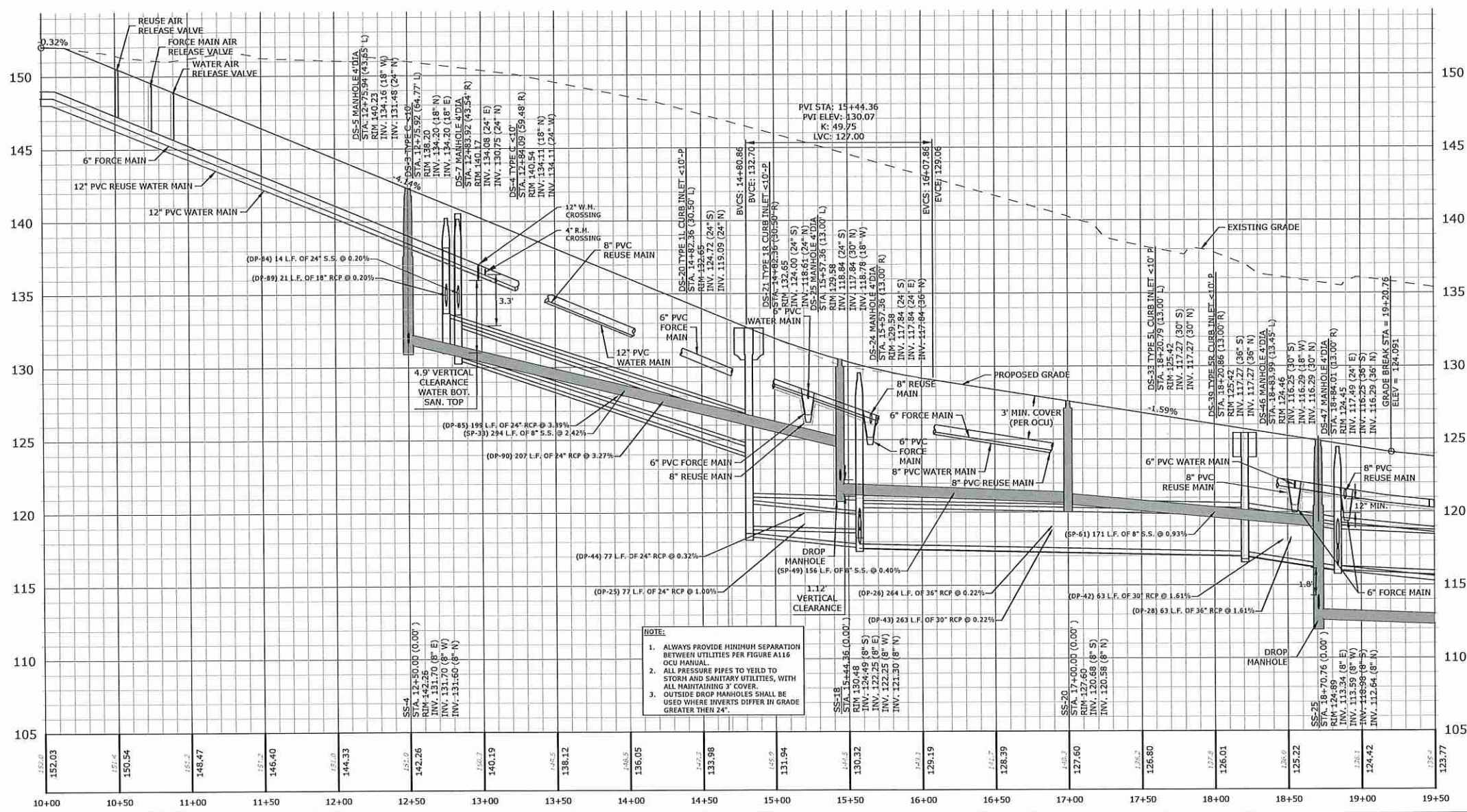


SHEET #:
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MATCHLINE STA. 19+50.00
SEE SHEET 8.10



NOTE:
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EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788

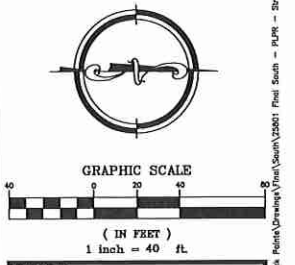
DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE: _____

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PLAN AND PROFILE
 MAJOR OAK BLVD.

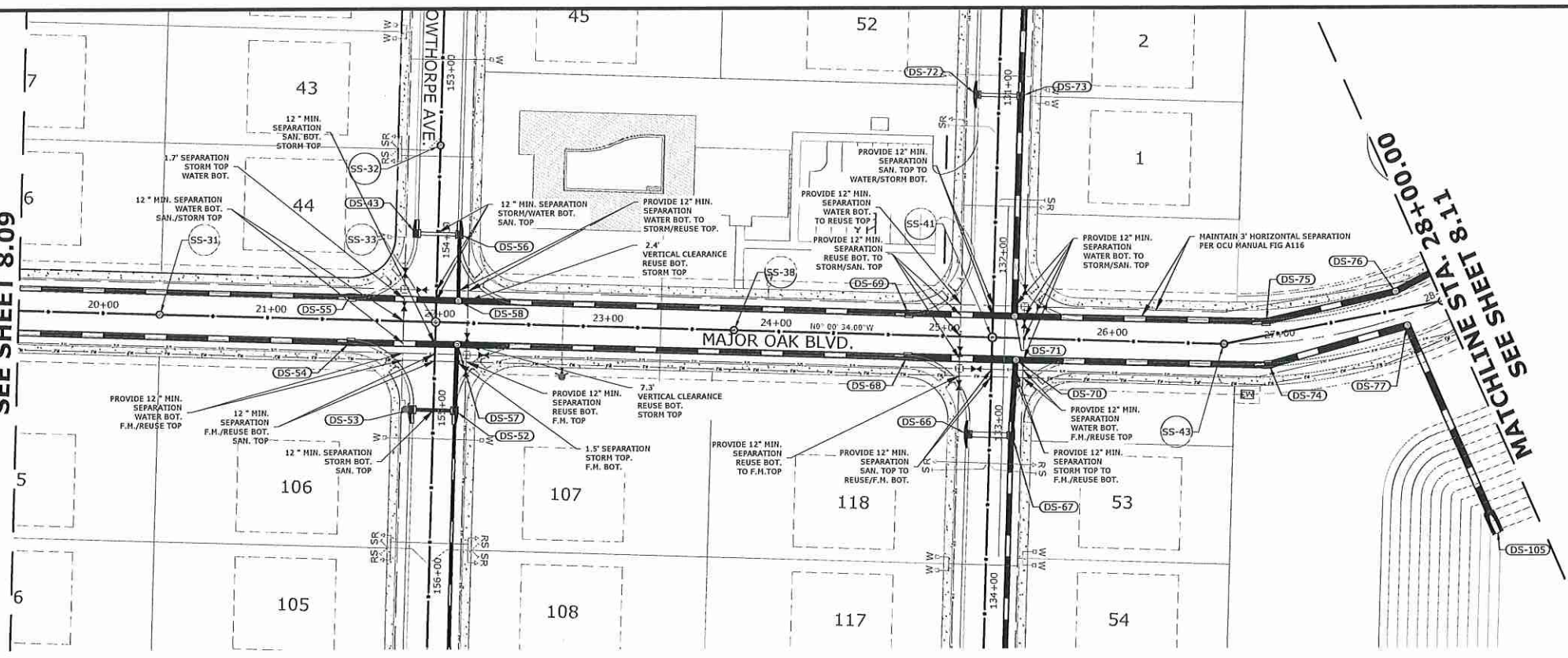
DATE	NO.	REVISIONS	BY
9-7-18	1	OCU 15E-50 UTILITIES REVIEW	CA
	2	DATED 8-29-18	

DRAWN BY: JSK
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 DATE: MAR, 2018
 JOB #: 25801

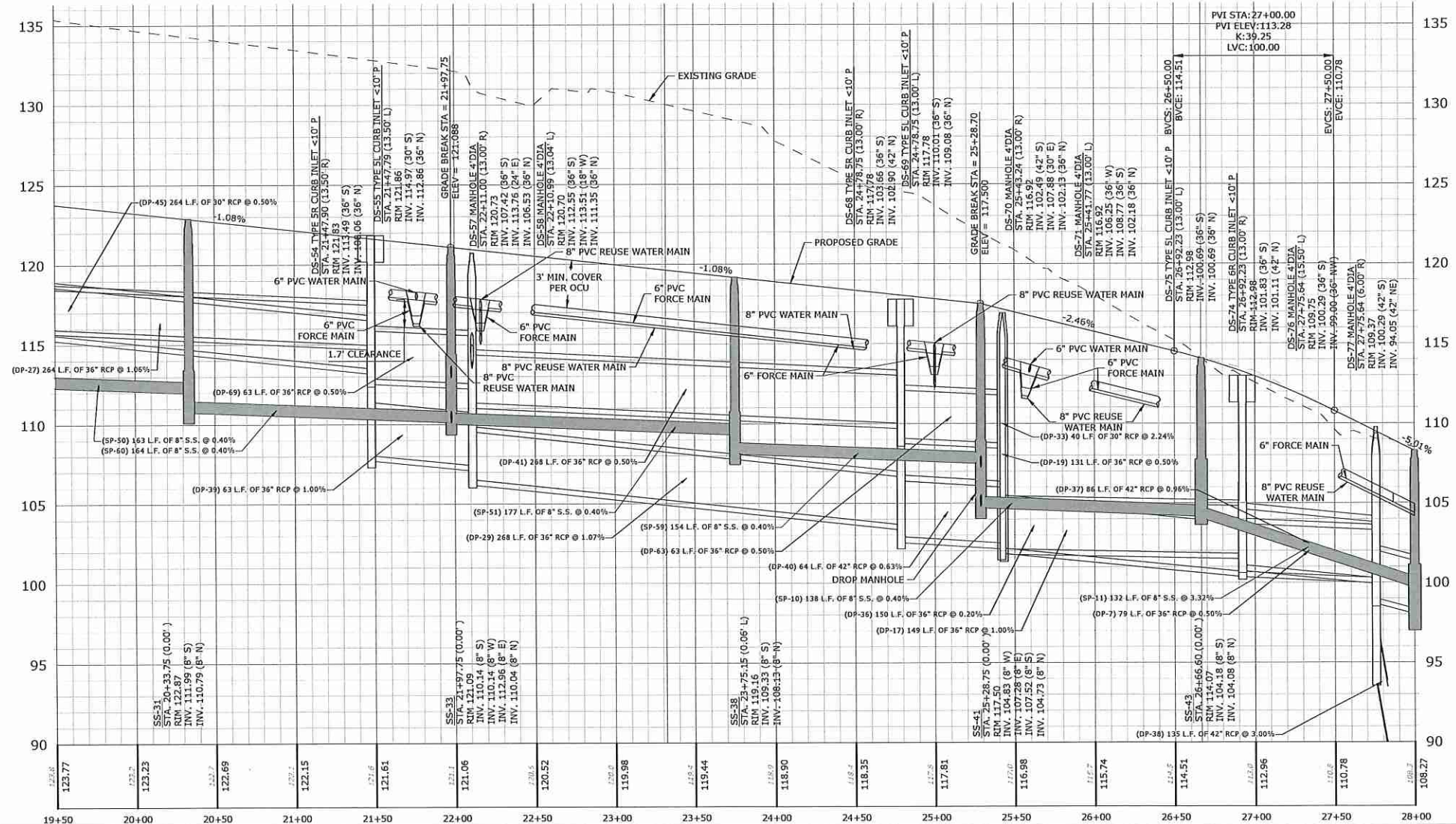


SHEET #
8.9

MATCHLINE STA. 19+50.00
SEE SHEET 8.09



SEE SHEET 8.11
MATCHLINE STA. 28+00.00



KEY MAP

- NOTE:
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EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788

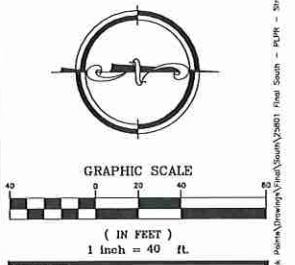
DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PLAN AND PROFILE
 MAJOR OAK BLVD.

REVISIONS	DATE	NO.	DETAIL	BY

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801

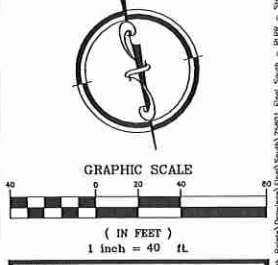


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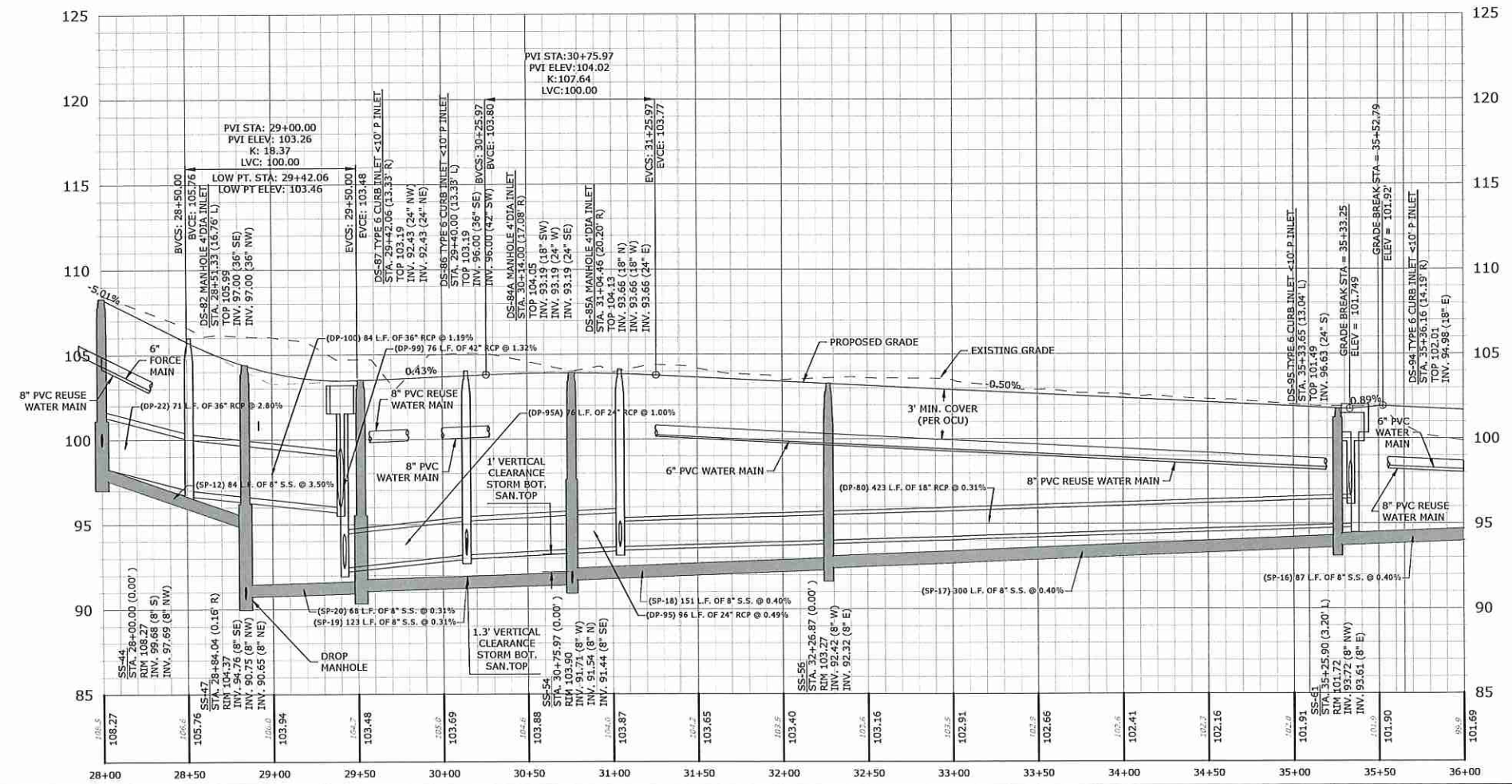
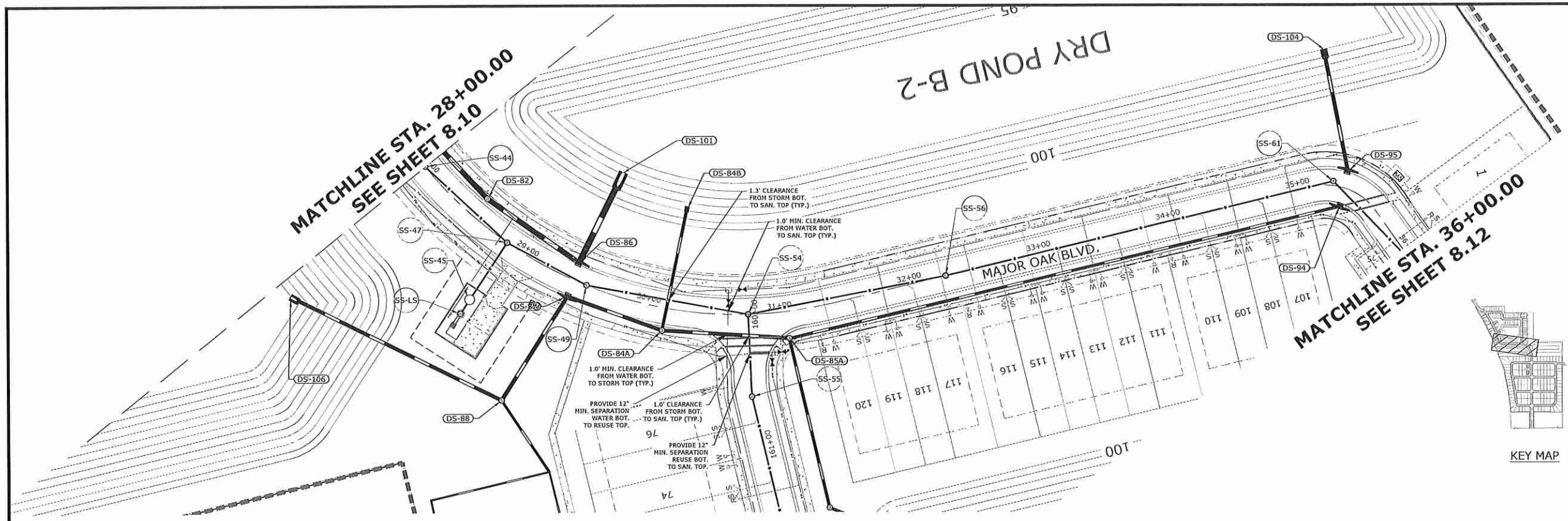
OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PLAN AND PROFILE
 MAJOR OAK BLVD.

DATE	NO.	REVISIONS	BY
		DETAIL	

DRAWN BY:	DATE:
JSK	MAR, 2018
CHECKED BY:	JOB #:
DLE	25801



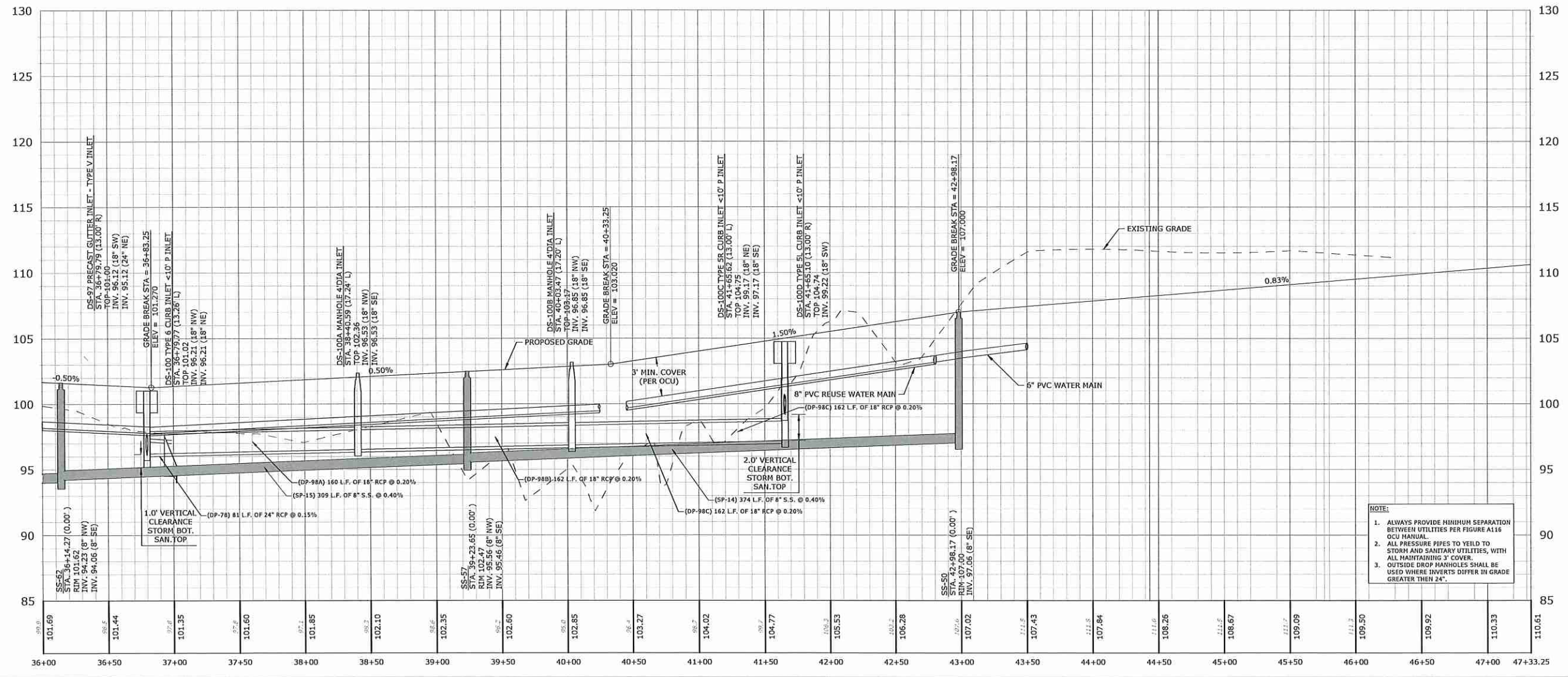
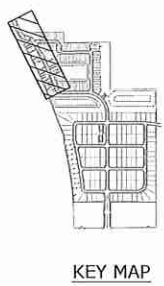
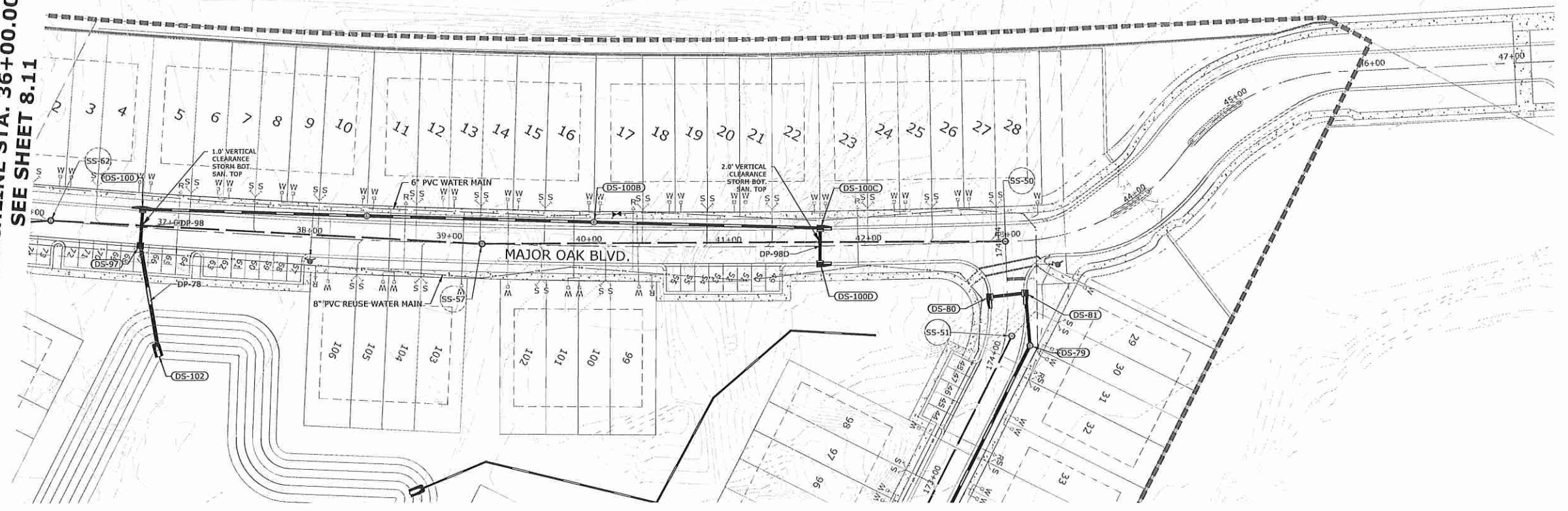
SHEET #:
8.11



NOTE:
 1. ALWAYS PROVIDE MINIMUM SEPARATION BETWEEN UTILITIES PER FIGURE A116 OCM MANUAL.
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 3. OUTSIDE DROP MANHOLES SHALL BE USED WHERE INVERTS DIFFER IN GRADE GREATER THAN 24".

A:\CDR\32801 - Oak Pointe\Drawings\Final\Sheet\25801 Final Sheet - 1.dwg - Sheet 1.dwg (DWG) Printed on: Sep 10, 2018 - 2:23pm by John

MATCHLINE STA. 36+00.00
SEE SHEET 8.11



NOTE:
 1. ALWAYS PROVIDE MINIMUM SEPARATION BETWEEN UTILITIES PER FIGURE A116 OCU MANUAL
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EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788

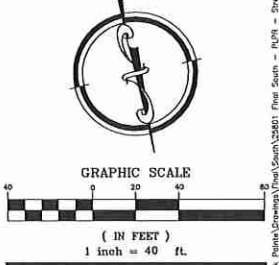
DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PLAN AND PROFILE
 MAJOR OAK BLVD.

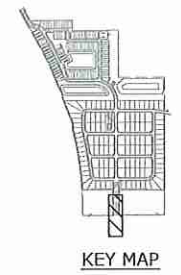
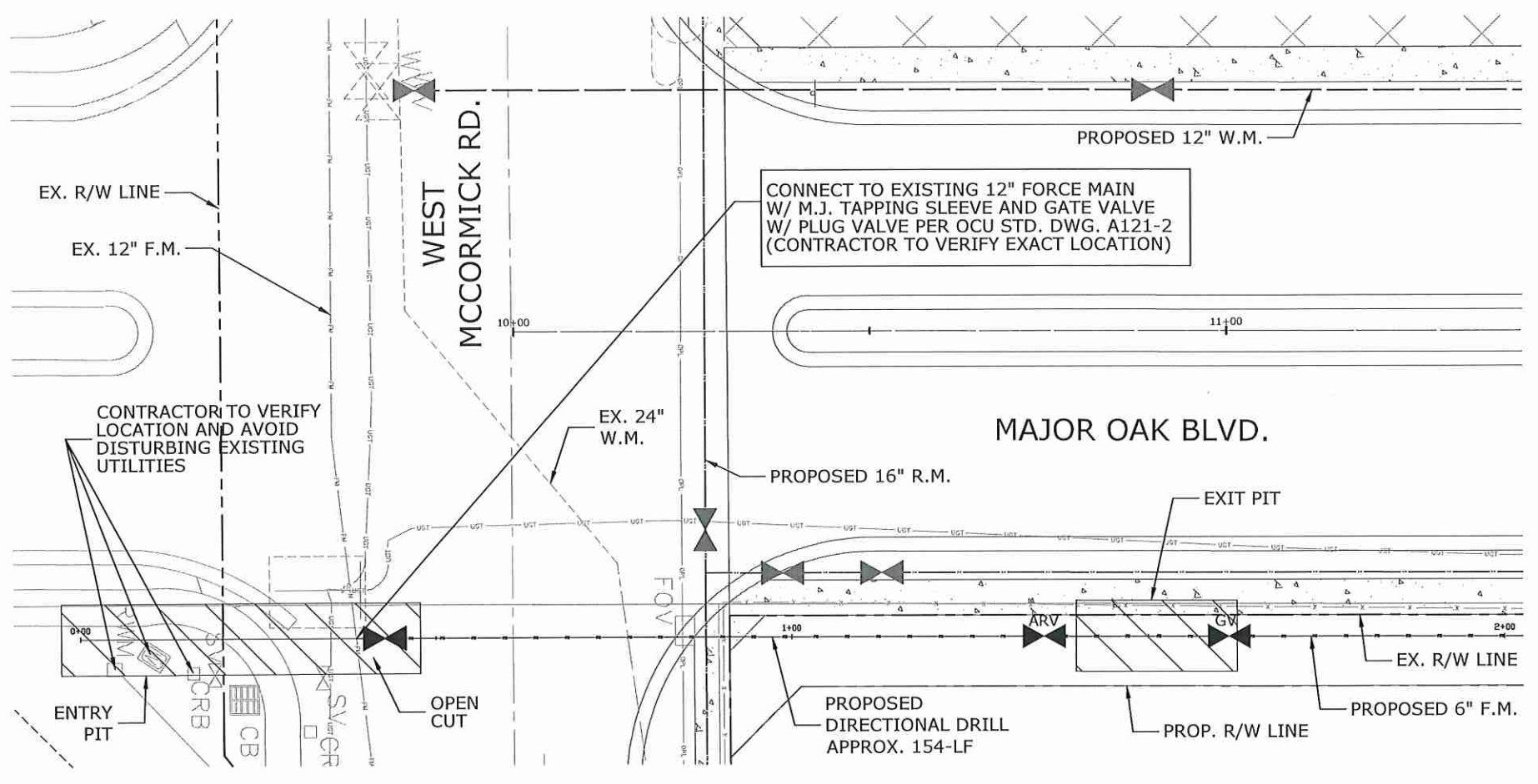
DATE	NO.	DETAIL	BY

DRAWN BY: JSK
 CHECKED BY: DLE
 DATE: MAR, 2018
 JOB #: 25801



SHEET #
8.12

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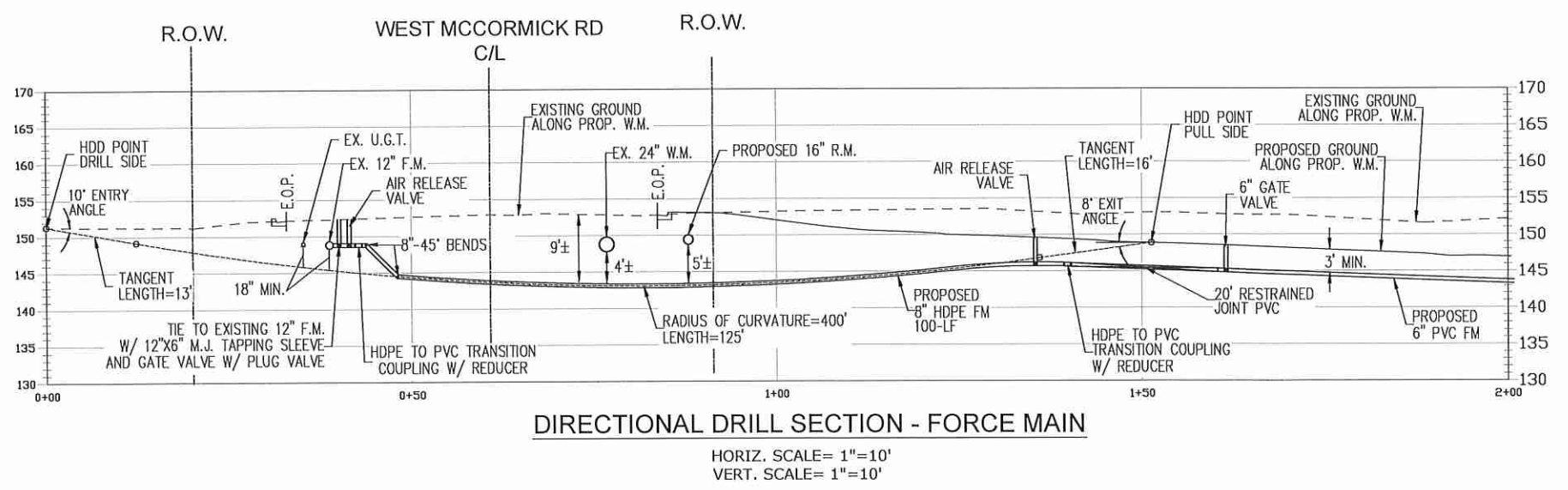


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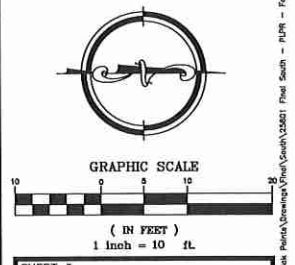
- NOTE:
1. THE ANGLE OF ENTRY SHALL NOT EXCEED 15° AND SHALL NOT EXCEED THE MANUFACTURERS RECOMMENDATIONS ON DEFLECTION, ANGLE, OR RADIUS OF CURVATURE.
 2. EXIT ANGLE SHALL BE BETWEEN 6 TO 12 DEGREES TO FACILITATE PULLBACK, AND SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS ON DEFLECTION, ANGLE, OR RADIUS OF CURVATURE.
 3. COMPOUND CURVATURES MAY BE USED, BUT SHALL NOT EXCEED THE MAXIMUM DEFLECTIONS, AS SET FORTH BY THE PIPE MANUFACTURER OR AWWA STANDARDS, WHICH EVER IS MORE STRINGENT.
 4. THE MINIMUM RADIUS SHALL COMPLY WITH OCU SPECIFICATIONS MANUAL TABLE 3115-2. (OCU MANUAL SECTION 3115, PART 3)
 5. LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR AND MAINTAIN 18" MINIMUM VERTICAL SEPARATION.
 6. HDPE TO CONFORM TO THE FOLLOWING: AWWA C906, PRESSURE CLASS 200, DR 11, MATERIAL DESIGNATION PE 3408.
 7. AIR RELEASE VALVES TO BE PLACED AT HIGH POINTS.

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PLAN AND PROFILE
 FORCE MAIN CONNECTION



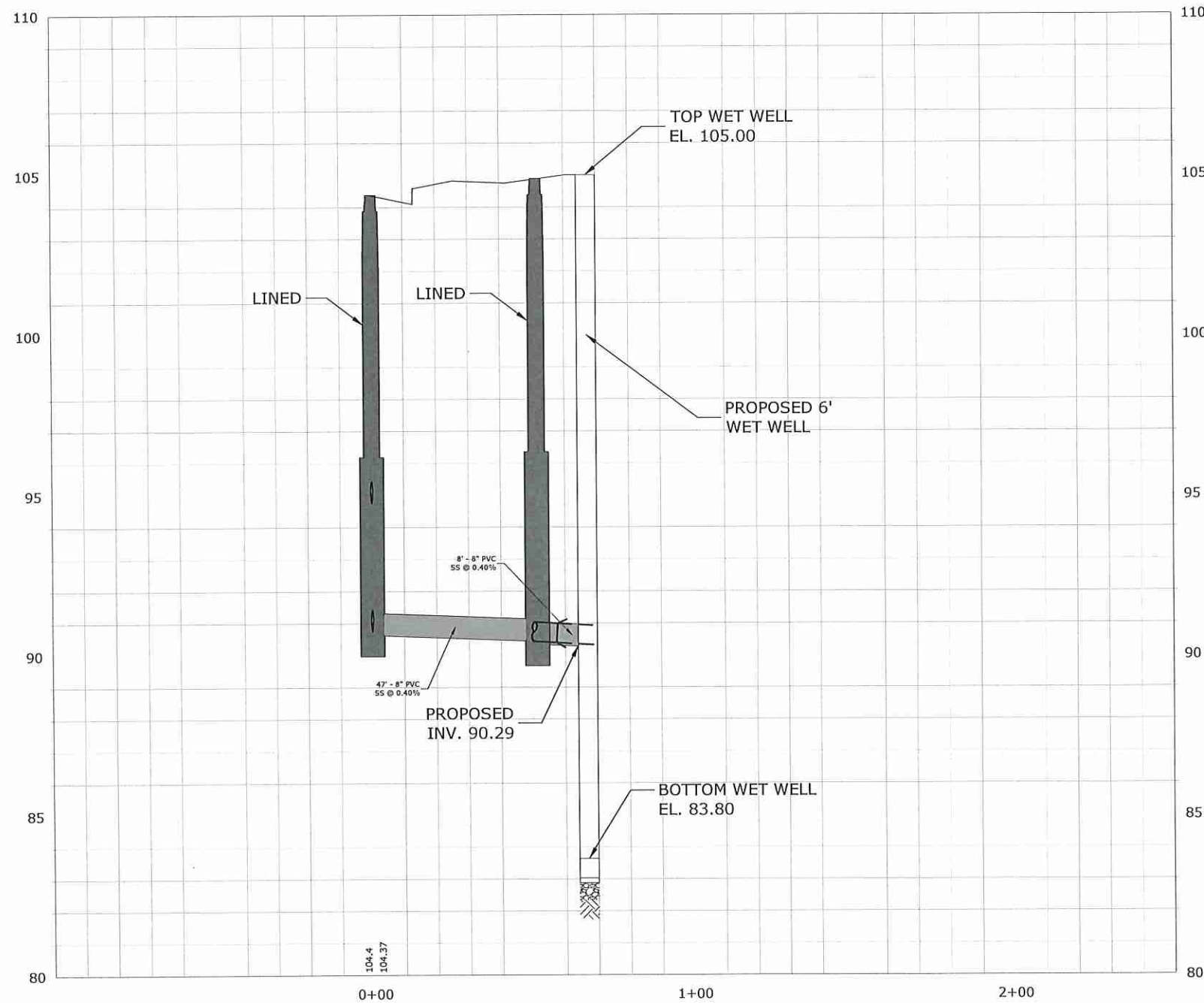
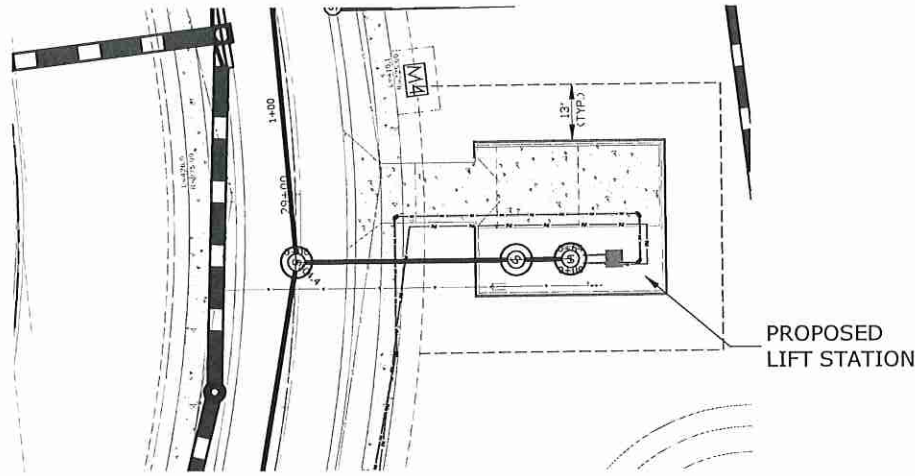
REVISIONS	DATE	NO.	BY	DETAIL
	7-16-18	1	JKS	OCU 18" E-53 UTILITIES REVIEW DATED 6-29-18

DRAWN BY: JKS
 CHECKED BY: DLE
 DATE: MAR, 2018
 JOB #: 25801



SHEET #
8.13

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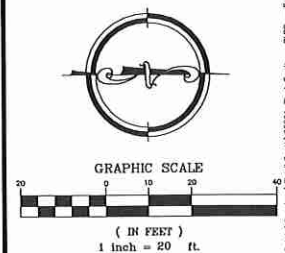
DAVID L. EVANS
FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
CITY OF APOPKA, FLORIDA
PLAN AND PROFILE
LIFT STATION PROFILE

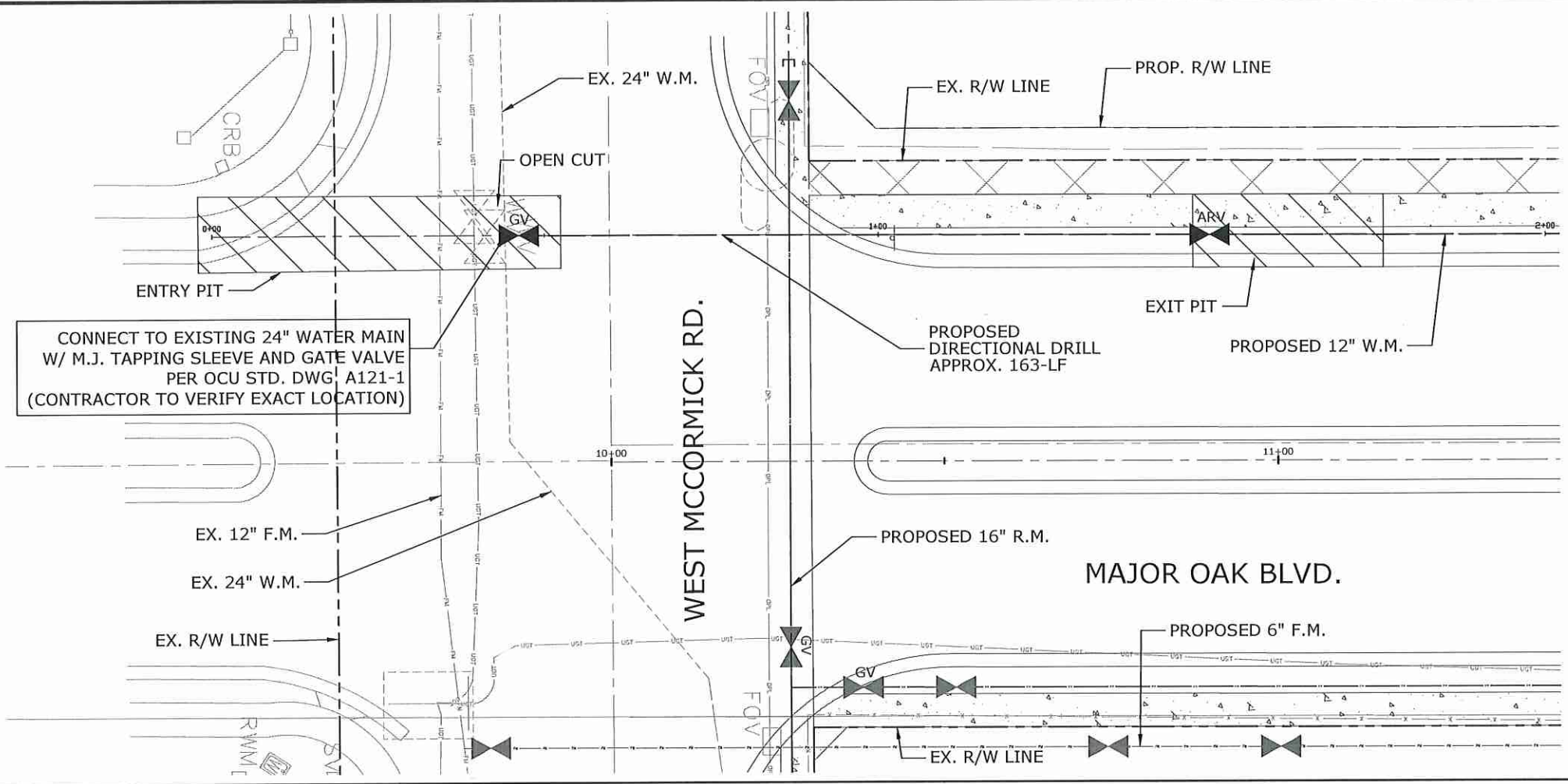
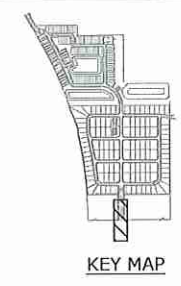
REVISIONS	DATE	NO.	DETAIL	BY
	7-16-18	1	OCU 18-E-53 UTILITIES REVIEW DATED 6-29-18	JSK

DRAWN BY: JSK	DATE: MAR, 2018
CHECKED BY: DLE	JOB #: 25801

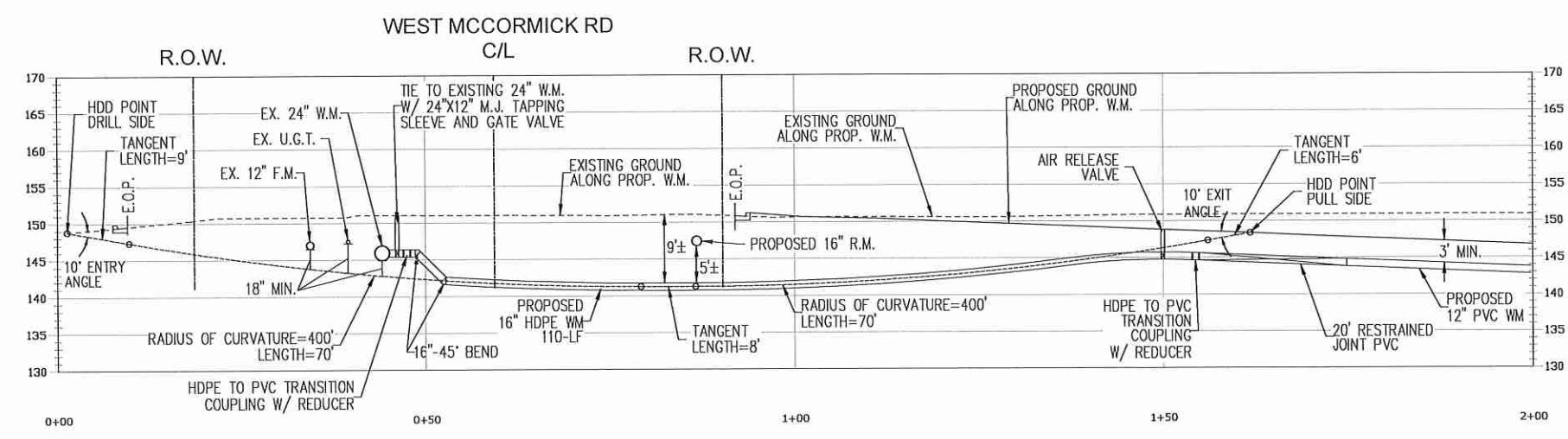


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- NOTE:
1. THE ANGLE OF ENTRY SHALL NOT EXCEED 15° AND SHALL NOT EXCEED THE MANUFACTURERS RECOMMENDATIONS ON DEFLECTION, ANGLE, OR RADIUS OF CURVATURE.
 2. EXIT ANGLE SHALL BE BETWEEN 6 TO 12 DEGREES TO FACILITATE PULLBACK, AND SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS ON DEFLECTION, ANGLE, OR RADIUS OF CURVATURE.
 3. COMPOUND CURVATURES MAY BE USED, BUT SHALL NOT EXCEED THE MAXIMUM DEFLECTIONS, AS SET FORTH BY THE PIPE MANUFACTURER OR AWWA STANDARDS, WHICH EVER IS MORE STRINGENT.
 4. THE MINIMUM RADIUS SHALL COMPLY WITH OCU SPECIFICATIONS MANUAL TABLE 3115-2. (OCU MANUAL SECTION 3115, PART 3)
 5. LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR AND MAINTAIN 18" MINIMUM VERTICAL SEPARATION.
 6. HDPE TO CONFORM TO THE FOLLOWING: AWWA C906, PRESSURE CLASS 200, DR 11, MATERIAL DESIGNATION PE 3408, NSF APPROVED FOR POTABLE WATER.
 7. AIR RELEASE VALVE TO BE PLACED AT HIGH POINT.

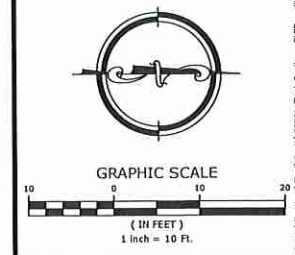


DIRECTIONAL DRILL SECTION - WATER MAIN
 HORIZ. SCALE= 1"=10'
 VERT. SCALE= 1"=10'

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PLAN AND PROFILE
 WATER MAIN CONNECTION

REVISIONS	DATE	NO.	DETAIL

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801

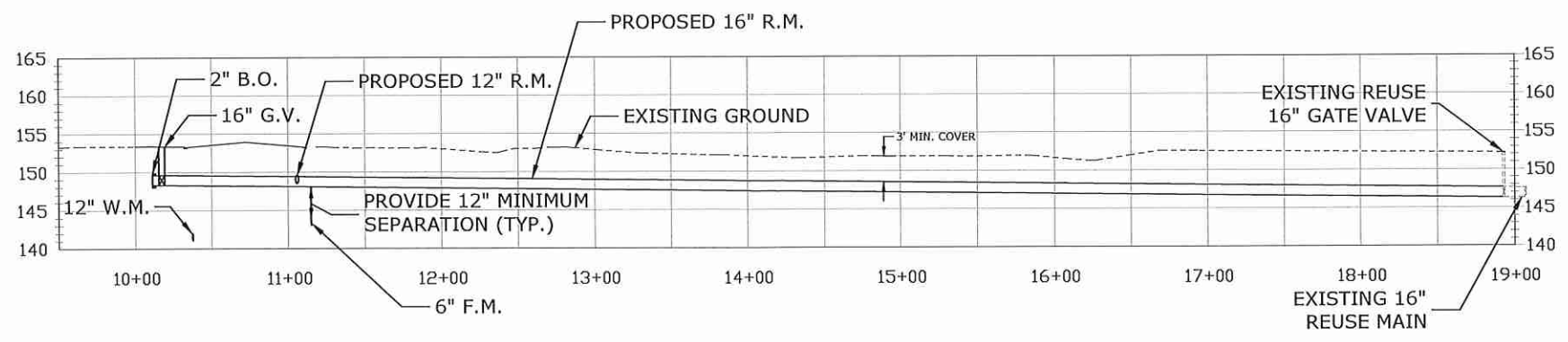
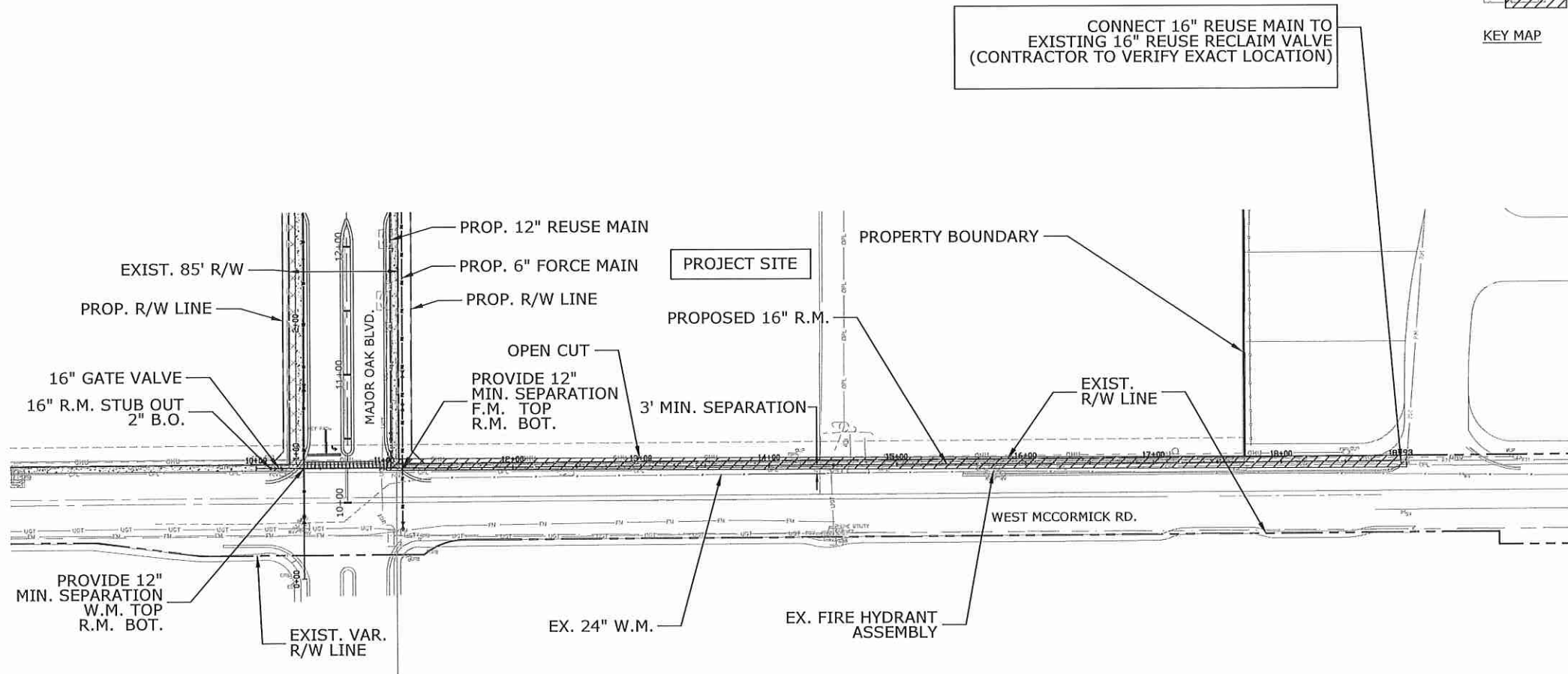


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KEY MAP

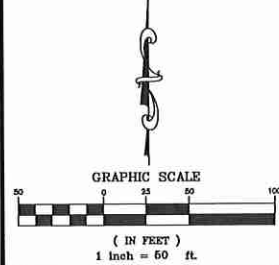


NOTE:
CONTRACTOR TO VERIFY EXACT LOCATION
OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
CITY OF APOPKA, FLORIDA
PLAN AND PROFILE
REUSE MAIN CONNECTION

REVISIONS	DATE	NO.	BY	DETAIL

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SHEET #:
8.16

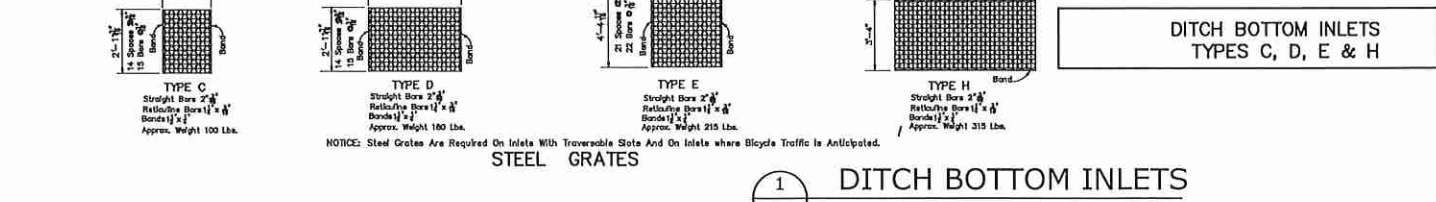
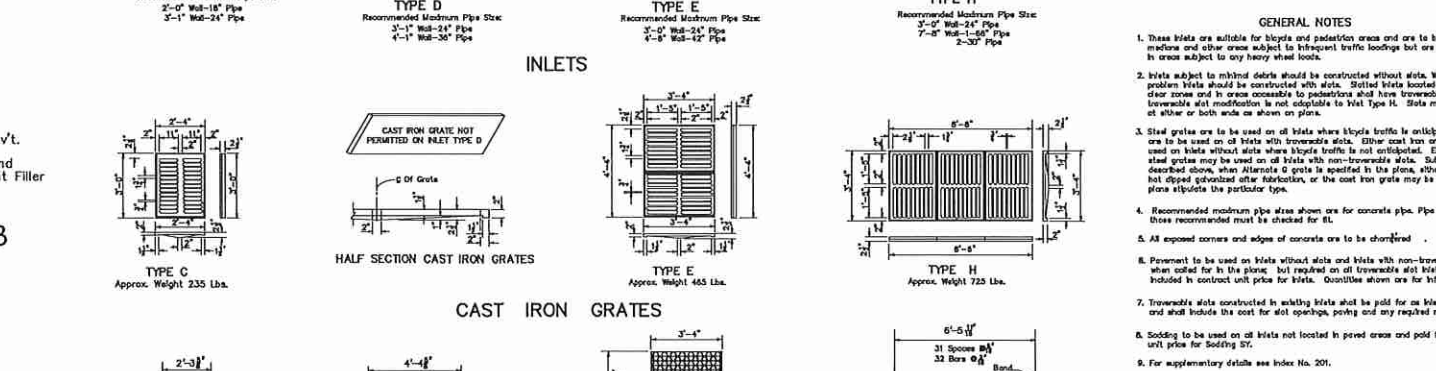
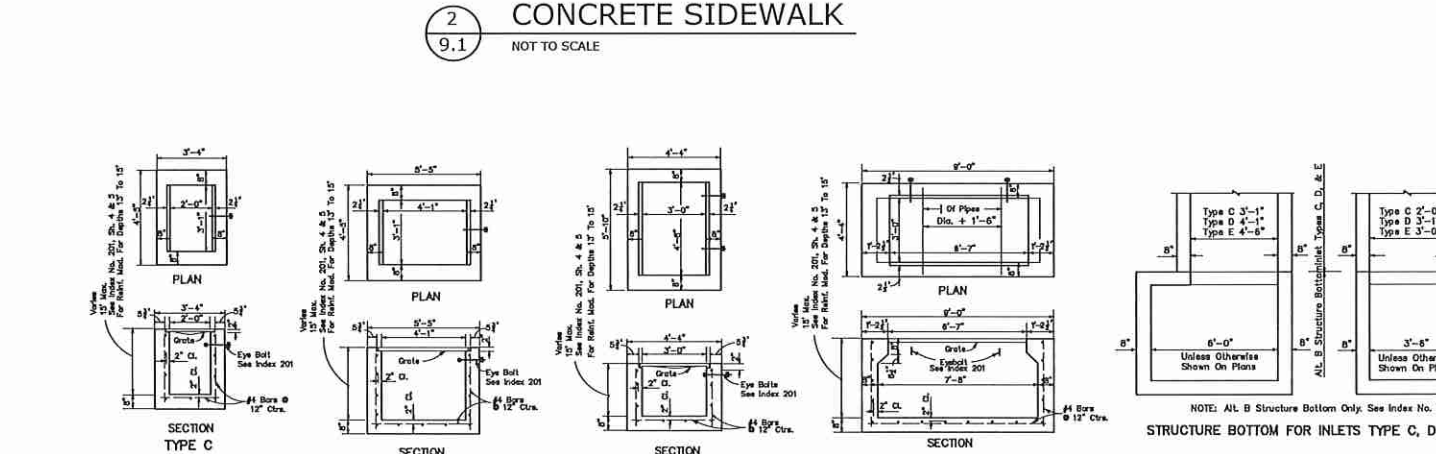
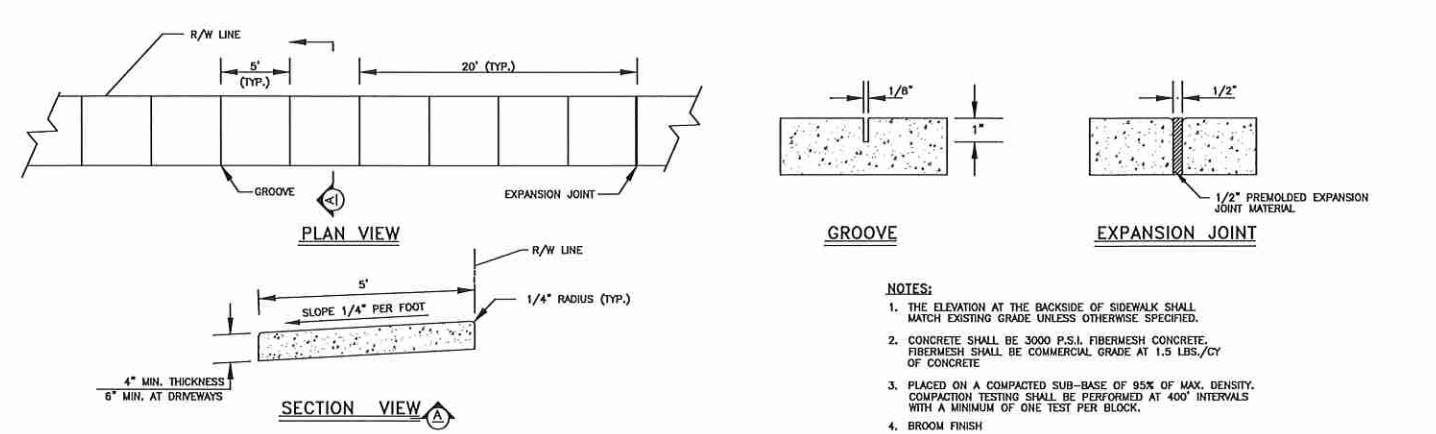
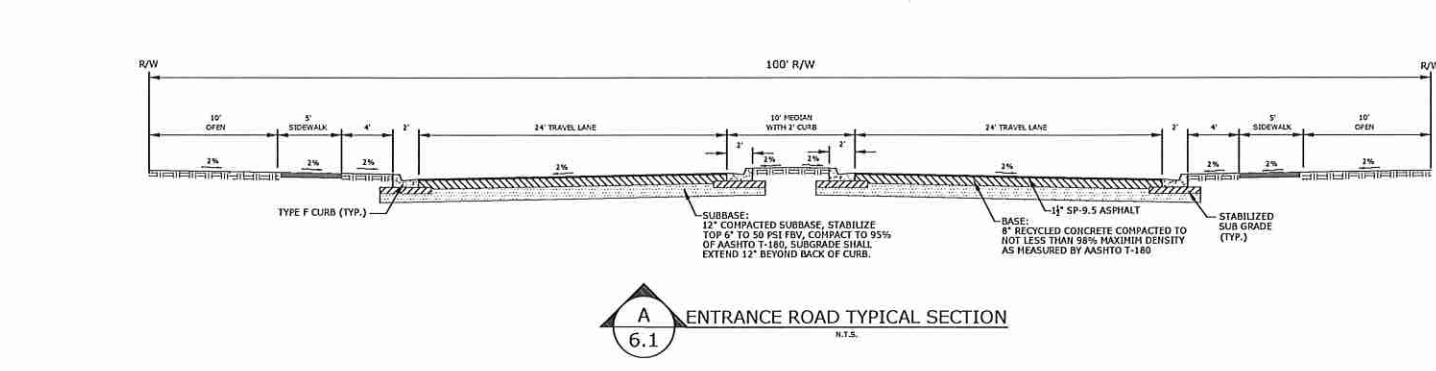
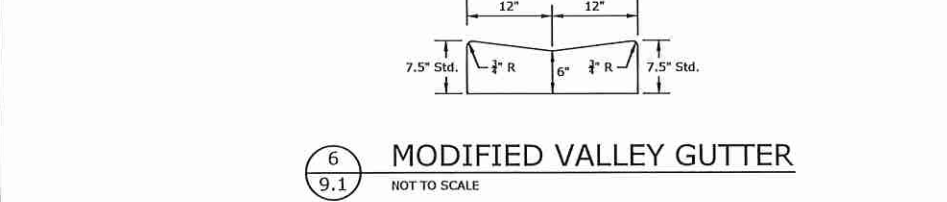
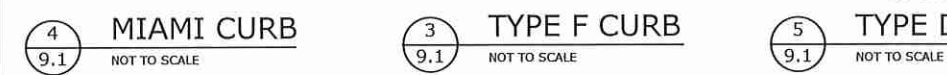
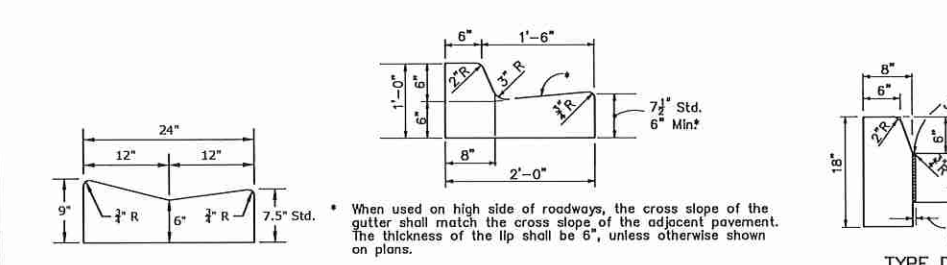
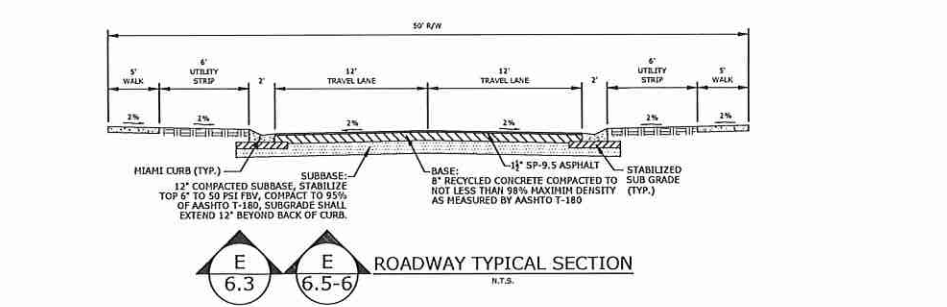
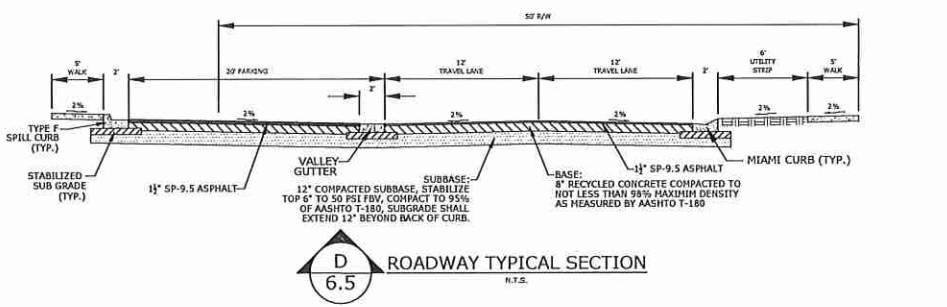
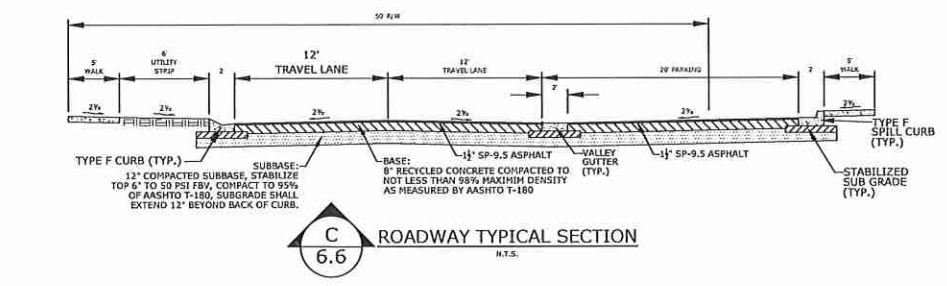
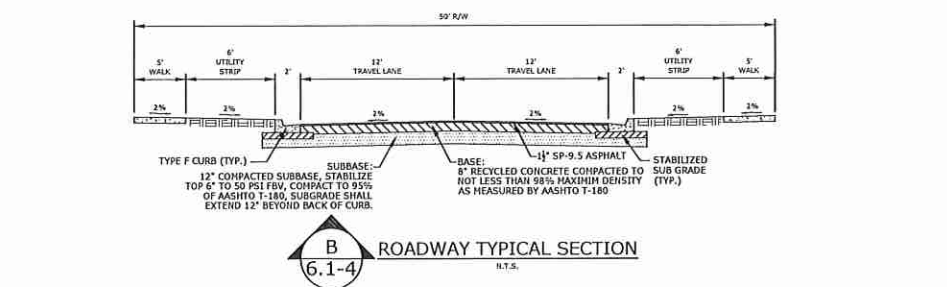
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OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
PAVING, GRADING, AND DRAINAGE
DETAILS

REVISIONS	DATE	NO.	BY	DETAIL

DRAWN BY:	DATE:
JSK	MAR, 2018
CHECKED BY:	JOB #:
DLE	25801

DITCH BOTTOM INLETS TYPES C, D, E & H	Limit 07/01/09	Sheet No. 1 of 4
		Index No. 232



11/2015/25801 - Gen. Notes/Drawings/Plan/Sheet - P&Q Detail/Rev (B) Printed on: Size: 18" x 24" - 6/26/18 by: jmm

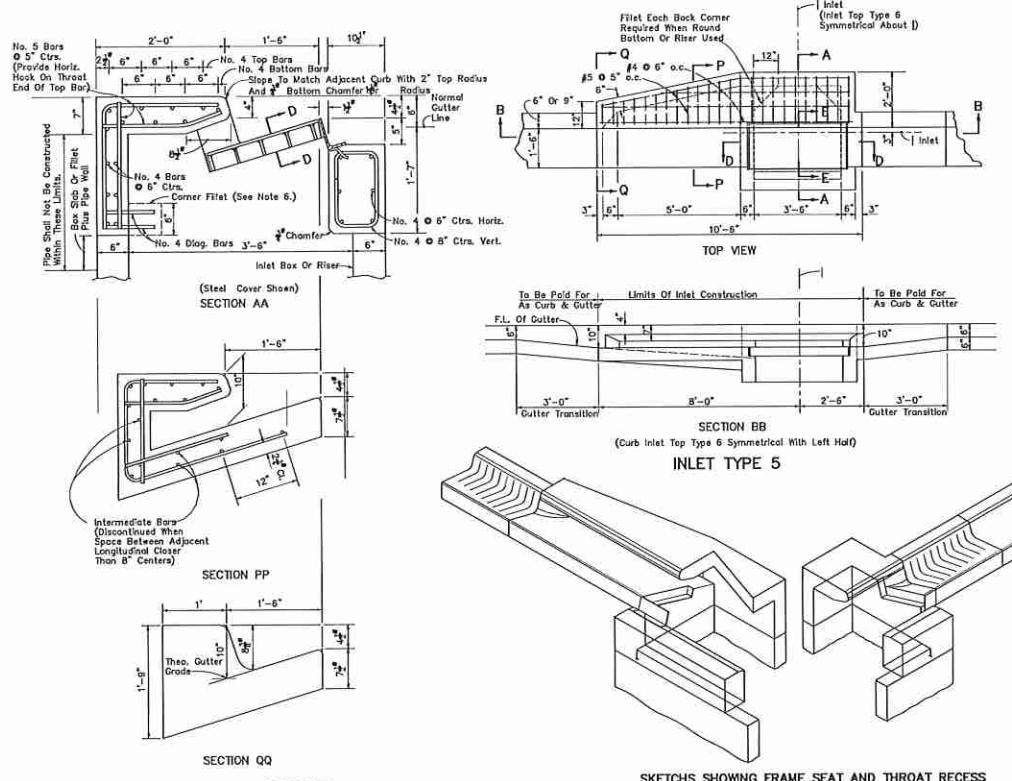
DATE:

OAK POINTE - SOUTH

FINAL CONSTRUCTION PLANS

CITY OF APOPKA, FLORIDA

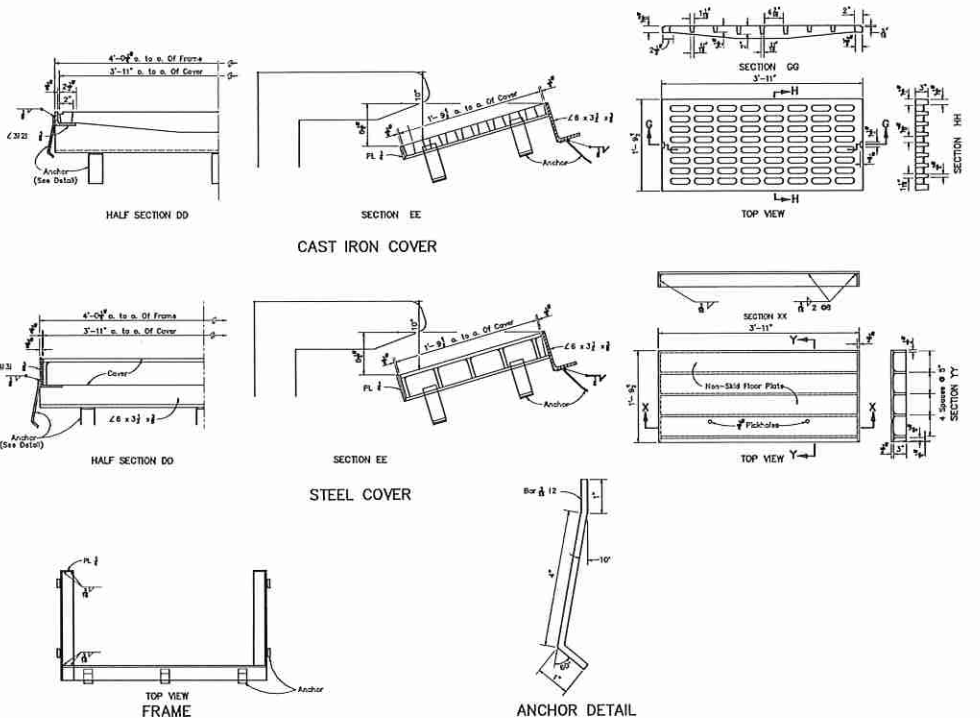
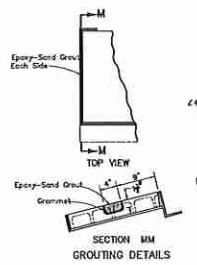
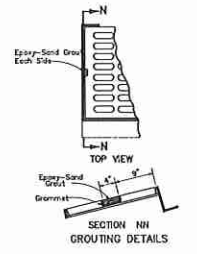
PAVING, GRADING, AND DRAINAGE DETAILS



SKETCHES SHOWING FRAME SEAT AND THROAT RECESS

- GENERAL NOTES**
- The finished grade and slope of the inlet tops are to conform with the finished cross slope and grade of the proposed sidewalk and/or parkway.
 - When inlets are to be constructed on a curve, refer to the plans to determine the radius and, where necessary, modify the inlet details accordingly. Bend steel when necessary.
 - All reinforcing steel shall have a minimum cover unless otherwise shown. Inlet tops shall be either cast-in-place or precast concrete.
 - Precasting of this inlet top will be permitted. Precast units shall conform to the dimensions shown or in accordance with approved shop drawings. Request for shop drawing approval shall be directed to the State Drainage Engineer.
 - Concrete meeting the requirements of A.S.T.M. C 478 (4,000 P.S.I.) may be used in lieu of Class - concrete for precast units, manufactured in plants which are under the Standard Operating Procedures for the inspection of precast drainage products.
 - The corner fillets shown for rectangular throats are necessary only when throats are to be used in conjunction with circular inlet bottoms or when used on slabs with rectangular inlet bases.
 - For inlet bottoms see Index No. 200.
 - These inlet tops are designed for use with standard curb and gutter Type E and Type F. Locate outside of pedestrian crosswalk where practical.
 - See Index 201 for supplemental details.
 - All steel used for frame and cover shall meet the requirements of ASTM A-36.
 - Either cast iron covers or steel covers may be used. Iron covers shall be Class No. 30 castings in accordance with ASTM A-48.
 - When Alternate "G" Cover is specified in plans either the cast iron cover and galvanized steel frame or the low galvanized steel cover and frame must be used. Covers are to be grouted in accordance with the grouting detail shown on sheet 2 of 2, in lieu of lock welding.
 - Inlet to be paid for under the contract unit price for inlets (Curb-Type) J.

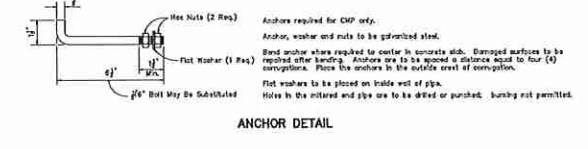
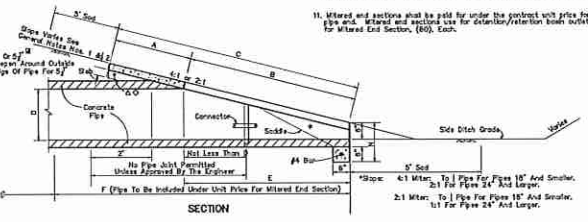
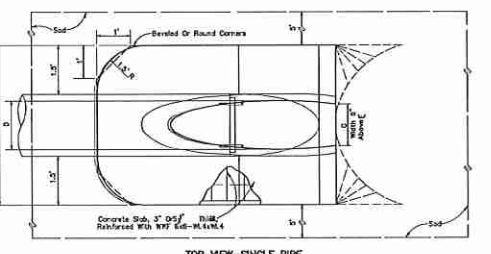
1 CURB INLET TOPS TYPES 5 & 6
 NOT TO SCALE



DIMENSIONS AND QUANTITIES

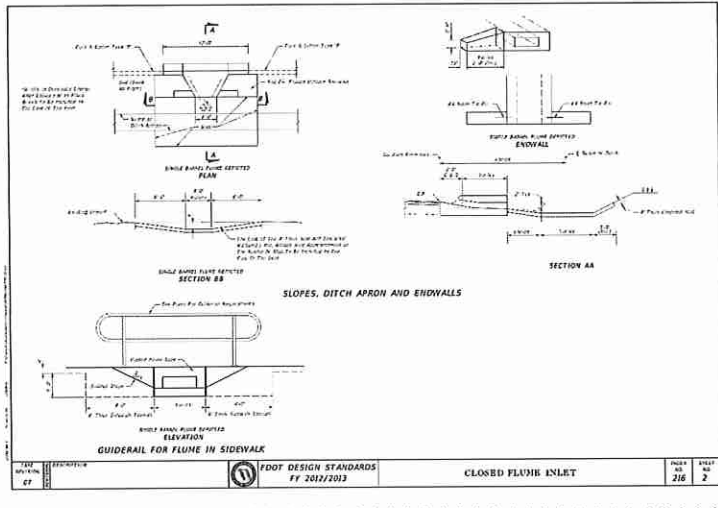
D	E	A	B	C	F	G	CONCRETE SLAB (CY)				STEEL (LB)				CAST IRON (LB)			
							Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe
18"	18"	24"	24"	30"	30"	36"	0.18	0.36	0.54	0.72	1.08	1.44	1.80	2.16	2.52	2.88	3.24	3.60

- GENERAL NOTES**
- Mitered and sections for pipe sizes 18", 24" and 30" round or equivalent pipe with or without manholes are permitted with the clear zone. When the slope intersection permits, the mitered and section may be located with the curb opening as shown as far beyond the outside edge of the shoulder.
 - Slope and ditch transitions shall be used when the normal roadway slope must be followed to place and section outside clear zone. See detail left.
 - The reinforced concrete slab shall be constructed for all sizes of cross drain pipe and cast in place with Class - concrete. Slabs shall have a minimum 3" thickness unless otherwise noted.
 - Concrete pipe used in the assembly of mitered and sections shall be selective lengths to avoid excessive connections.
 - Corroded metal pipe galvanized that is damaged during handling and packaging for mitered and section shall be replaced.
 - That portion of connected metal pipe in direct contact with the concrete slab shall be bituminous coated prior to placing of the concrete.
 - Unless otherwise designated in the plans, concrete pipe mitered and sections may be used with any type of cross drain pipe except ductile iron pipe and corrugated aluminum mitered and sections may be used with any type of cross drain pipe except steel pipe. When bituminous coated metal pipe is specified for cross drain pipe, mitered and sections shall be constructed with the pipe or concrete pipe.
 - When the mitered and section pipe is desirable to the cross drain pipe, a concrete joint shall be constructed in accordance with Standard Index 200.
 - When existing multiple cross drain pipes are spaced other than the dimensions shown in this detail, or have non-parallel axes, or have non-orthogonal sections, the mitered and sections will be constructed other than shown in this detail, and sections or sections on multiple pipes and sections are directed by the Engineer; however, mitered and sections will be paid for each based on each individual pipe end.
 - The cost of all pipe(s), fasteners, reinforcing, connections, anchors, concrete, sealants, joints, and smoothing bonds shall be included in the cost for the mitered and section. Scaffolding shall be paid for separately under the contract unit price of Section 51.
 - Mitered and sections shall be paid for under the contract unit price for Mitered End Section (CY). Each, based on each independent pipe end. Mitered and sections for detail/correction shall be paid for under the contract unit price for Mitered End Section (CY). Each.

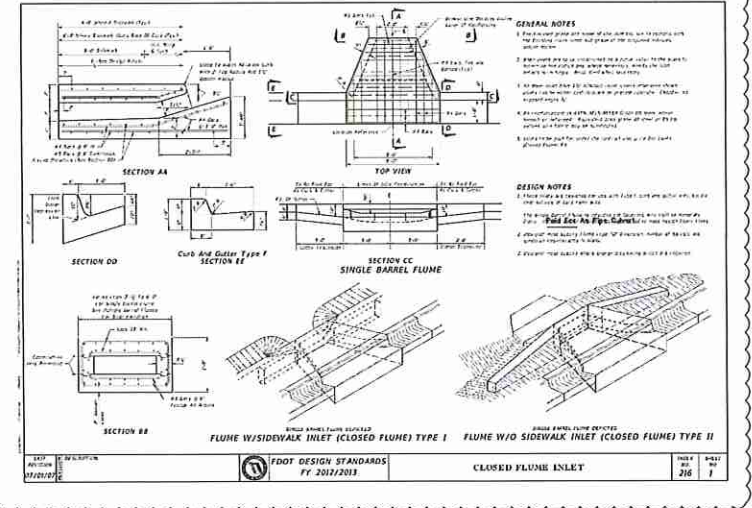


QUANTITIES FOR 3" THICK CONCRETE SLABS (CY)

D	ROUND-CONCRETE				ROUND-CMP				CMP-ARCH				ELLIPTICAL-CONCRETE			
	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe
18"	0.40	0.80	1.20	1.60	0.31	0.61	0.91	1.21	1.17	2.34	3.51	4.68	1.17	2.34	3.51	4.68



FOOT DESIGN STANDARDS FY 2012/2013
 CLOSED FLUME INLET

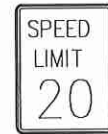


FOOT DESIGN STANDARDS FY 2012/2013
 CLOSED FLUME INLET

2 FDOT CROSS DRAIN MITERED END SECTION
 NOT TO SCALE



R1-1



R2-1

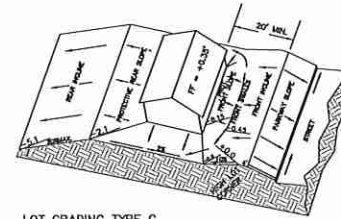
NOTES:

- 1. ALL TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 2. ALL R1-1 SIGNS SHALL BE 30", HIGH INTENSITY REFLECTIVE.
- 3. ALL SIGNS SHOULD BE CLEARED OF ANY OBSTRUCTIONS AND BE VISIBLE.

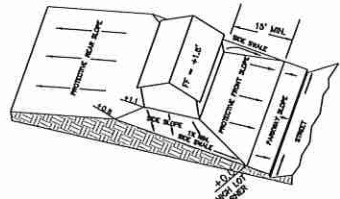
2 STOP SIGN, SPEED LIMIT SIGN
9.3 NOT TO SCALE



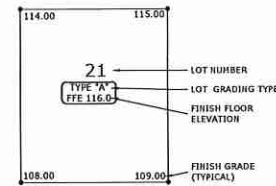
LOT GRADING TYPE A
ALL DRAINAGE TO STREET



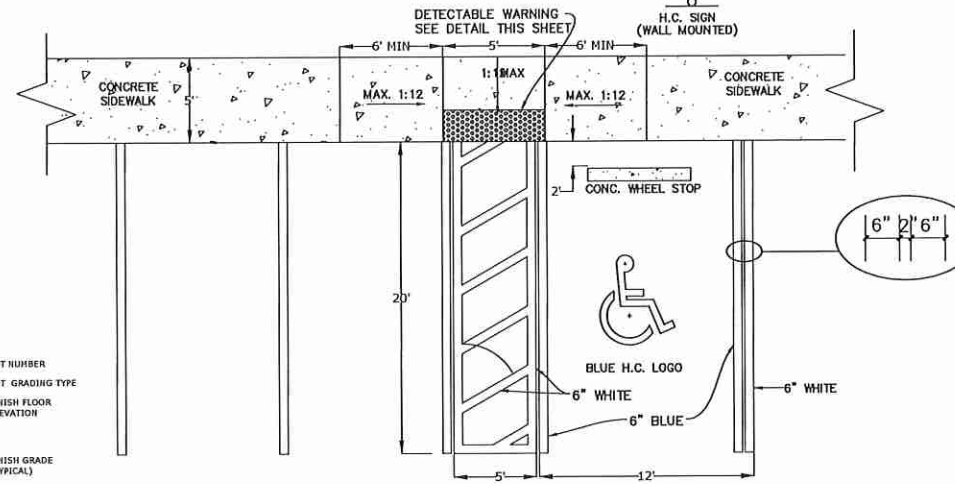
LOT GRADING TYPE C
ALL DRAINAGE TO REAR LOT LINE



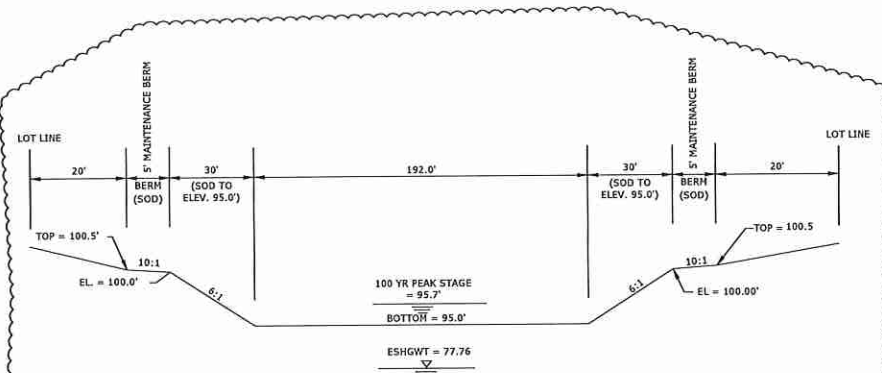
LOT GRADING TYPE B
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE



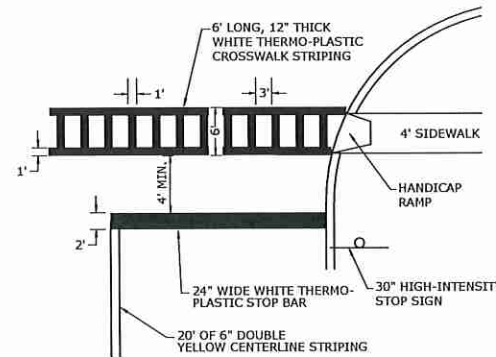
1 LOT GRADING TYPE DETAILS
9.3 NOT TO SCALE



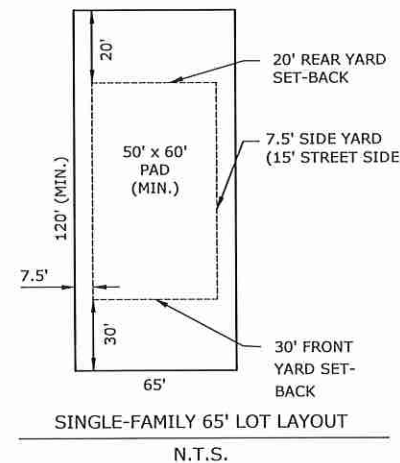
4 HANDICAP SPACE DETAIL
9.3 NOT TO SCALE



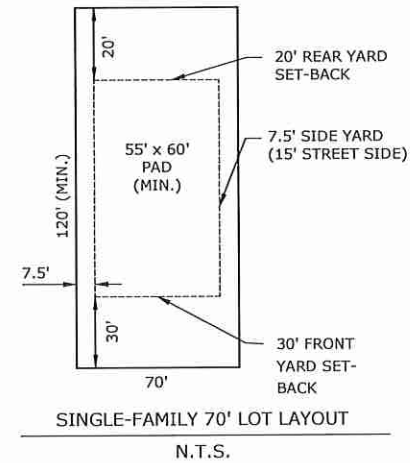
C-C DRY POND B1 SECTION
6.6 NOT TO SCALE



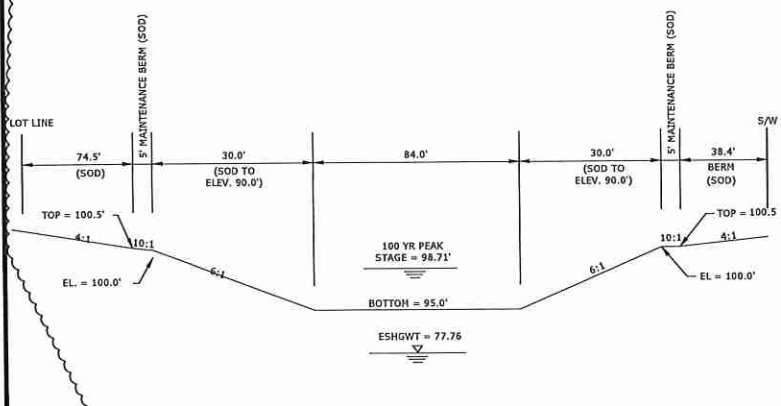
3 STOP/SPECIAL EMPHISIS CROSSWALK DETAIL
9.3 NOT TO SCALE



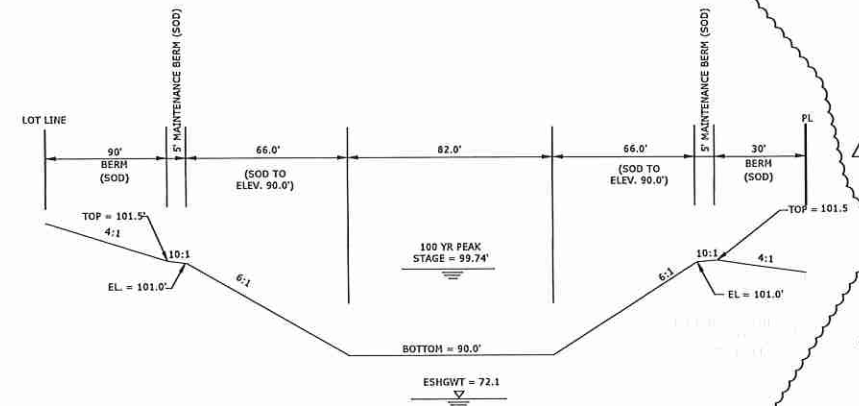
SINGLE-FAMILY 65' LOT LAYOUT
N.T.S.



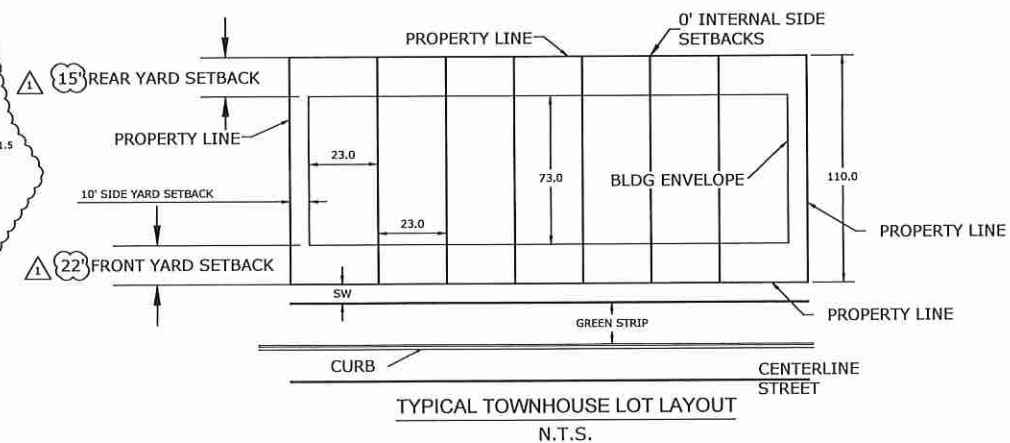
SINGLE-FAMILY 70' LOT LAYOUT
N.T.S.



A-A DRY POND B2 SECTION
6.3 NOT TO SCALE



B-B DRY POND B3 SECTION
6.4 NOT TO SCALE



TYPICAL TOWNHOUSE LOT LAYOUT
N.T.S.

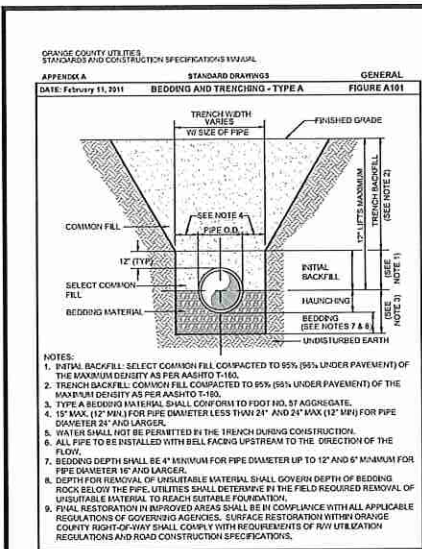
EVANS ENGINEERING, INC.
 CIVIL ENGINEERING LAND PLANNING PERMITTING SERVICES
 719 IRMA AVENUE
 ORLANDO, FLORIDA 32803
 (407) 872-1515
 www.evansenginc.com
 CERTIFICATE OF AUTHORIZATION NO. 0006788

EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788
 DAVID L. EVANS
 FLORIDA P.E. NO. 46586
 DATE:

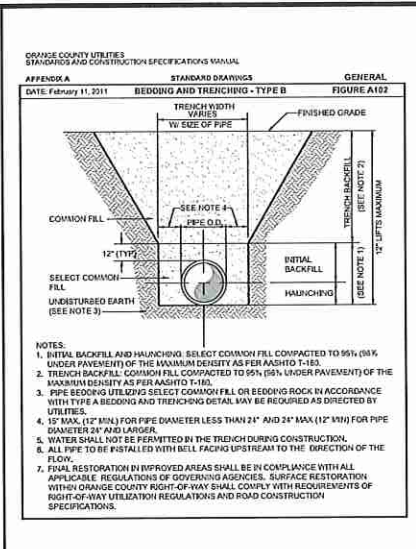
OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 PAVING, GRADING, AND DRAINAGE
 DETAILS

REVISIONS	DATE	NO.	REV.	BY	COMMENTS
	7-9-18	1	Δ	JKS	PR18-11 DATED 4-23-18

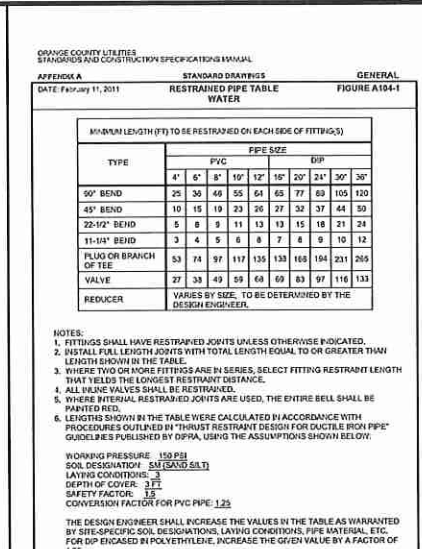
DRAWN BY: JKS
 CHECKED BY: DLE
 DATE: MAR, 2018
 JOB #: 25801



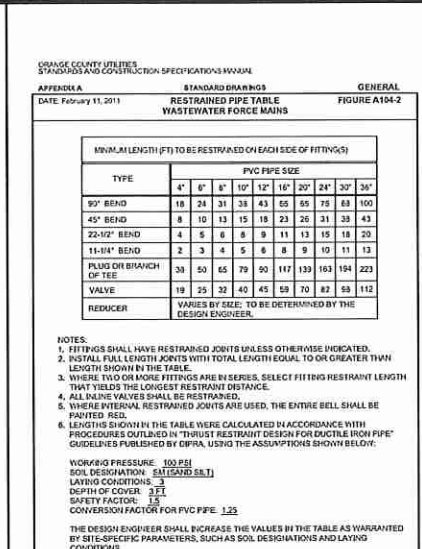
1
22 TYPE A BEDDING AND TRENCHING
NOT TO SCALE



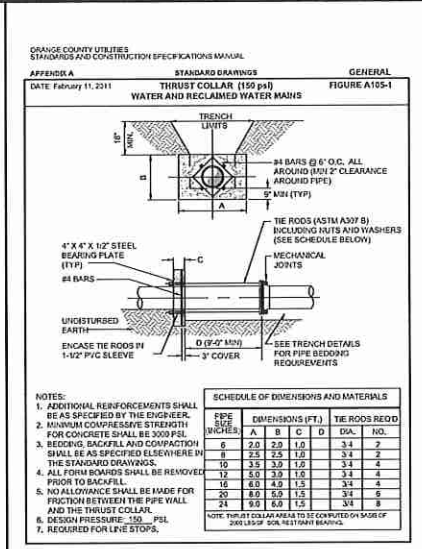
2
22 TYPE B BEDDING AND TRENCHING
NOT TO SCALE



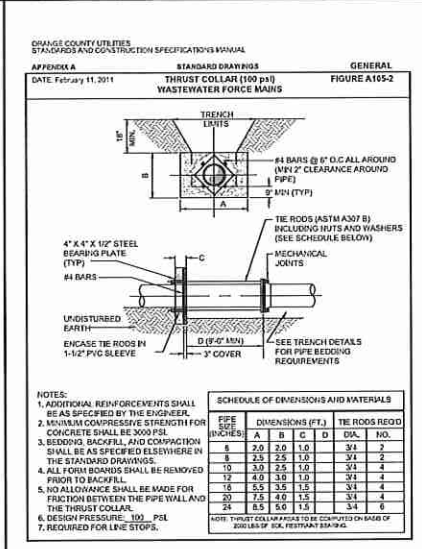
3
22 RESTRAINED PIPE TABLE - WATER
NOT TO SCALE



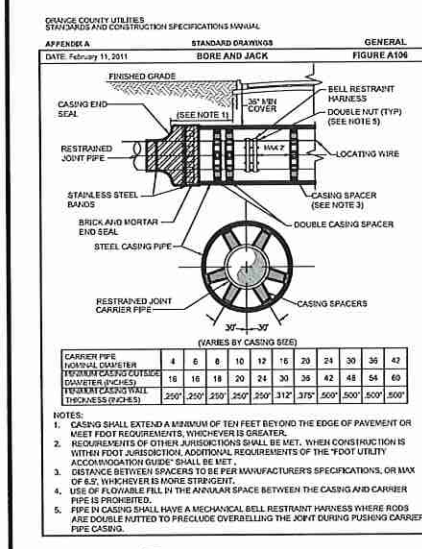
4
22 RESTRAINED PIPE TABLE - WASTEWATER
NOT TO SCALE



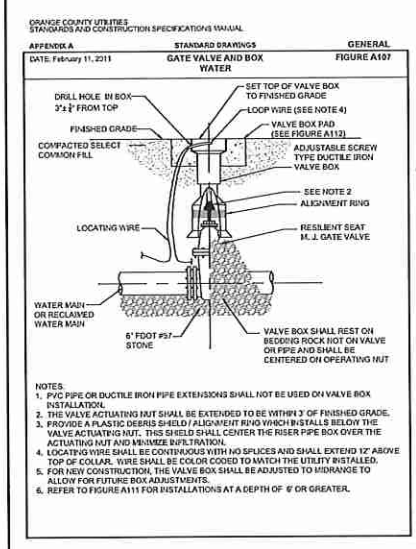
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22 THRUST COLLAR - WATER
NOT TO SCALE



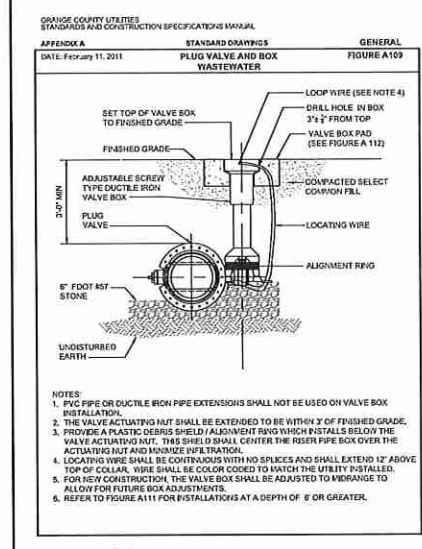
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22 THRUST COLLAR - WASTEWATER
NOT TO SCALE



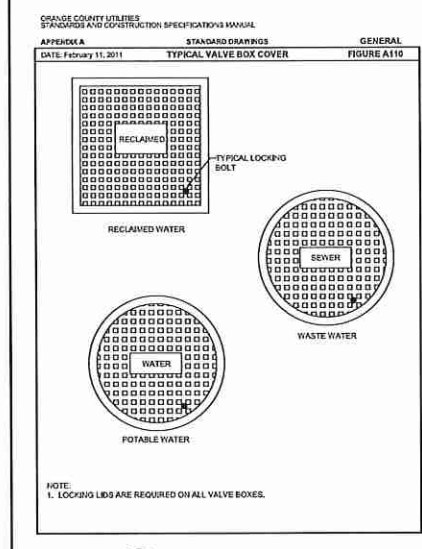
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22 BORE AND JACK
NOT TO SCALE



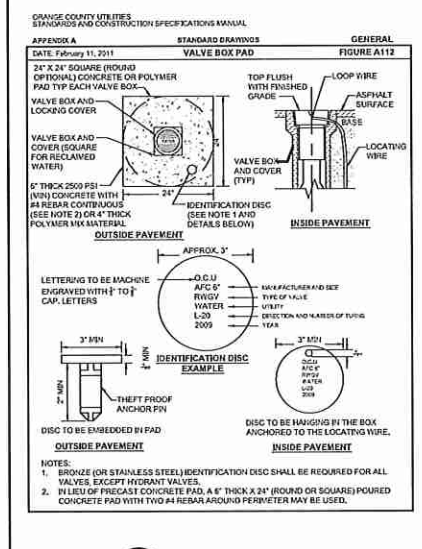
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22 GATE VALVE AND BOX
NOT TO SCALE



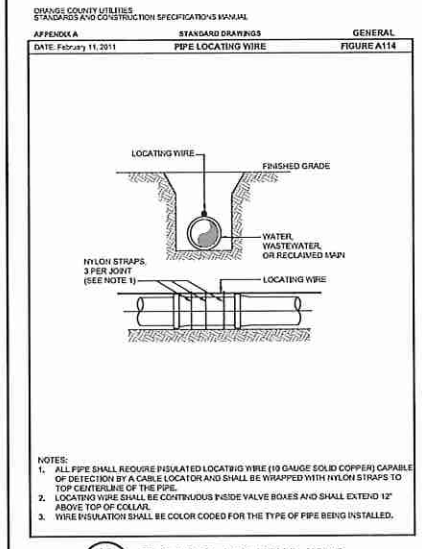
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22 PLUG VALVE BOX PAD
NOT TO SCALE



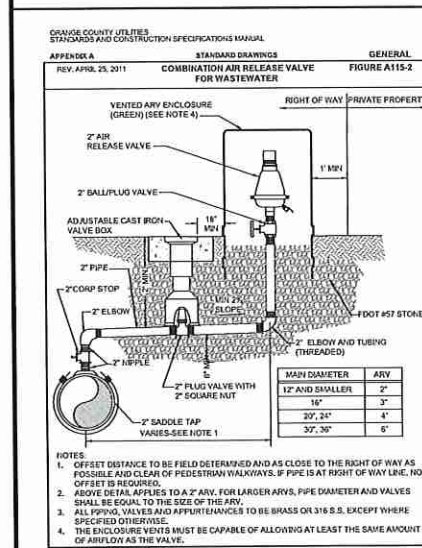
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22 VALVE BOX COVER
NOT TO SCALE



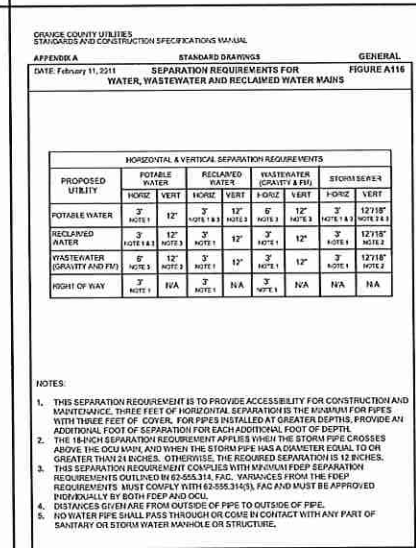
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22 VALVE BOX PAD
NOT TO SCALE



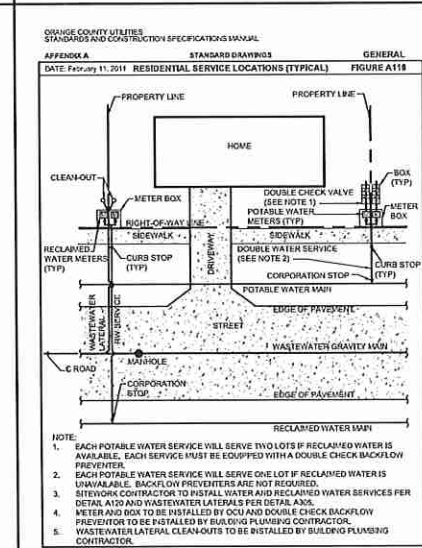
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22 PVC PIPE LOCATING WIRE
NOT TO SCALE



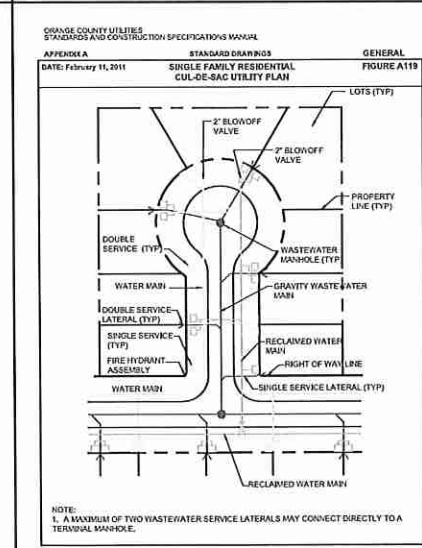
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22 COMBINATION AIR RELEASE VALVE FOR WASTEWATER
NOT TO SCALE



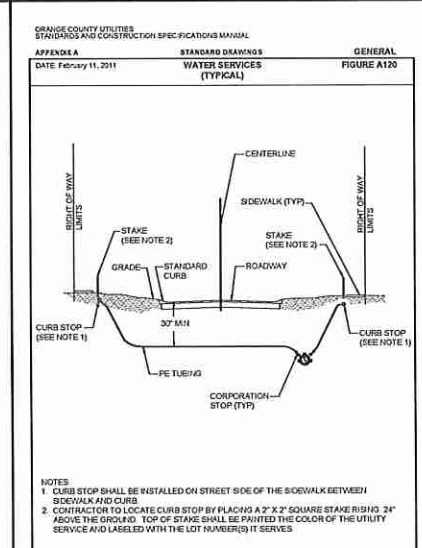
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22 SEPARATION REQUIREMENTS
NOT TO SCALE



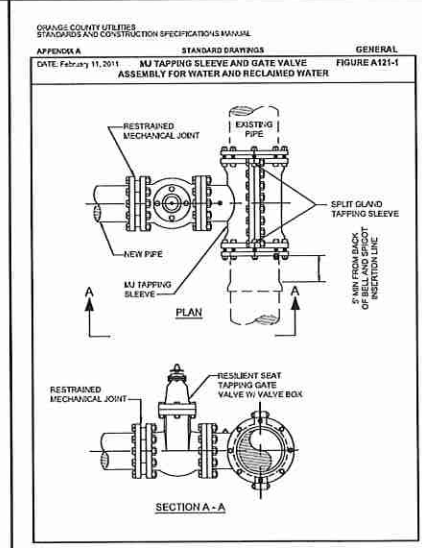
15
22 RESIDENTIAL SERVICE LOCATIONS
NOT TO SCALE



18
22 SINGLE FAMILY RESIDENTIAL CUL-DE-SAC UTILITY PLAN
NOT TO SCALE



17
22 WATER SERVICE (TYPICAL)
NOT TO SCALE



18
22 MJ TAPPING SLEEVE AND GATE VALVE
NOT TO SCALE

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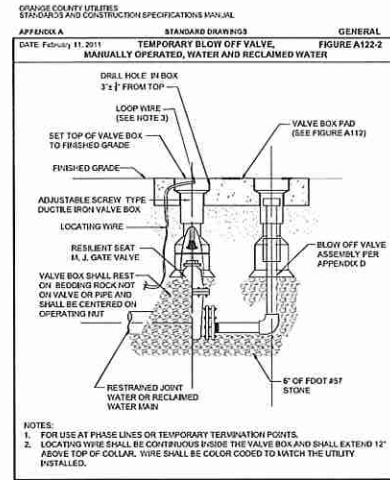
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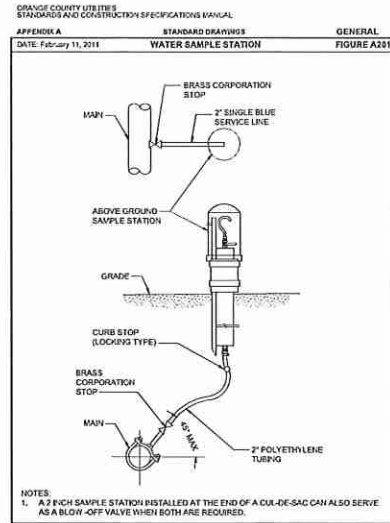
OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 UTILITY DETAILS

REVISIONS	DATE	NO.	BY	DETAIL

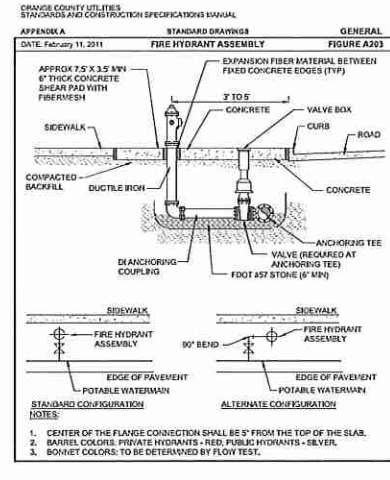
DRAWN BY: JSK
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 DATE: MAR, 2018
 JOB #: 25801



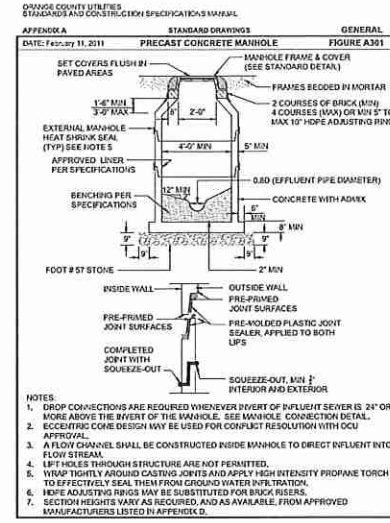
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TEMPORARY BLOW OFF VALVE
NOT TO SCALE



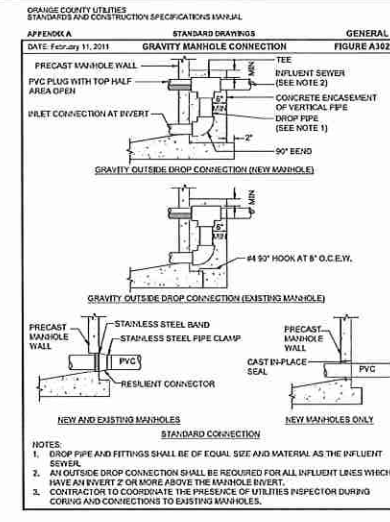
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WATER SAMPLE STATION
NOT TO SCALE



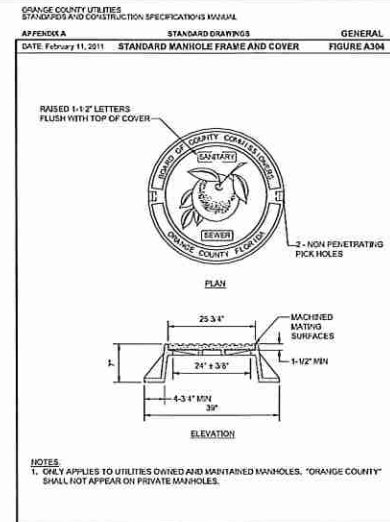
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FIRE HYDRANT ASSEMBLY
NOT TO SCALE



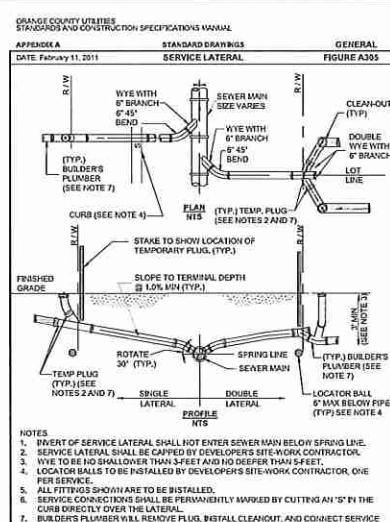
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23
PRECAST CONCRETE MANHOLE
NOT TO SCALE



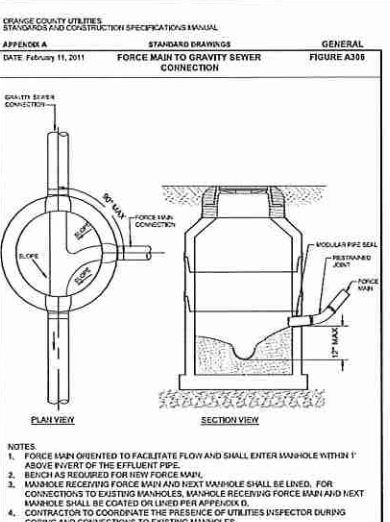
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GRAVITY MANHOLE CONNECTION
NOT TO SCALE



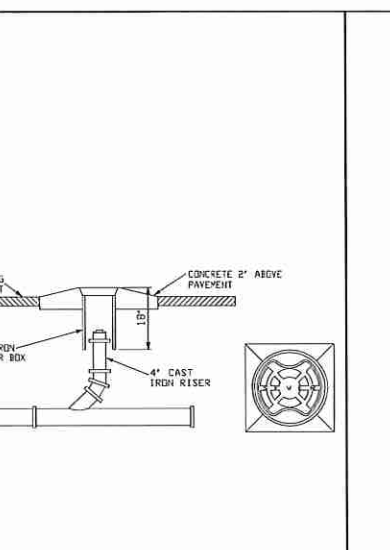
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STANDARD MANHOLE FRAME AND COVER
NOT TO SCALE



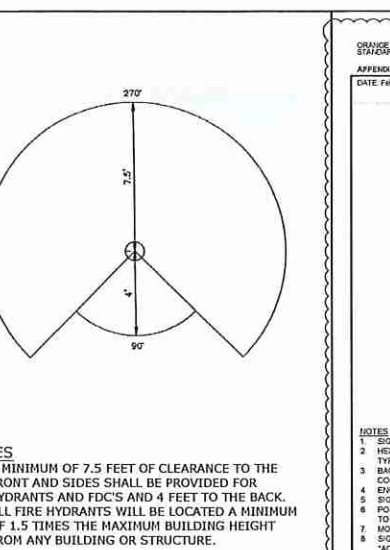
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SERVICE LATERAL
NOT TO SCALE



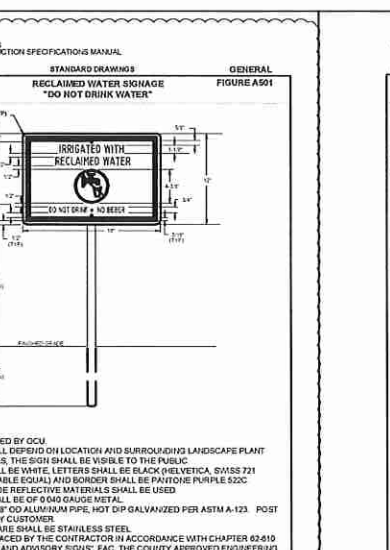
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FORCE MAIN TO GRAVITY SEWER CONNECTION
NOT TO SCALE



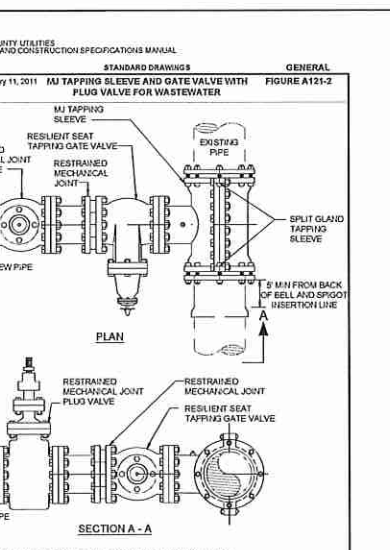
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23
TRAFFIC BEARING CLEANOUT
NOT TO SCALE



10
23
HYDRANT & F.D.C. CLEARANCE
NOT TO SCALE



11
23
RECLAIMED WATER SIGNAGE
NOT TO SCALE



12
23
MJ TAPPING SLEEVE & GATE VALVE & PLUG VALVE
NOT TO SCALE

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DAVID L. EVANS
FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
CITY OF APOPKA, FLORIDA

UTILITY DETAILS

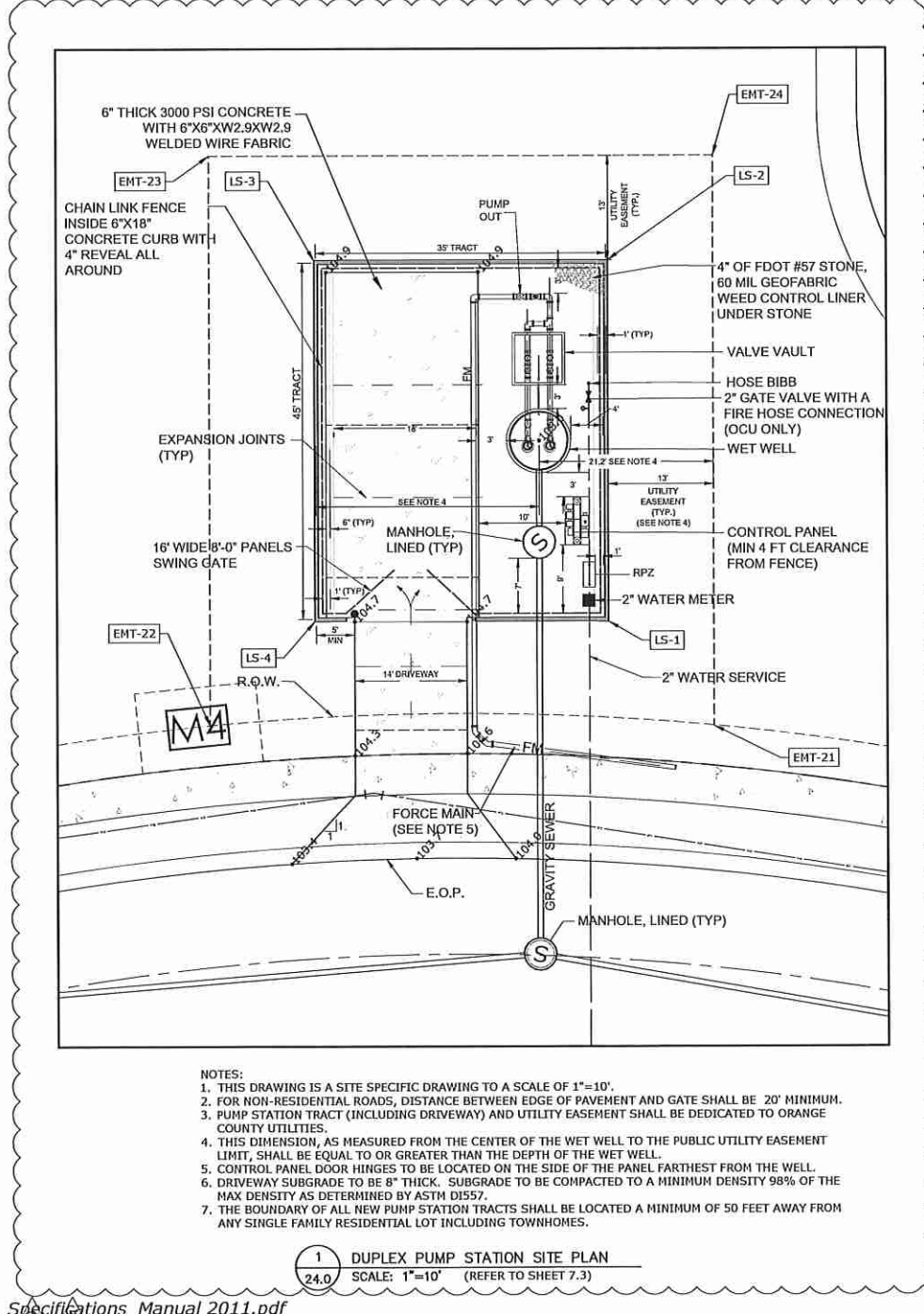
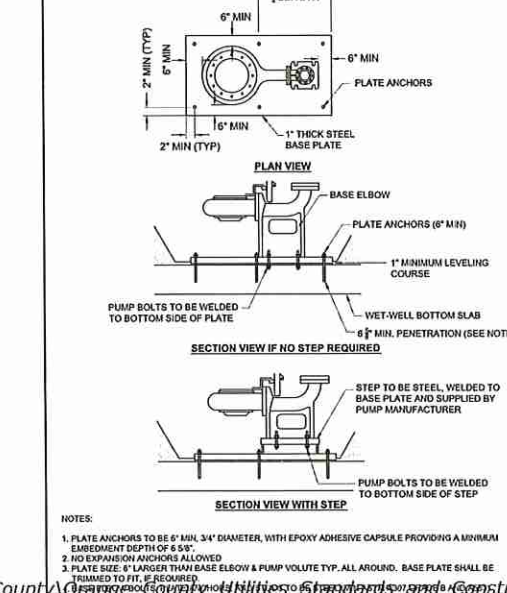
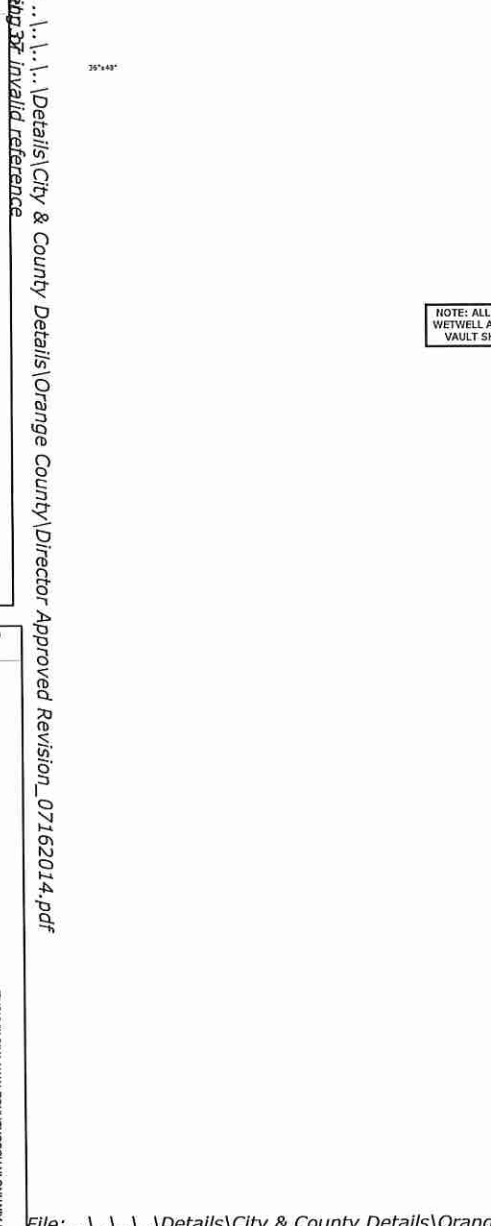
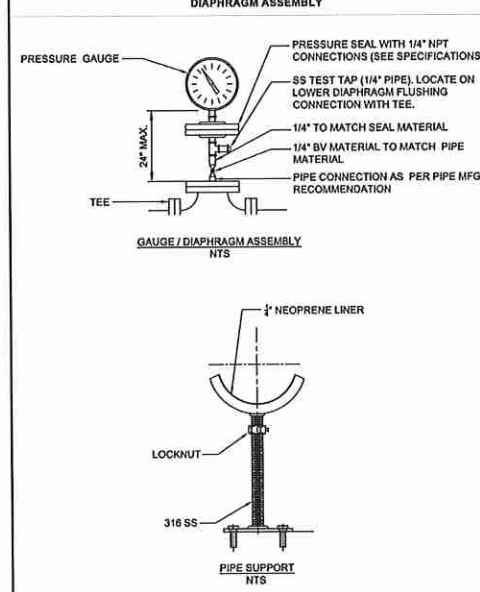
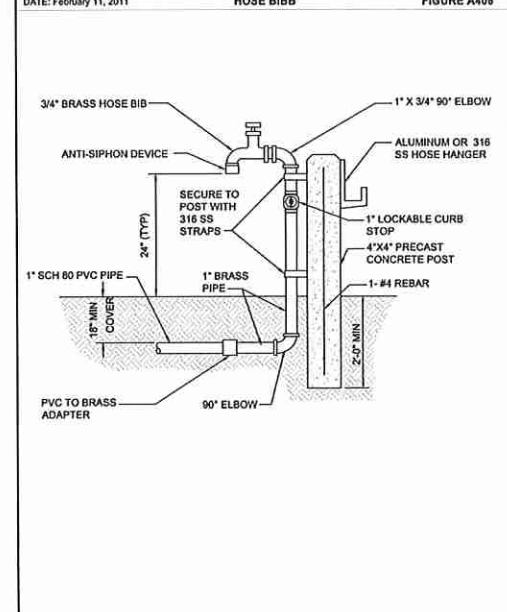
REVISIONS	DATE	NO.	DESCRIPTION	BY
	7-16-18	1	OCU REVIEW	JSK
	6-29-18	2	UTILITIES REVIEW	JSK

DRAWN BY: JSK
CHECKED BY: DLE
DATE: MAR, 2018
JOB #: 25801

- GENERAL NOTES:**
- GRAVITY PIPES ENTERING WET WELL SHALL BE MADE WATERTIGHT WITH AN APPROVED RESILIENT CONNECTOR LISTED IN APPENDIX D.
 - ALL LOCATIONS WHERE PRESSURE PIPES PENETRATE THE WET WELL SHALL BE MADE WATERTIGHT WITH A WALL SLEEVE AND COMPRESSION SEAL.
 - THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN THE WET WELL.
 - WET WELL COVERS SHALL BE ALUMINUM WITH 316 STAINLESS STEEL HARDWARE WITH RECESSED LOCK BRACKET. WET WELL COVER SHALL HAVE "CONFINED SPACE" ETCHED OR WELDED INTO COVER.
 - ALL HARDWARE IN WET WELL SHALL BE 316 STAINLESS STEEL.
 - PUMP MANUFACTURER SUBMERGENCE REQUIREMENTS SHALL BE MET AS MINIMUM.
 - PIPE JOINTS IN THE WET WELL AND THE VALVE VAULT SHALL BE FLANGED. PIPE JOINTS FROM THE VALVE VAULT TO THE EXISTING FORCE MAIN SHALL BE RESTRAINED MECHANICAL JOINTS.
 - CHECK VALVE ARMS SHALL BE LOCATED WITH THE SAME ORIENTATION (i.e. ALL ARMS ON THE LEFT SIDE OF VALVE).
 - REFER TO APPENDIX D FOR ADMIX, COATINGS AND LININGS.

DESCRIPTION	SYMBOL	DIMENSION	ELEVATION
THICKNESS OF WALL	A	8" (MIN)	-
DIAMETER OF WET WELL	B	6'-0" (MIN)	6'
WIDTH OF BOTTOM FILLET	C	SEE NOTE 1	-
CIL OF WET WELL TO CL OF PIPES	D	SEE NOTE 122"	-
LENGTH OF PUMP ACCESS OPENING	E	SEE NOTE 4 72"	-
WIDTH OF PUMP ACCESS OPENING	F	SEE NOTE 4 40"	-
CENTER OF WET WELL TO EDGE OF HATCH	G	SEE NOTE 4 13'	-
VALVE BOX HATCH OPENING	H	72"	-
VALVE BOX HATCH OPENING	I	60"	-
LIP WIDTH OF WETWELL BASE	R	18" (MIN)	-
THICKNESS OF WETWELL BASE	S	12" (MIN)	-
TOP OF WET WELL	T	-	105.00
FINISHED GRADE	U	-	104.50
HIGH LEVEL ALARMS	V	-	89.80
LAG PUMP ON	W	-	89.30
LEAD PUMP ON / INFLUENT PIPE INVERT	X	-	88.80
PUMPS OFF (TOP OF PUMP VOLUTE)	Y	-	85.78
BOTTOM OF PUMP TO FLOOR OF WET WELL	P	-	4.5'
STEP HEIGHT (IF REQUIRED)	Q	-	-
FLOOR OF WET WELL	Z	-	83.60

- NOTES:**
- PER PUMP MANUFACTURER'S REQUIREMENTS
 - DIMENSION P AND ELEVATIONS Y AND Z MUST MEET BOTH FLYGT AND ABS REQUIREMENTS.
 - ELEVATION X - ELEVATION Z ± 5 FEET
 - TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.
 - SYMBOLS SHOWN IN TABLE ARE USED IN FIGURES A402-2 AND A402-3.



- NOTES:**
- THIS DRAWING IS A SITE SPECIFIC DRAWING TO A SCALE OF 1"=10'.
 - FOR NON-RESIDENTIAL ROADS, DISTANCE BETWEEN EDGE OF PAVEMENT AND GATE SHALL BE 20' MINIMUM.
 - PUMP STATION TRACT (INCLUDING DRIVEWAY) AND UTILITY EASEMENT SHALL BE DEDICATED TO ORANGE COUNTY UTILITIES.
 - THIS DIMENSION, AS MEASURED FROM THE CENTER OF THE WET WELL TO THE PUBLIC UTILITY EASEMENT LIMIT, SHALL BE EQUAL TO OR GREATER THAN THE DEPTH OF THE WET WELL.
 - CONTROL PANEL DOOR HINGES TO BE LOCATED ON THE SIDE OF THE PANEL FARTHEST FROM THE WELL.
 - DRIVEWAY SUBGRADE TO BE 8" THICK. SUBGRADE TO BE COMPACTED TO A MINIMUM DENSITY 98% OF THE MAX DENSITY AS DETERMINED BY ASTM D1557.
 - THE BOUNDARY OF ALL NEW PUMP STATION TRACTS SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM ANY SINGLE FAMILY RESIDENTIAL LOT INCLUDING TOWNHOMES.

1 DUPLEX PUMP STATION SITE PLAN
 24.0 SCALE: 1"=10' (REFER TO SHEET 7.3)

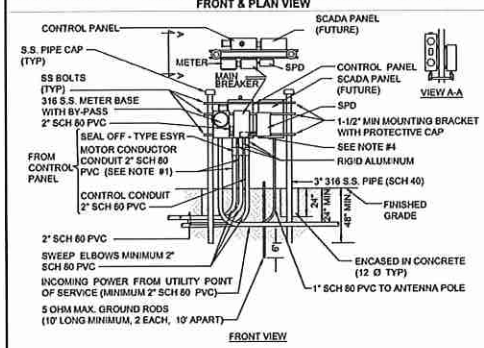
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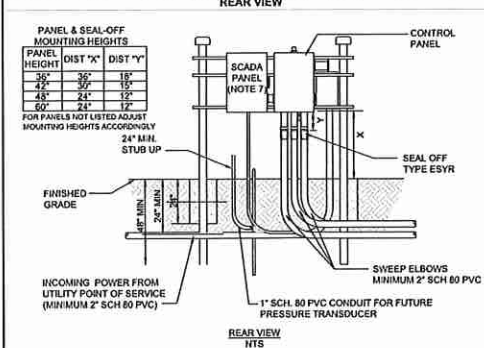
OAK POINTE - SOUTH
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 CITY OF APOPKA, FLORIDA
 LIFT STATION DETAILS

REVISIONS	DATE	NO.	DETAIL	BY
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	9-5-18	2	OCU 18-0533 UTILITIES REVIEW	CA
	9-5-18	3	OCU 18-0533 UTILITIES REVIEW	CA

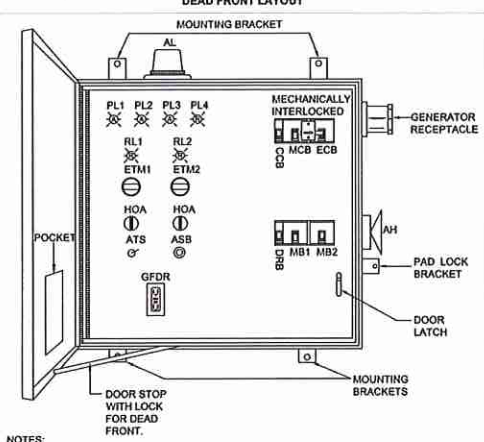
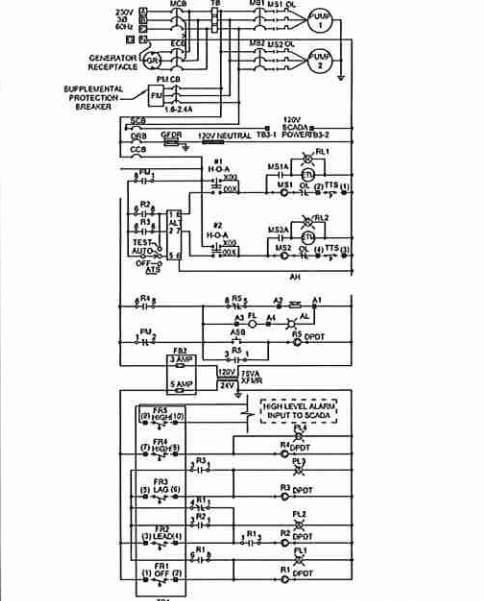
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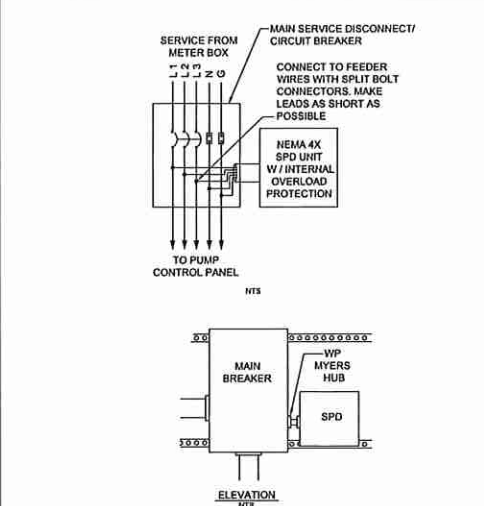
- PANEL INSTALLATION NOTES:**
- PUMP MOTOR CONDUIT SHALL BE SIZE TO ACCOMMODATE 40% CONDUIT FILL. MINIMUM CONDUIT SIZE TO BE 2\"/>
 - POWER SUPPLY SHALL BE UNDERGROUND ON THE LIFT STATION SITE AND SHALL BE 3-PHASE, FROM A 3-PHASE SOURCE ONLY. 100 AMP SERVICE MINIMUM.
 - AN ELECTRICAL GROUNDING SYSTEM SHALL BE INSTALLED AS PER THE NATIONAL ELECTRICAL CODE, LOCAL CODES AND ORDINANCES. AN UNDERGROUND PERIMETER CABLE GROUNDING SYSTEM SHALL BE INSTALLED WITH CONNECTIONS TO AT LEAST WET WELL COVER, VALVE VAULT COVER, CONTROL PANELS, GENERATOR, UTILITY COMPANY TRANSFORMER, MANUAL DISCONNECT SWITCH AND METAL FENCE. REFER TO GROUNDING DETAILS.
 - THE STATION NAME, UTILITIES I.D. NUMBER AND ADDRESS SHALL BE AFFIXED TO THE FRONT OF THE METER CABINET.
 - ALL MOUNTING HARDWARE & BRACKETS AND ELECTRICAL ENCLOSURES SHALL BE 316 STAINLESS STEEL.
 - ON A 4-WIRE, DELTA SYSTEM THE HIGH-LEG SHALL BE IDENTIFIED WITH ORANGE COLOR TAPE AT ALL CONNECTION POINTS AND SHALL BE LOCATED ON THE 'B' PHASE AT THE LINE SIDE OF THE MAIN DISCONNECT.
 - THE SCADA PANEL IS TO SHOWN FOR INFORMATION ONLY AND WILL BE INSTALLED IN THE FUTURE (BY OTHERS).



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 - THE SCADA PANEL IS TO SHOWN FOR INFORMATION ONLY AND WILL BE INSTALLED IN THE FUTURE (BY OTHERS).



- NOTES:**
- DEADFRONT LAYOUT NEMA TYPE 3R SS ENCLOSURE W/CONTINUOUS HINGE. ALL HARDWARE TYPE 316 SS TYPICAL. ACTUAL LAYOUT MAY VARY WITH HORSEPOWER.
 - THIS CONTROL PANEL, INCLUDING THE GENERATOR RECEPTACLE, COMPLIES WITH THE STANDARD LIST OF COMPONENTS REQUIRED BY UTILITIES.
 - ALL CONTROL WIRE TO BE #14 AWG MINIMUM.
 - CONTROL PANEL SHALL BE UL LISTED AND LABELED.
 - 30 SPARE TERMINALS (1B2).
 - PHASE MONITOR CIRCUIT BREAKER TO BE SIEMENS P/N: MSP10G, OR SQ-D P/N: MG24532.



- NOTES:**
- CONNECT TO FEEDER WIRES WITH SPLIT BOLT CONNECTORS. MAKE LEADS AS SHORT AS POSSIBLE.

LEGEND

- AH - ALARM HORN
- AL - ALARM LIGHT
- ASB - ALARM SILENCE BUTTON
- ATS - ALTERNATOR TEST SWITCH
- CCB - CONTROL CIRCUIT BREAKER
- DPDT - DOUBLE POLE DOUBLE THROW
- DRB - DUPLEX RECEPTACLE BREAKER
- ECB - EMERGENCY CIRCUIT BREAKER
- ETM - ELAPSED TIME METER
- F - FUSE
- FB - FUSE BLOCK
- FL - FLASHER
- FR - FLOAT REGULATOR
- GFDR - GROUND FAULT DUPLEX RECEPTACLE
- GR - GENERATOR RECEPTACLE
- HOA - HAND-OFF-AUTO SELECTOR SWITCH
- MB - MOTOR BREAKER
- MCB - MAIN CIRCUIT BREAKER
- MS - MOTOR STARTER
- OL - OVERLOAD
- PL - PILOT LIGHT
- PM - PHASE MONITOR
- R - RELAY
- RL - RUNNING LIGHT
- SCB - SCADA CIRCUIT BREAKER
- TB - TERMINAL BLOCK
- TTS - THERMAL TERMINAL STRIP
- XFMR - TRANSFORMER
- SPD - SURGE PROTECTION DEVICE

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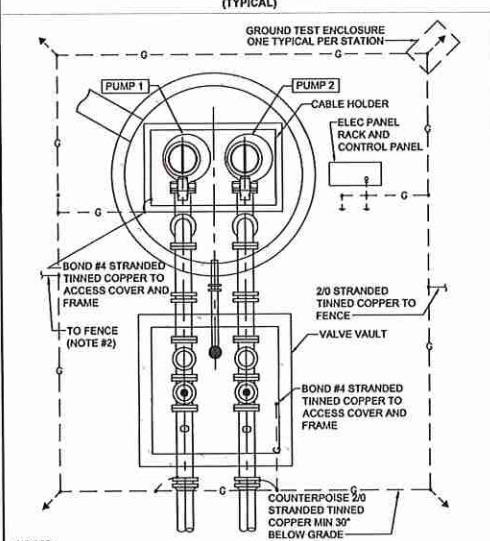
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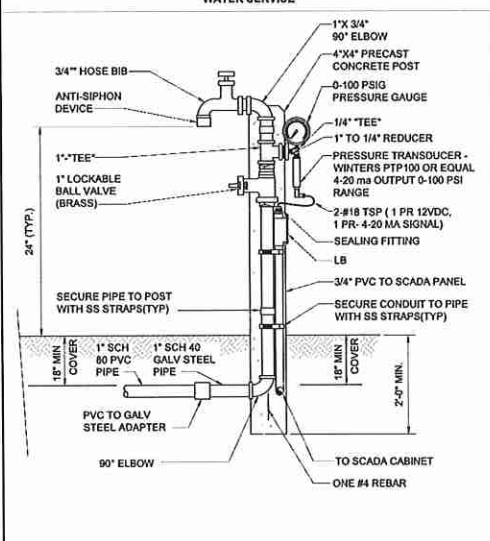
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REVISIONS	DATE	BY	DETAIL

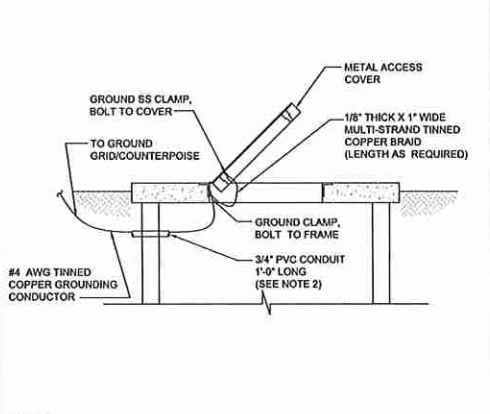
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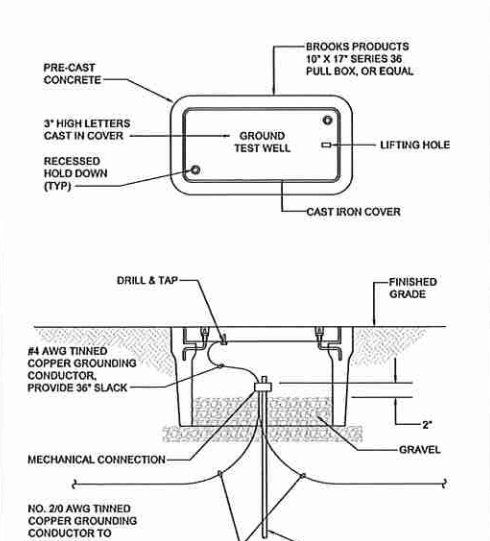
- NOTES:**
- DETAIL IS GENERIC. SPECIFIC LOCATIONS OF EQUIPMENT MAY VARY.
 - TIE TO FENCE, MINIMUM #2 LOCATIONS. NOT REQUIRED WHERE PVC COATED, BLOCK, OR WOOD FENCE IS INSTALLED.
 - PROVIDE EXOTHERMIC WELDS UNLESS NOTED OTHERWISE.



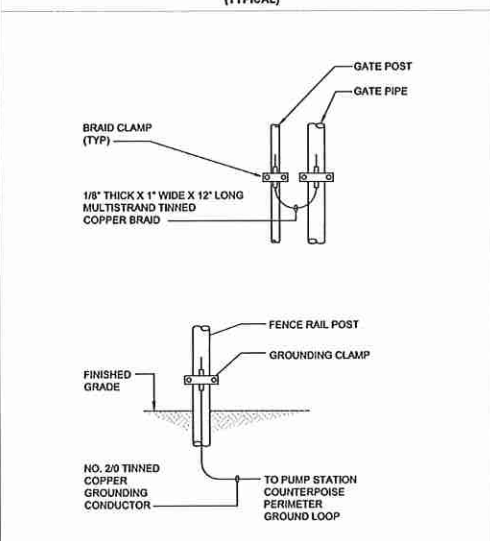
- NOTES:**
- ON COVERS WITH MULTIPLE DOORS, PROVIDE BRAID FROM FRAME TO DOOR ON EACH DOOR PROVIDE WATERPROOF CAULKING WHERE GROUND CABLE AND CONDUIT PENETRATES WETWELL TO PREVENT INTRUSION OF GROUNDWATER AND ESCAPE OF VAPORS FROM WETWELL.
 - INSTALL GROUND WIRE SO THAT IT WILL NOT CROSS CLEAR OPENING OR PREVENT OR IMPEDE NORMAL METHOD OF REMOVING FLOATS OR PUMPS.



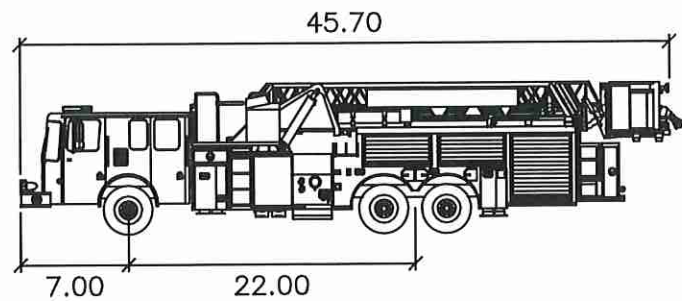
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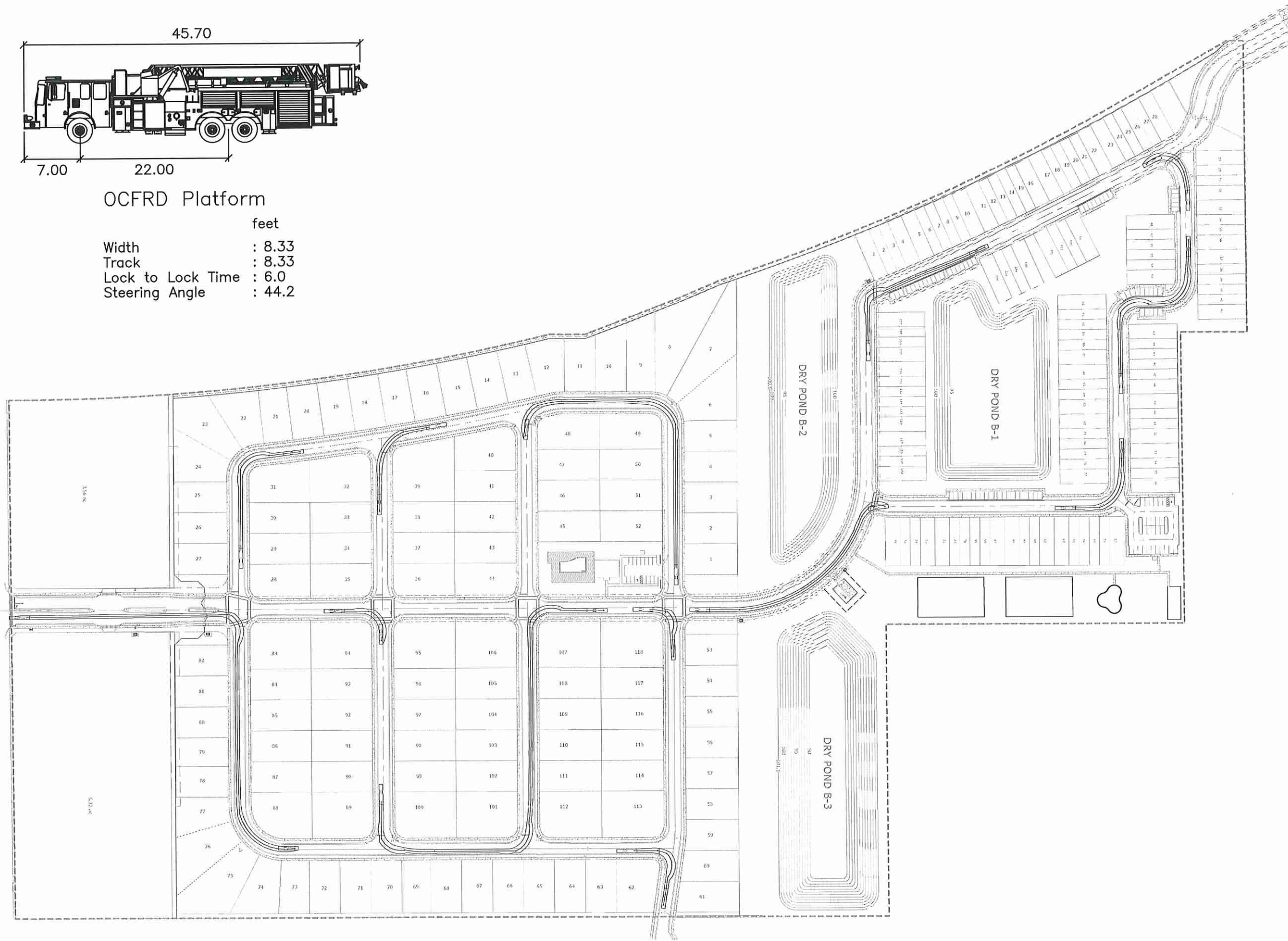


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OCFRD Platform

- feet
- Width : 8.33
 - Track : 8.33
 - Lock to Lock Time : 6.0
 - Steering Angle : 44.2



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 CIVIL ENGINEERING LAND PLANNING PERMITTING SERVICES
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 (407) 872-1515
 www.evansenginc.com
 CERTIFICATE OF AUTHORIZATION NO. 02003788

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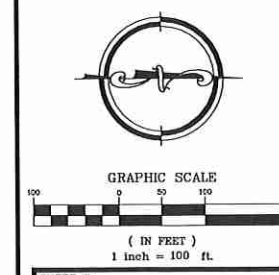
DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE:

OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
 FIRE TRUCK TURNING RADIUS
 (PLATFORM)

REVISIONS	DATE	NO.	DETAIL	BY

DRAWN BY: JSK	DATE: MAR, 2018
CHECKED BY: DLE	JOB #: 25801



SHEET #:
12.1

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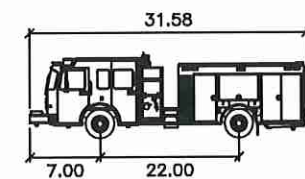
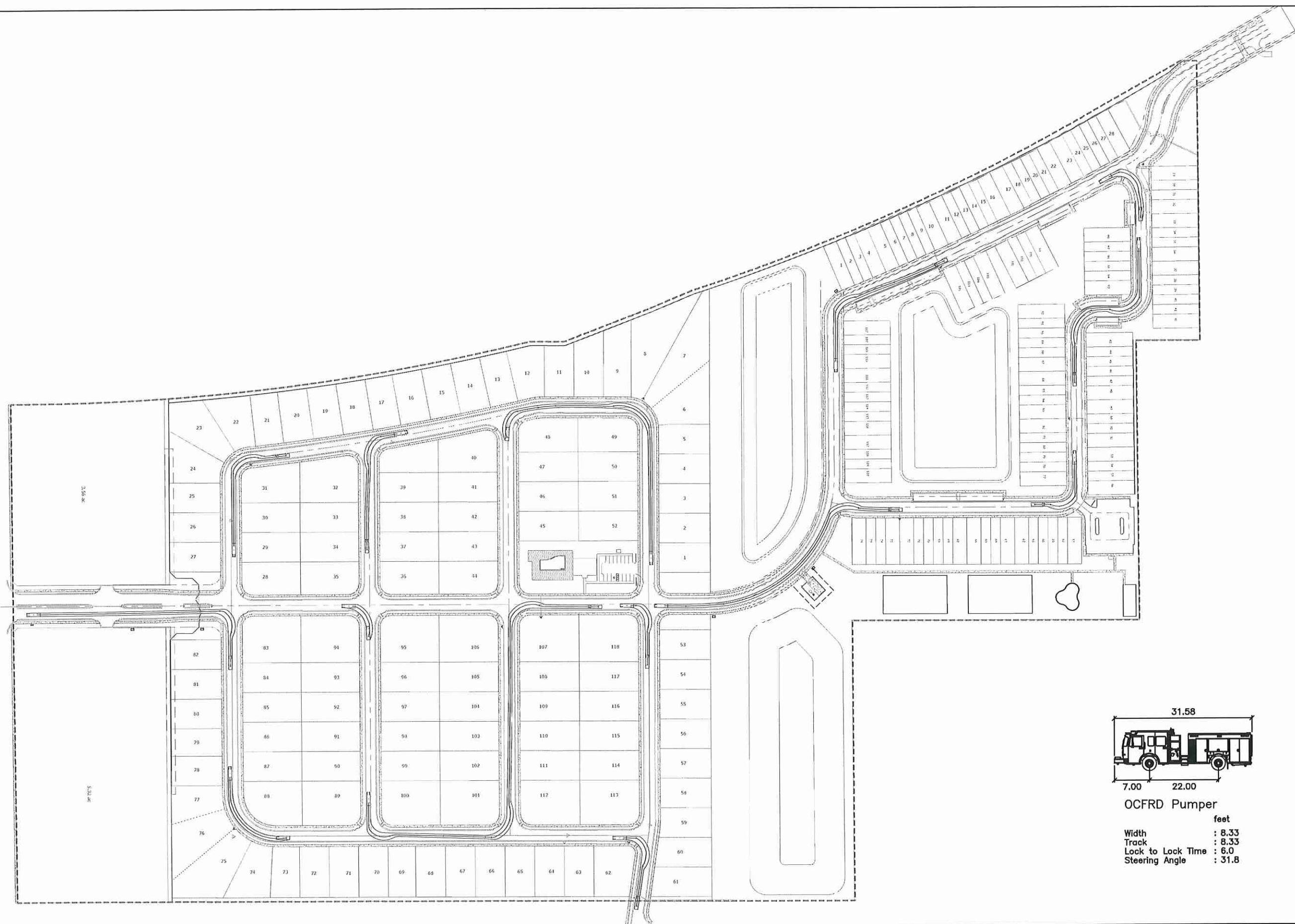
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EVANS ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 6788

DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE: _____

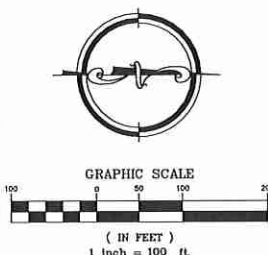
OAK POINTE - SOUTH
 FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
FIRE TRUCK TURNING RADIUS (PUMPER)



OCFRD Pumper
 feet
 Width : 8.33
 Track : 8.33
 Lock to Lock Time : 6.0
 Steering Angle : 31.8

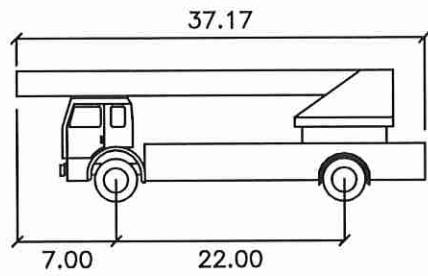
REVISIONS	DATE	NO.	DETAIL	BY

DRAWN BY: JSK	DATE: MAR, 2018
CHECKED BY: DLE	JOB #: 25801



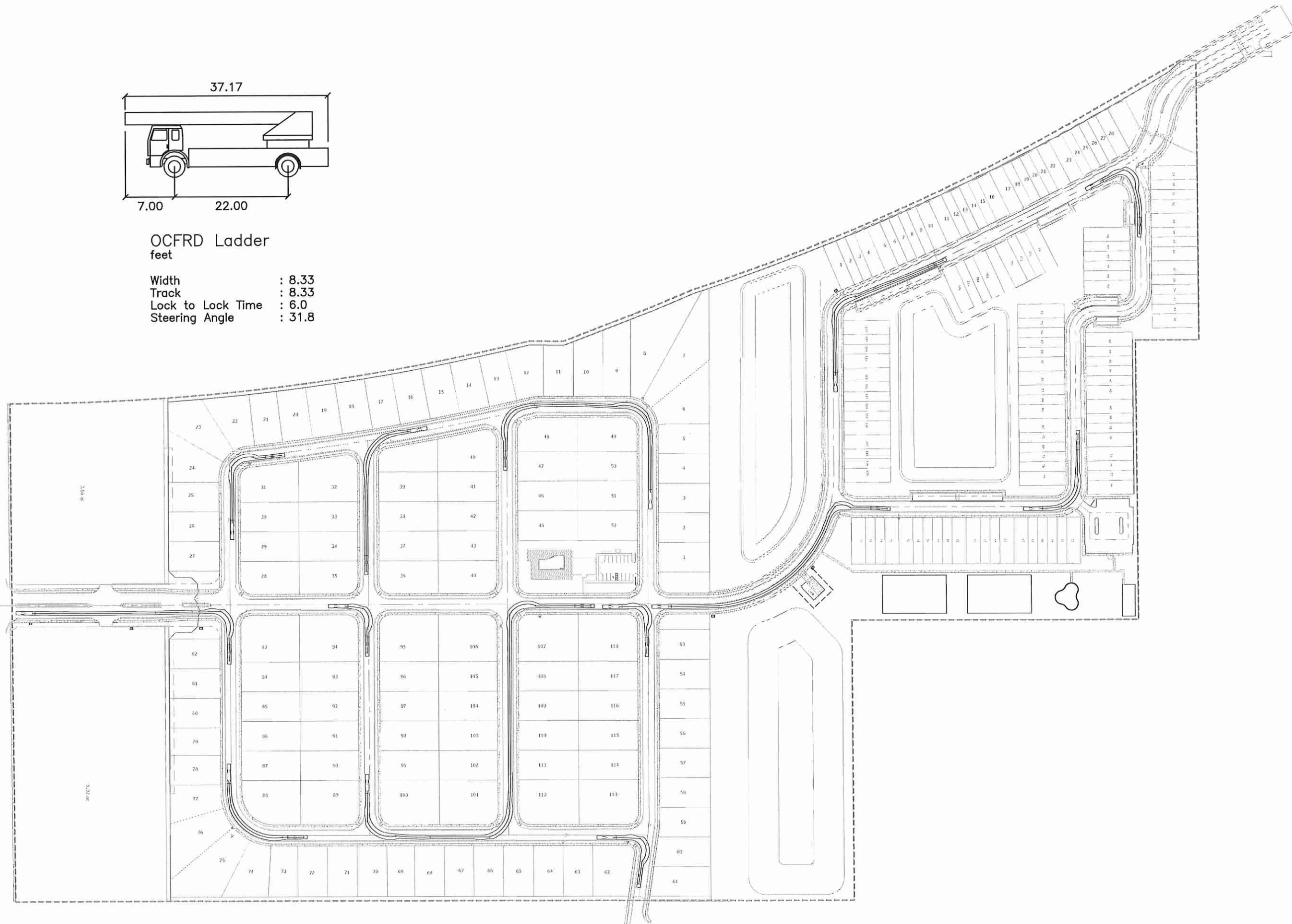
SHEET #:
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OCFRD Ladder
feet

Width : 8.33
Track : 8.33
Lock to Lock Time : 6.0
Steering Angle : 31.8



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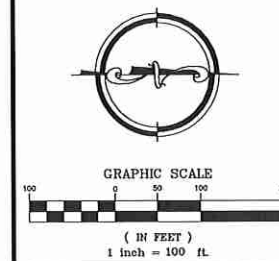
DAVID L. EVANS
 FLORIDA P.E. NO. 46586

DATE: _____

OAK POINTE - SOUTH
FINAL CONSTRUCTION PLANS
 CITY OF APOPKA, FLORIDA
FIRE TRUCK TURNING RADIUS (LADDER)

REVISIONS	DATE	NO.	DETAIL	BY

DRAWN BY: JSK DATE: MAR, 2018
 CHECKED BY: DLE JOB #: 25801



SHEET #:
12.3

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 \L:\000\25801 - Oak Pointe\Drawings\Final\12.3\12.3.dwg - FIRE TRUCK - LADDER (LADDER) - Final.dwg - Sep 12, 2018 - 10:27am by dleja

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STATE ROAD 429

MATCHLINE - SEE SHEET L-2

MATCHLINE - SEE SHEET L-2

EXISTING TREE TO BE PRESERVED

EXISTING TREES TO BE PRESERVED

HATCHING INDICATES LIMITS OF TREE REMOVAL

HATCHING INDICATES LIMITS OF TREE REMOVAL

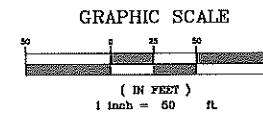
TREE LOCATION AND NUMBER (TYP)

THIS PARCEL IS NOT INCLUDED (FUTURE COMMERCIAL) 3.56 ac

THIS PARCEL IS NOT INCLUDED (FUTURE COMMERCIAL) 5.32 ac

W. McCORMICK ROAD (60' R/W)

- 113
- 112
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- 4
- 3
- 2
- 1



TREE REMOVAL PLAN

(SHEET 1 OF 4)

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE

REG. NO.

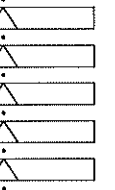
DATE



SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN
PO BOX 94833 • HAITLAND, FLORIDA 32714 • PH: (407) 374-1472
LICENSE NO. LC20000487 • DESIGN@SCHWEIZERBOJACK.COM

OAK POINTE - SOUTH
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703



4/06/18
DRAWN BY: RB
SHEET NUMBER

L-1

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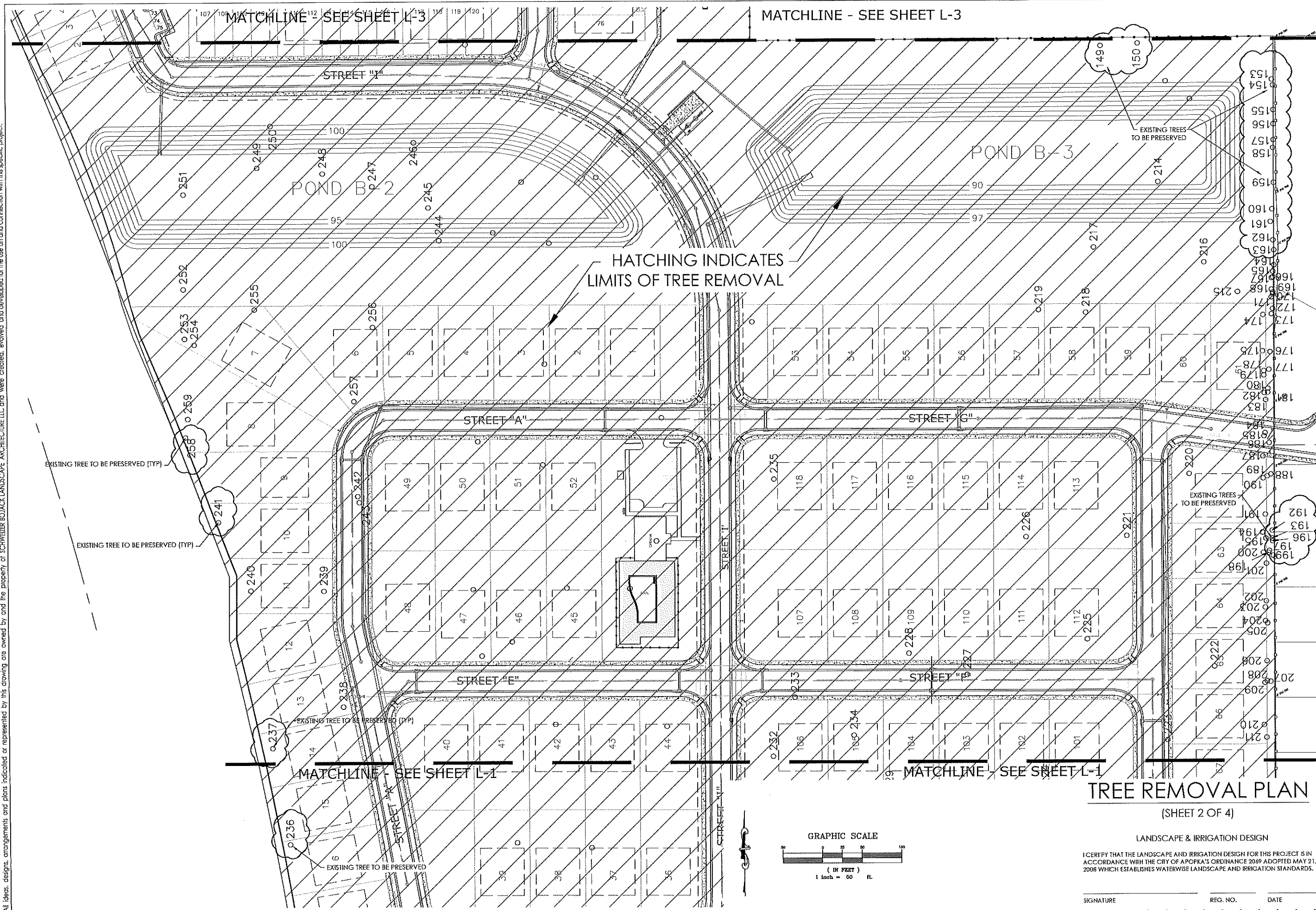


SCHWEIZER
BOJACK
LANDSCAPE
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LIC# 06120000467 • DESIGN@SCHWEIZERBOJACK.COM

OAK POINTE - SOUTH
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

4/06/18
DRAWN BY: KB
SHEET NUMBER
L-2



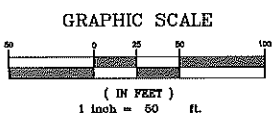
HATCHING INDICATES
LIMITS OF TREE REMOVAL

MATCHLINE - SEE SHEET L-3

MATCHLINE - SEE SHEET L-3

MATCHLINE - SEE SHEET L-1

MATCHLINE - SEE SHEET L-1



TREE REMOVAL PLAN

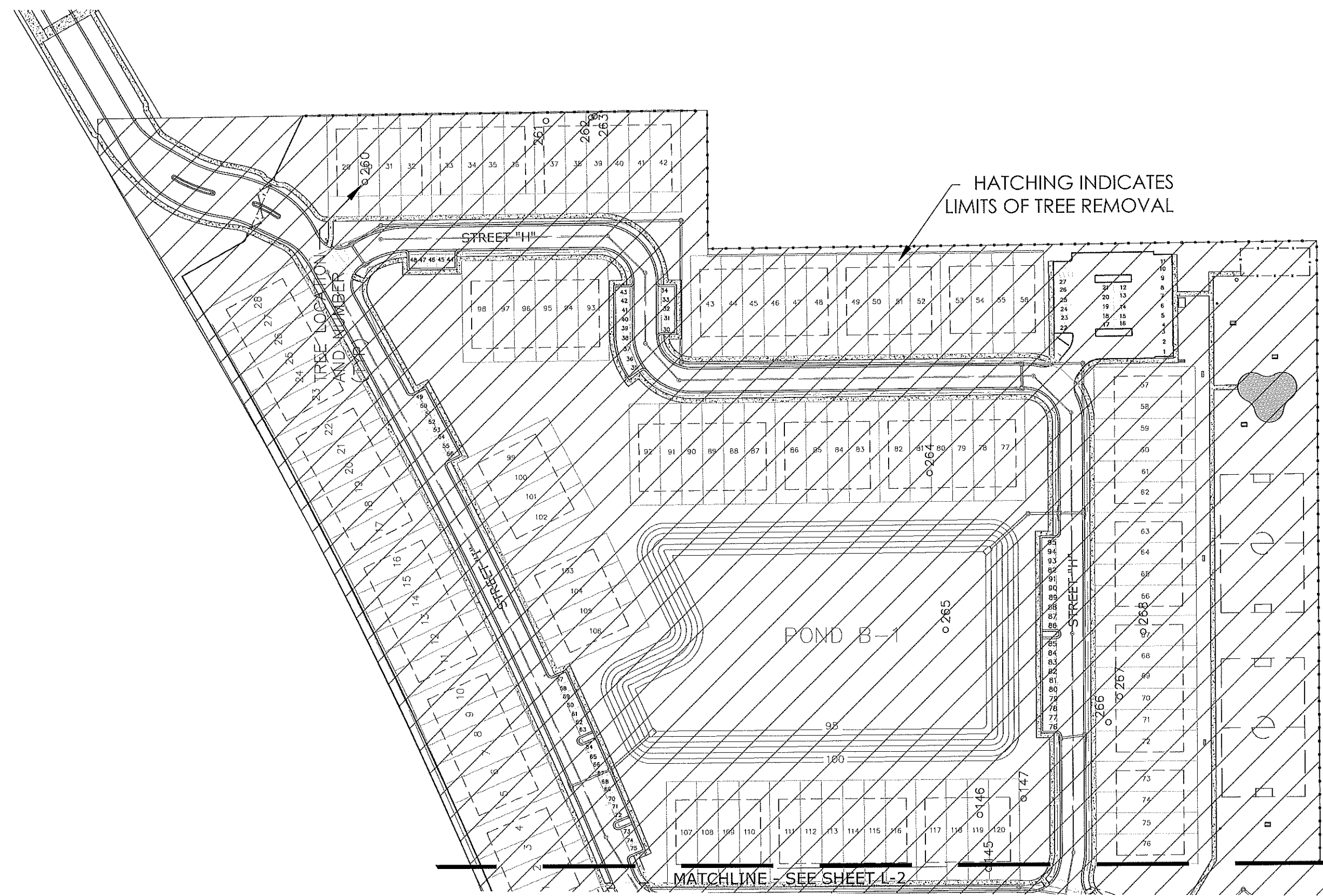
(SHEET 2 OF 4)

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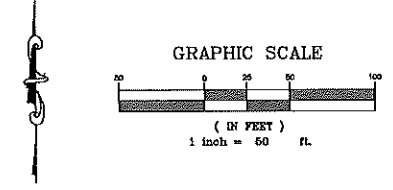
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HATCHING INDICATES
LIMITS OF TREE REMOVAL

MATCHLINE - SEE SHEET L-2



TREE REMOVAL PLAN
(SHEET 3 OF 4)

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LICENSE NO. LC18000487 • DESIGN: SCHWEIZERBOJACK.COM

OAK POINTE - SOUTH
15277 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

TREE REMOVAL

TREE NO.	SPECIES	DIAMETER (INCHES)	QUANTITY
1	OAK	6	SINGLE
2	PINE	14	SINGLE
3	PINE	8	SINGLE
4	PINE	12	SINGLE
12	OAK	24	SINGLE
13	OAK	24 *	SINGLE
14	OAK	24	SINGLE
16	OAK	23	DOUBLE
17	OAK	38	SINGLE
35	OAK	24	SINGLE
36	OAK	36	SINGLE
37	OAK	26	SINGLE
38	OAK	30	SINGLE
39	OAK	24	DOUBLE
40	OAK	28	SINGLE
41	OAK	64	SINGLE
42	CABBAGE PALM	30	SINGLE
43	OAK	32	SINGLE
44	OAK	28	SINGLE
45	OAK	30	SINGLE
46	OAK	22	SINGLE
47	OAK	30	SINGLE
114	OAK	26	SINGLE
115	OAK	24*	SINGLE
116	OAK	24	SINGLE
117	OAK	30	SINGLE
118	OAK	28	SINGLE
119	OAK	32	SINGLE
120	OAK	30	SINGLE
121	OAK	44	SINGLE
122	OAK	28	SINGLE
123	OAK	30	SINGLE
124	OAK	30	SINGLE
125	OAK	42	SINGLE
126	OAK	34	SINGLE
127	OAK	26	SINGLE
128	OAK	30	SINGLE
129	OAK	30	SINGLE
130	OAK	46	SINGLE
131	OAK	28	SINGLE
132	OAK	28	SINGLE
133	OAK	52	SINGLE
134	OAK	24	SINGLE
135	OAK	34	SINGLE
136	OAK	24	SINGLE
137	OAK	32	SINGLE
138	OAK	24	SINGLE
139	OAK	32	SINGLE
140	OAK	80	SINGLE
141	OAK	24	SINGLE
142	OAK	26	SINGLE
143	OAK	40	SINGLE
144	OAK	24	SINGLE
145	OAK	22	SINGLE
146	OAK	24	SINGLE
147	OAK	44	SINGLE
148	OAK	26	SINGLE
151	OAK	42	SINGLE
152	OAK	36	SINGLE
164	OAK	8	SINGLE
165	OAK	8	SINGLE
166	OAK	32	SINGLE
167	OAK	8	SINGLE
168	OAK	6	SINGLE
169	OAK	14	SINGLE
170	OAK	12	SINGLE
171	OAK	8	SINGLE
172	OAK	6	DOUBLE
173	OAK	18	SINGLE
174	OAK	10	SINGLE
175	OAK	20	SINGLE
176	OAK	20	SINGLE
177	OAK	10	SINGLE
178	OAK	6	DOUBLE
179	OAK	8	SINGLE
180	OAK	12	SINGLE
181	OAK	38	SINGLE
182	OAK	24	SINGLE

TREE PRESERVATION

TREE NO.	SPECIES	DIAMETER (INCHES)	QUANTITY
183	OAK	8	DOUBLE
184	OAK	22	SINGLE
185	OAK	28	SINGLE
186	OAK	12	SINGLE
187	OAK	6	SINGLE
188	OAK	14	SINGLE
189	OAK	12	SINGLE
190	OAK	12	SINGLE
191	OAK	48	SINGLE
194	OAK	24	SINGLE
195	OAK	18	DOUBLE
200	CABBAGE PALM	16	SINGLE
201	OAK	14	SINGLE
202	CABBAGE PALM	14	SINGLE
203	OAK	8	SINGLE
204	OAK	8	DOUBLE
205	OAK	32	SINGLE
206	OAK	14	DOUBLE
207	OAK	20	SINGLE
208	OAK	14	SINGLE
209	OAK	30	SINGLE
210	OAK	28	SINGLE
211	OAK	6	3-4 CLUSTER
212	CABBAGE PALM	16	SINGLE
213	OAK	10	3-4 CLUSTER
214	OAK	32	SINGLE
215	OAK	40	SINGLE
216	OAK	36	SINGLE
217	OAK	24	TRIPLE
218	OAK	30	SINGLE
219	OAK	36	SINGLE
220	OAK	42	SINGLE
221	OAK	42	SINGLE
222	OAK	50	SINGLE
223	OAK	40	SINGLE
224	OAK	28	SINGLE
225	OAK	26	TRIPLE
226	OAK	42	SINGLE
227	OAK	40	DOUBLE
228	OAK	38	SINGLE
229	OAK	24	TRIPLE
230	OAK	32	SINGLE
231	OAK	26	SINGLE
232	OAK	22	SINGLE
233	OAK	44	SINGLE
234	OAK	46	SINGLE
235	OAK	30	SINGLE
236	OAK	26	SINGLE
239	OAK	28	SINGLE
240	OAK	18	TRIPLE
242	OAK	30	SINGLE
243	OAK	30	SINGLE
244	OAK	20	SINGLE
245	OAK	18	SINGLE
246	OAK	18	SINGLE
247	OAK	26	SINGLE
248	OAK	18	SINGLE
249	OAK	24	SINGLE
250	OAK	20	SINGLE
251	OAK	32	SINGLE
252	OAK	34	SINGLE
253	OAK	40	SINGLE
254	OAK	42	SINGLE
255	OAK	34	SINGLE
256	OAK	68	SINGLE
257	OAK	28	SINGLE
258	OAK	18	SINGLE
259	OAK	20	SINGLE
260	OAK	26	SINGLE
261	OAK	28	SINGLE
262	OAK	18	SINGLE
263	OAK	16	DOUBLE
264	OAK	52	SINGLE
265	OAK	42	SINGLE
266	OAK	26	SINGLE
267	OAK	26	SINGLE
268	OAK	34	SINGLE
269	OAK	30	SINGLE

TREE NO.	SPECIES	DIAMETER (INCHES)	QUANTITY
49	OAK	12	SINGLE
50	OAK	32	SINGLE
51	OAK	28	SINGLE
52	OAK	14	SINGLE
53	OAK	16	SINGLE
54	OAK	14	SINGLE
55	OAK	16	SINGLE
56	OAK	14	SINGLE
57	OAK	64	SINGLE
58	OAK	18	SINGLE
59	OAK	14	SINGLE
60	OAK	18	SINGLE
61	OAK	30	SINGLE
62	OAK	8	SINGLE
63	OAK	8	SINGLE
64	OAK	20	SINGLE
65	OAK	12	SINGLE
66	OAK	16	SINGLE
67	OAK	20	SINGLE
68	OAK	6	SINGLE
69	OAK	18	SINGLE
70	OAK	16	SINGLE
71	OAK	8	SINGLE
72	OAK	18	SINGLE
73	OAK	6	SINGLE
74	OAK	20	SINGLE
149	OAK	10	SINGLE
150	PINE	10	SINGLE
153	OAK	32	SINGLE
154	OAK	10	SINGLE
155	OAK	28	SINGLE
156	OAK	26	SINGLE
157	OAK	18	SINGLE
158	OAK	12	SINGLE
159	OAK	28	SINGLE
160	OAK	12	SINGLE
161	OAK	6	SINGLE
162	OAK	26	SINGLE
163	OAK	8	SINGLE
192	OAK	10	SINGLE
193	OAK	10	SINGLE
196	OAK	8	SINGLE
197	CABBAGE PALM	14	SINGLE
198	OAK	12	SINGLE
199	OAK	12	SINGLE
236	OAK	60	SINGLE
237	OAK	38	SINGLE
241	OAK	20	SINGLE

PROPOSED TREE REPLACEMENT (SEE L-6)

9 LIVE OAKS (QV1) x 3.5" DBH =	31.5"
142 LIVE OAKS (QV2) x 3" DBH =	426"
146 LIVE OAKS (QV3) x 3" DBH =	438"
12 MAGNOLIAS (MG1) x 3" DBH =	36"
26 MAGNOLIAS (MG2) x 3" DBH =	78"
62 BALD CYPRESS (TD1) x 3" DBH =	186"
17 BALD CYPRESS (TD1) x 3" DBH =	51"
26 RED MAPLES (AR) x 3" DBH =	78"
19 WINGED ELMS (UA) x 3" DBH =	57"
236 LOT CANOPY TREES x 3" DBH =	708"
53 RED CEDARS (JV) x 3" DBH =	159"
34 YAUPON HOLLIES (IV) x 3" DBH =	102"
35 CRAPE MYRTLES (LI-1) x 3" DBH =	105"
36 CRAPE MYRTLES (LI-2) x 3" DBH =	108"
33 ELAEOCARPUS (EO) x 3" DBH =	99"

886 PROPOSED TREES = 2,662.5"

TREE REMOVAL DATA

TOTAL EXISTING TREES TO BE REMOVED:	143 TREES (4,108")
SPECIMEN TREES (≥24" DBH) REMOVED:	91 TREES (3,224")
PROTECTED TREES (<24" DBH) REMOVED:	52 TREES (884")

(NOTE: CABBAGE PALMS & TREES UNDER 6" DBH NOT INCLUDED)

TREE PRESERVATION DATA

TOTAL EXISTING TREES TO BE PRESERVED:	47 TREES (862")
SPECIMEN TREES (≥24" DBH) PRESERVED:	11 TREES (392")
PROTECTED TREES (<24" DBH) PRESERVED:	36 TREES (470")

(NOTE: CABBAGE PALMS & TREES UNDER 6" DBH NOT INCLUDED)

TREE REQUIREMENT (MAX. TREE STOCK CALCULATION)

TOTAL SITE AREA:	3,022,193 SQ. FT. (69.38 ACRES)
TREES REQUIRED:	378 TREES (1 TREE/8,000 SQ. FT.)
TREES PROVIDED:	886 PROPOSED TREES (INCLUDES BUFFER TREES)

ARBOR TREE CALCULATION; (MAX. REPLACEMENT)

SPECIMEN TREES:

TOTAL SITE AREA:	3,022,193 SQ. FT.
LESS 6,000 SQ. FT.:	3,016,193 SQ. FT.
DIVIDED BY 1,000:	3,016 TREES
TIMES 5" DBH:	15,080 INCHES
PLUS 30 INCHES:	15,110 INCHES MAX. REPLACEMENT (SPECIMEN)

NON-SPECIMEN TREES:

TOTAL SITE AREA:	3,022,193 SQ. FT.
LESS 6,000 SQ. FT.:	3,016,193 SQ. FT.
DIVIDED BY 1,000:	3,016 TREES
TIMES 3.5" DBH:	10,557 INCHES
PLUS 21 INCHES:	10,578 INCHES MAX. REPLACEMENT (NON-SPECIMEN)

SPECIMEN REPLACEMENT REQUIRED: 3,224" (ACTUAL REMOVED)

NON-SPECIMEN REPLACEMENT REQUIRED: 884" (ACTUAL REMOVED)

TOTAL REPLACEMENT INCHES REQUIRED: 4,108"

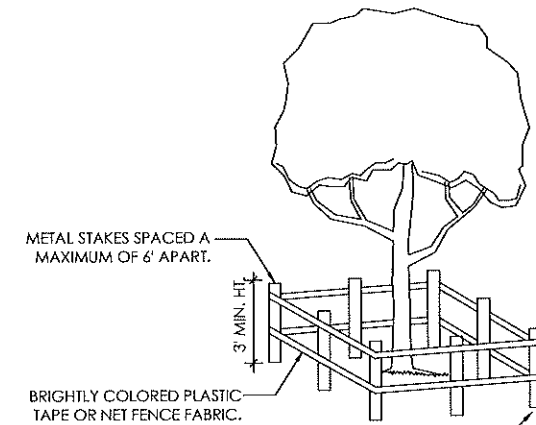
TREE MITIGATION

TOTAL REQUIRED REPLACEMENT INCHES:	4,108"
LESS PROPOSED INCHES TO BE PLANTED:	<u>2,662.5"</u>
TOTAL REMAINING MITIGATION:	1,445.5"
MULTIPLIED BY \$10 PER INCH:	<u>x \$10.00</u>
TOTAL TREE BANK PAYMENT:	\$14,455.00

TREE MITIGATION NOTE:

BEFORE SITE CLEARING CAN BEGIN, AN ARBOR AND CLEARING PERMIT MUST BE OBTAINED. THE PERMIT REQUIRES PAYMENT OF THE TREE MITIGATION FEE CALCULATED PER THE CITY'S LDC IN THE AMOUNT OF \$14,455.00.

TREE PROTECTION DETAIL



PROTECTIVE BARRIERS SHALL BE PLACED AT POINTS NOT CLOSER THAN SIX (6) FEET FROM THE BASE OF THE TREE OR AT THE RADIUS OF THE DRIP-LINE OF THE PROTECTED TREE OR STAND OF TREES, WHICHEVER IS GREATER. EACH SECTION OF THE BARRIER SHALL BE CLEARLY VISIBLE (FLAGGED WITH BRIGHTLY COLORED PLASTIC TAPES OR OTHER MARKERS). NO ATTACHMENTS OR WIRES OTHER THAN THOSE OF A PROTECTIVE OR NON-DAMAGING NATURE SHALL BE ATTACHED TO ANY TREE.

TREE PROTECTION NOTES

ALL PROTECTED TREE SHALL HAVE THE TRUNK AND ROOTS PROTECTED BY PROTECTIVE BARRIERS ERECTED PRIOR TO DEVELOPMENT ACTIVITY IN ACCORDANCE WITH THE FOLLOWING:

1. PROTECTIVE BARRIERS CONSTRUCTED OF WOOD RAILS, CHAIN LINK FABRIC OR ORANGE PLASTIC SAFETY NETTING SHALL BE PLACED AROUND THE TREE OR TREES TO FORM A CONTINUOUS BARRICADE AT LEAST FOUR FEET HIGH. IDEALLY SUCH BARRIERS WILL FORM A PROTECTION ZONE DESCRIBED BY THE DRIP LINE.
2. PROTECTIVE BARRIERS SHALL REMAIN IN PLACE UNTIL LANDSCAPE OPERATIONS BEGIN OR UNTIL CONSTRUCTION IN THE IMMEDIATE AREA HAS BEEN COMPLETED.
3. TRENCHING FOR UNDERGROUND UTILITIES SHALL BE PROHIBITED INSIDE THE PROTECTIVE BARRIERS. IF UNDERGROUND UTILITIES MUST BE ROUTED THROUGH THE PROTECTED AREA, TUNNELING SHALL BE REQUIRED. ALL LANDSCAPE PREPARATION IN THESE AREAS SHALL BE CONDUCTED BY HAND, EXCEPT FOR MECHANICAL TUNNELING AS NEEDED.
4. NO VEHICLES, EQUIPMENT, MATERIALS OR FILL SHALL BE PLACED OR STORED WITHIN THE PROTECTED AREA.

TREE REMOVAL & TREE PRESERVATION TABLE NOTES:

1. TREES #13 & #115 SIZES CHANGED DUE TO ERROR IN SIZE REPORTED ON TREE SURVEY FOUND DURING SITE ANALYSIS BY LANDSCAPE ARCHITECT (INDICATED BY *).
2. TREES #145, #148, #222, #238, #249, #251, #253, #254 & #260 OMITTED FROM TREE MITIGATION CALCULATIONS DUE TO EXTREME POOR HEALTH AND/OR DISEASE (INDICATED BY STRIKE THROUGH).
3. TREES #5 THRU #11, #15, #18 THRU #34, #48, & #74 THRU #113 HAVE BEEN OMITTED FROM THE TREE REMOVAL & TREE PRESERVATION TABULATIONS AS THEY ARE OUTSIDE THE LIMITS OF THE PROJECT.
4. CABBAGE PALMS (#42, #198, #200, #202 & #212) HAVE BEEN OMITTED FROM THE TREE REMOVAL & TREE PRESERVATION TABULATIONS DUE TO "NON-PROTECTED" STATUS (INDICATED BY STRIKE THROUGH).

TREE REMOVAL PLAN

(SHEET 4 OF 4)

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE

REG. NO.

DATE

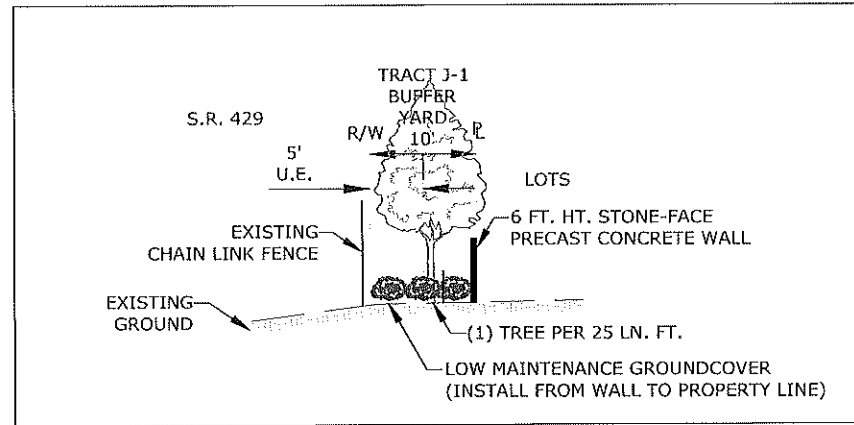
4/06/18

DRAWN BY: RB

SHEET NUMBER

L-4

TYPICAL WESTERN LANDSCAPE BUFFER SECTION (SCALE: N.T.S.)



LANDSCAPE DEVELOPMENT NOTES:

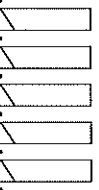
- DEVELOPER** RESPONSIBLE FOR INSTALLING LANDSCAPING & IRRIGATION IN THE FOLLOWING AREAS:
 - NORTH & SOUTH ENTRANCES
 - LIVE OAK STREET TREES (QV2) ALONG STREET "I" RIGHT-OF-WAY (FROM MCCORMICK RD. TO CELL TOWER)
 - PERIMETER WALL & EASTERN, SOUTHERN & WESTERN BUFFER PLANTINGS
 - PARK/RECREATION AREA & RETENTION PONDS (EXCLUDING POOL/CABANA)
- HOME-BUILDER** RESPONSIBLE FOR INSTALLING ALL OTHER LANDSCAPING & IRRIGATION NOT OUTLINED ABOVE UPON COMPLETION OF EACH HOME/TOWNHOME OR AMENITY AREA.



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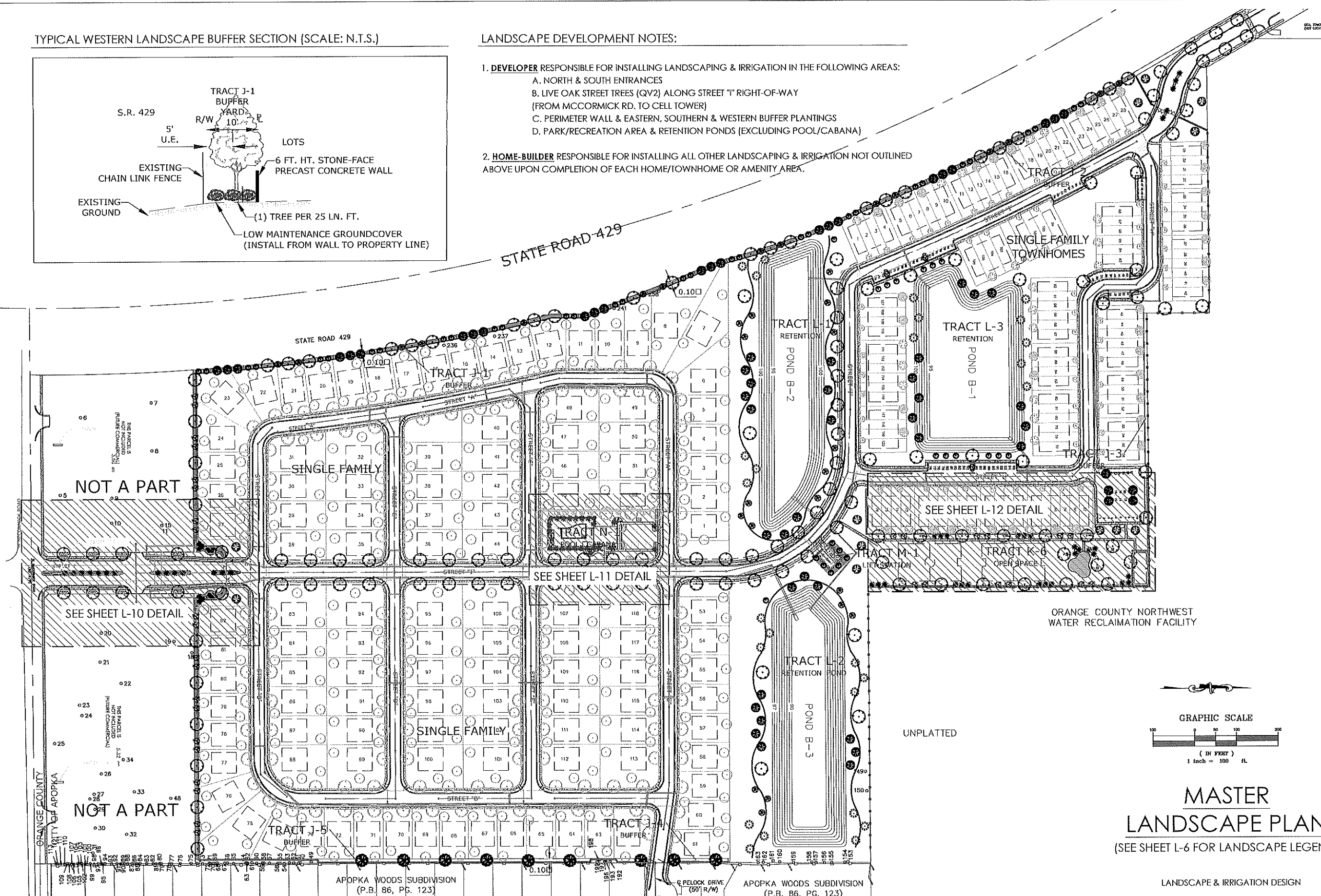
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OAK POINTE - SOUTH
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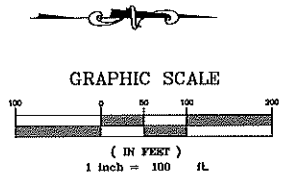
4/06/18
DRAWN BY: RB
SHEET NUMBER

L-5



ORANGE COUNTY NORTHWEST
WATER RECLAMATION FACILITY

UNPLATTED



MASTER
LANDSCAPE PLAN
(SEE SHEET L-6 FOR LANDSCAPE LEGEND)

LANDSCAPE & IRRIGATION DESIGN

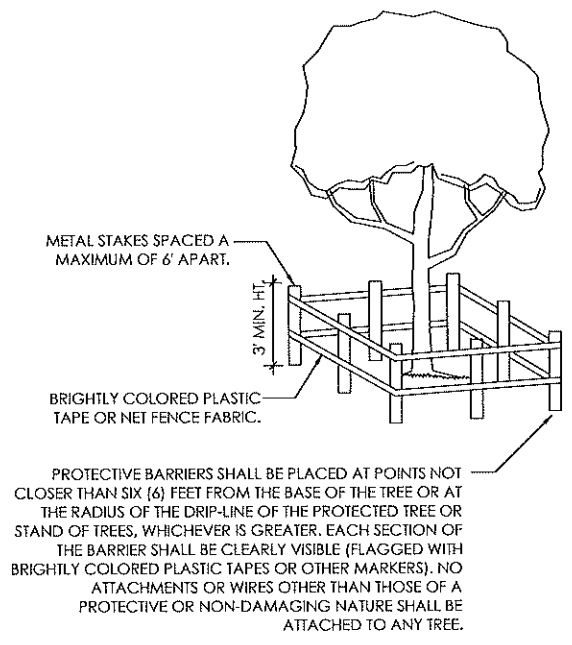
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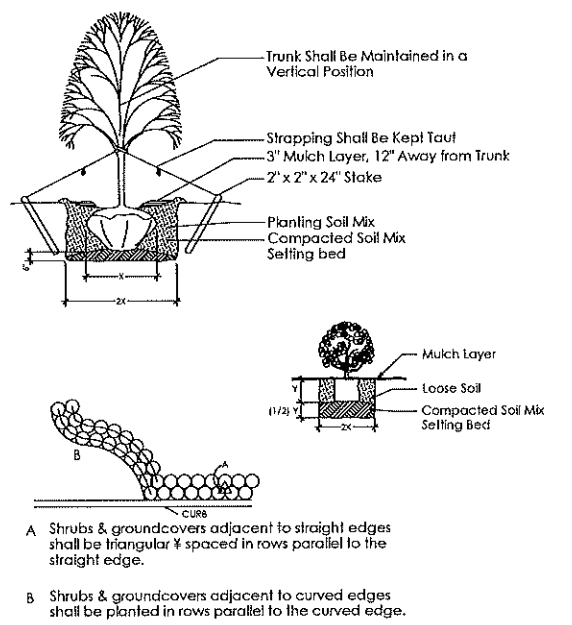
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TREE PROTECTION DETAIL



PLANTING DETAILS



SOD & MULCH SPECIFICATIONS:

- DEVELOPER** TO INSTALL PROPOSED "SOD" & "HYDROSEED". "SOD" TO BE SOLID ARGENTINE BAHIA (PASPALUM NOTATUM) AS INDICATED ON PLANS. "HYDROSEED" TO BE A SLURRY OF ARGENTINE BAHIA SEED, MULCH & NUTRIENTS.
- HOME-BUILDER** TO INSTALL & IRRIGATE PROPOSED "SOD-2" AREAS (POOL/CABANA ONLY). "SOD-2" TO BE SOLID ST. AUGUSTINE "FLORATAM" SOD (STENOTAPHRUM SECUNDATUM "FLORATAM").
- DEVELOPER & HOME-BUILDER:** PINE BARK MULCH TO BE INSTALLED (MIN. 3" DEPTH) IN ALL PROPOSED PLANTING AREAS & AROUND TREES PER THE TREE PLANTING DETAIL (THIS SHEET).

MASTER PLANT MATERIALS LEGEND

SYMBOL	KEY	QNTY.	COMMON/BOTANICAL NAME	SPECIFICATIONS/DESCRIPTION
PROPOSED TREES, PALMS & ACCENTS:				
	QV1	9	Live Oak <i>Quercus virginiana</i>	3 1/2" DBH, 12' - 14' Ht., 100 Gal. or B&B
	QV2	142	Live Oak <i>Quercus virginiana</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
	QV3	146	Live Oak <i>Quercus virginiana</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B <i>(Installed by Home-Builder after Construction)</i>
	MG1	12	Southern Magnolia <i>Magnolia grandiflora</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
	MG2	26	Southern Magnolia <i>Magnolia grandiflora</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B <i>(Installed by Home-Builder after Construction)</i>
	TD1	62	Bald Cypress <i>Taxodium distichum</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
	TD2	17	Bald Cypress <i>Taxodium distichum</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B <i>(Installed by Home-Builder after Construction)</i>
	AR	26	Red Maple <i>Acer rubrum</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
	UA	19	Winged Elm <i>Ulmus alata</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B <i>(Installed by Home-Builder after Construction)</i>
	LOT	236	Canopy Tree Species to be Selected (Recommended Species: Live Oak, Magnolia, Red Maple, Chinese Elm or Winged Elm)	3" DBH, 10' - 12' Ht., 100 Gal. or B&B <i>(Installed by Home-Builder after Construction)</i>
	JV	53	Red Cedar <i>Juniperus virginiana</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
	IV	34	Upright Yaupon Holly <i>Ilex vomitoria</i>	3" Total DBH, Multi Trunk, 8'- 10' Ht., 100 Gal. or B&B
	LH-1	35	Crape Myrtle <i>Lagerstroemia indica</i>	3" Total DBH, Multi Trunk, 8'- 10' Ht., 100 Gal. or B&B
	LH-2	36	Crape Myrtle <i>Lagerstroemia indica</i>	3" Total DBH, Multi Trunk, 8'- 10' Ht., 100 Gal. or B&B <i>(Installed by Home-Builder after Construction)</i>
	ED	33	Japanese Blueberry <i>Elaeocarpus decipiens</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B <i>(Installed by Home-Builder after Construction)</i>
	IOE	10	Eagleston Holly <i>Ilex opaca 'Eagleston'</i>	2" DBH, 8'- 10' Ht., 65 Gal. or B&B
	BC	4	Pindo Palm <i>Butia capitata</i>	14' O.A. Ht., Matching Specimens <i>(Installed by Home-Builder after Construction)</i>
	SP	49	Sabal Palm <i>Sabal palmetto</i>	Slick Trunks, Overall Heights Indicated on Plans
	SP2	22	Sabal Palm <i>Sabal palmetto</i>	Slick Trunks, Overall Heights Indicated on Plans <i>(Installed by Home-Builder after Construction)</i>
	CA	10	Purple Crinum Lily <i>Crinum americanum 'Queen Emma'</i>	15 Gal., 36" O.A., Matching Specimens <i>(Installed by Home-Builder after Construction)</i>

LANDSCAPE GENERAL NOTES

- The Landscape Contractor shall insure that this work does not interrupt established or projected drainage patterns. The Landscape Contractor shall insure adequate vertical drainage in all plant beds and planters. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage.
- The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans and in the landscape specifications. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- All plant materials shall be graded Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted.
- All plant beds and tree rings shall be top dressed with a 3" minimum depth of pine bark nuggets.
- The Landscape Contractor shall be wholly responsible for stability and plumb condition of all trees and shrubs. Staking of trees or shrubs, if desired or requested by the Landscape Architect or owner, shall be done utilizing a method agreed upon by the Landscape Architect.
- No fill material or use of heavy equipment around existing trees is allowed. Existing trees are to be protected by a wood barricade erected in compliance with local codes.
- The Landscape Contractor is responsible for testing project soils. The Landscape Contractor is to provide a certified soils report to the Owner and Landscape Architect. The Landscape Contractor shall verify that the soils on site are acceptable for proper growth of the proposed plant material. Should the Landscape Contractor find poor soil conditions, the Owner and Landscape Architect must be consulted prior to planting.
- All grades, dimensions and existing conditions shall be verified by the Contractor on site before construction begins. Any discrepancies shall be brought to the attention of the Landscape Architect.
- The Landscape Contractor shall review architectural/engineering plans to become thoroughly familiar with surface and subsurface utilities.
- The Landscape Contractor shall coordinate with the lighting and irrigation contractors regarding the timing of the installation of plant material.
- Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of his negligence in the execution of work.

MASTER PLANT MATERIALS LEGEND

SYMBOL	KEY	QNTY.	COMMON/BOTANICAL NAME	SPECIFICATIONS/DESCRIPTION
PROPOSED SHRUBS & GROUNDCOVERS:				
	VO1	1,009	Sweet Viburnum <i>Viburnum odoratissimum</i>	7 Gal., 36" Min. Ht., 36" O.C.
	VO2	316	Sweet Viburnum <i>Viburnum odoratissimum</i>	7 Gal., 36" Min. Ht., 36" O.C. <i>(Installed by Home-Builder after Construction)</i>
	VO3	1,016	Walters Viburnum <i>Viburnum obovatum</i>	3 Gal., 18" Min. Ht., 36" O.C.
	PM1	163	Podocarpus Shrub <i>Podocarpus macrophyllus</i>	7 Gal., 36" Min. Ht., 24" O.C.
	PM2	326	Podocarpus Shrub <i>Podocarpus macrophyllus</i>	3 Gal., 18" Min. Ht., 18" O.C. <i>(Installed by Home-Builder after Cabana Construction)</i>
	VS	438	Sandankwa Viburnum <i>Viburnum suspensum</i>	3 Gal., 18" Min. Ht., 24" O.C.
	RD	56	Drift Roses <i>Rosa spp.</i>	3 Gal., 12" Min. Ht., 24" O.C.
	SA	224	Dwarf Variegated Schefflera <i>Schefflera arboricola 'Trinette'</i>	3 Gal., 15" Min. Ht., 24" O.C.
	SA2	148	Dwarf Variegated Schefflera <i>Schefflera arboricola 'Trinette'</i>	3 Gal., 15" Min. Ht., 24" O.C. <i>(Installed by Home-Builder after Cabana Construction)</i>
	ZP	385	Coonlie <i>Zamia pumila</i>	3 Gal., 12" Min. Ht., 30" O.C.
	IVN	250	Dwarf Yaupon Holly <i>Ilex vomitoria 'Nana'</i>	3 Gal., 12" Min. Ht., 24" O.C.
	DE	473	Gold Mound Duranta <i>Duranta erecta 'Gold Mound'</i>	3 Gal., 10" Min. Ht., 24" O.C.
	SB	749	Sand Cordgrass <i>Spartina bakeri</i>	1 Gal., 12" Min. Ht., 30" O.C.
	DF	1,130	Variegated Flax Lily <i>Dianella tasmanica 'Variegata'</i>	1 Gal., 12" Min. Ht., 30" O.C.
	MC	645	Pink Muhly Grass <i>Muhlenbergia capillaris</i>	1 Gal., 12" Min. Ht., 24" O.C.
	LEG	303	Emerald Goddess Liriope <i>Liriope muscari 'Emerald Goddess'</i>	1 Gal., 12" Min. Ht., 24" O.C. <i>(Installed by Home-Builder after Cabana Construction)</i>
	JP	780	Parson's Juniper <i>Juniperus chinensis 'Parsonii'</i>	1 Gal., Full, 30" O.C.
	JC	66	Blue Pacific Juniper <i>Juniperus conferta 'Blue Pacific'</i>	1 Gal., Full, 24" O.C. <i>(Installed by Home-Builder after Cabana Construction)</i>
	TA	574	Dwarf Asiatic Jasmine <i>Trachelospernum asiaticum 'Minima'</i>	1 Gal., Full, 18" O.C.
	TA2	471	Dwarf Asiatic Jasmine <i>Trachelospernum asiaticum 'Minima'</i>	1 Gal., Full, 18" O.C. <i>(Installed by Home-Builder after Cabana Construction)</i>

LANDSCAPE DEVELOPMENT NOTES:

- DEVELOPER** RESPONSIBLE FOR INSTALLING LANDSCAPING & IRRIGATION IN THE FOLLOWING AREAS:
 - NORTH & SOUTH ENTRANCES
 - LIVE OAK STREET TREES (QV2) ALONG STREET "I" RIGHT-OF-WAY (FROM MCCORMICK RD. TO CELL TOWER)
 - PERIMETER WALL & EASTERN, SOUTHERN & WESTERN BUFFER PLANTINGS
 - PARK/RECREATION AREA & RETENTION PONDS (EXCLUDING POOL/CABANA)
- HOME-BUILDER** RESPONSIBLE FOR INSTALLING ALL OTHER LANDSCAPING & IRRIGATION NOT OUTLINED ABOVE UPON COMPLETION OF EACH HOME/TOWNHOME OR AMENITY AREA.
- ALL PLANT MATERIALS TO BE "FLORIDA FRIENDLY".

LANDSCAPE NOTES & DETAILS

LANDSCAPE & IRRIGATION DESIGN

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SIGNATURE _____ REG. NO. _____ DATE _____



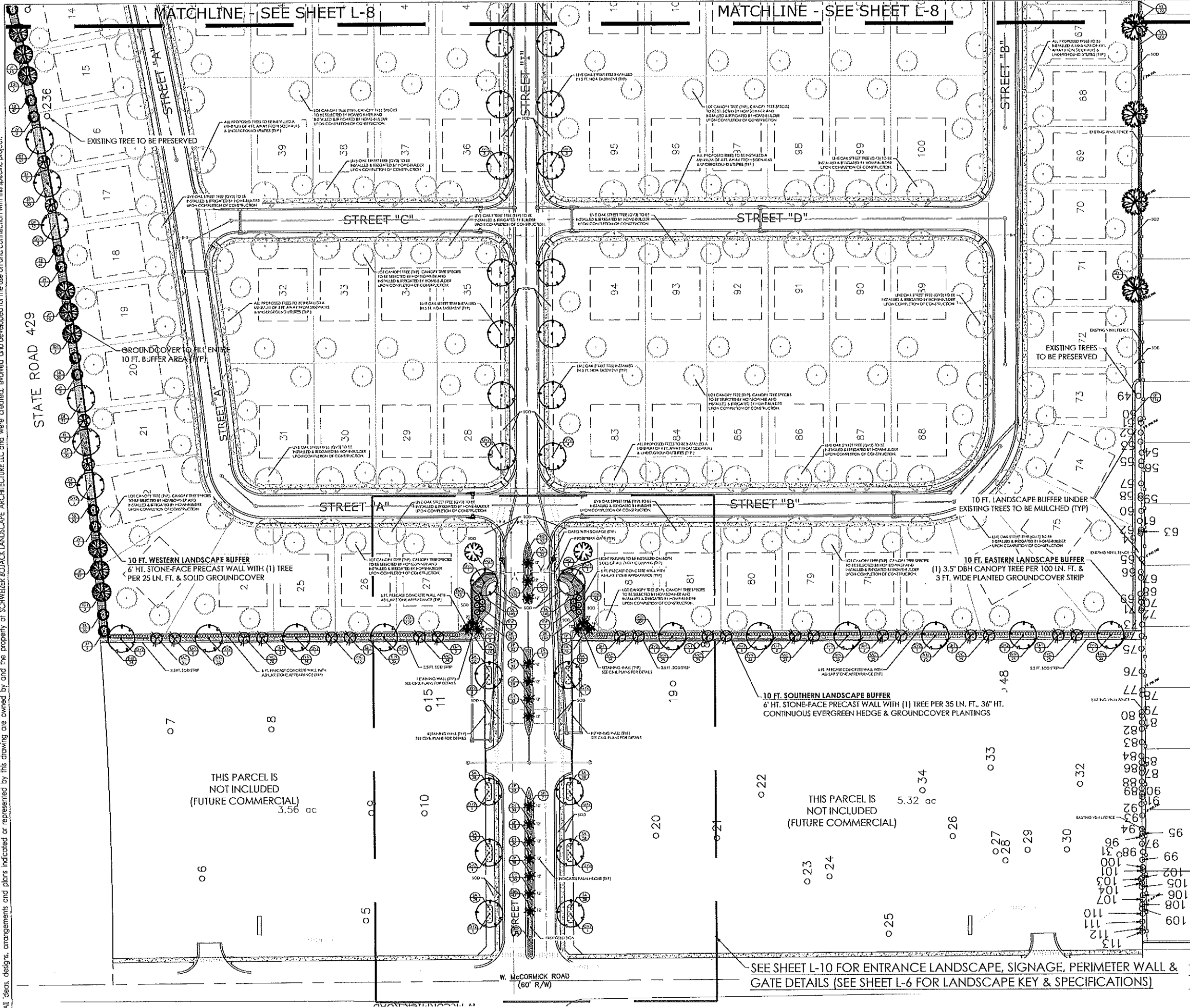
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LANDSCAPE & IRRIGATION DESIGN
PO BOX 94883 • MIAMI, FLORIDA 33174 • PH: (407) 376-1423
LIC# CE 120000467 • DESIGN@SCHWEIZERBOJACK.COM

OAK POINTE - SOUTH
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

4/06/18
DRAWN BY: KB
SHEET NUMBER
L-6

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MATCHLINE - SEE SHEET L-8

MATCHLINE - SEE SHEET L-8

STATE ROAD 429

THIS PARCEL IS NOT INCLUDED (FUTURE COMMERCIAL) 3.56 ac

THIS PARCEL IS NOT INCLUDED (FUTURE COMMERCIAL) 5.32 ac

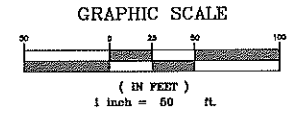
SEE SHEET L-10 FOR ENTRANCE LANDSCAPE, SIGNAGE, PERIMETER WALL & GATE DETAILS (SEE SHEET L-6 FOR LANDSCAPE KEY & SPECIFICATIONS)



SCHWEIZER BO JACK LANDSCAPE ARCHITECTURE

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LANDSCAPE PLAN

(SEE SHEET L-6 FOR LANDSCAPE LEGEND)

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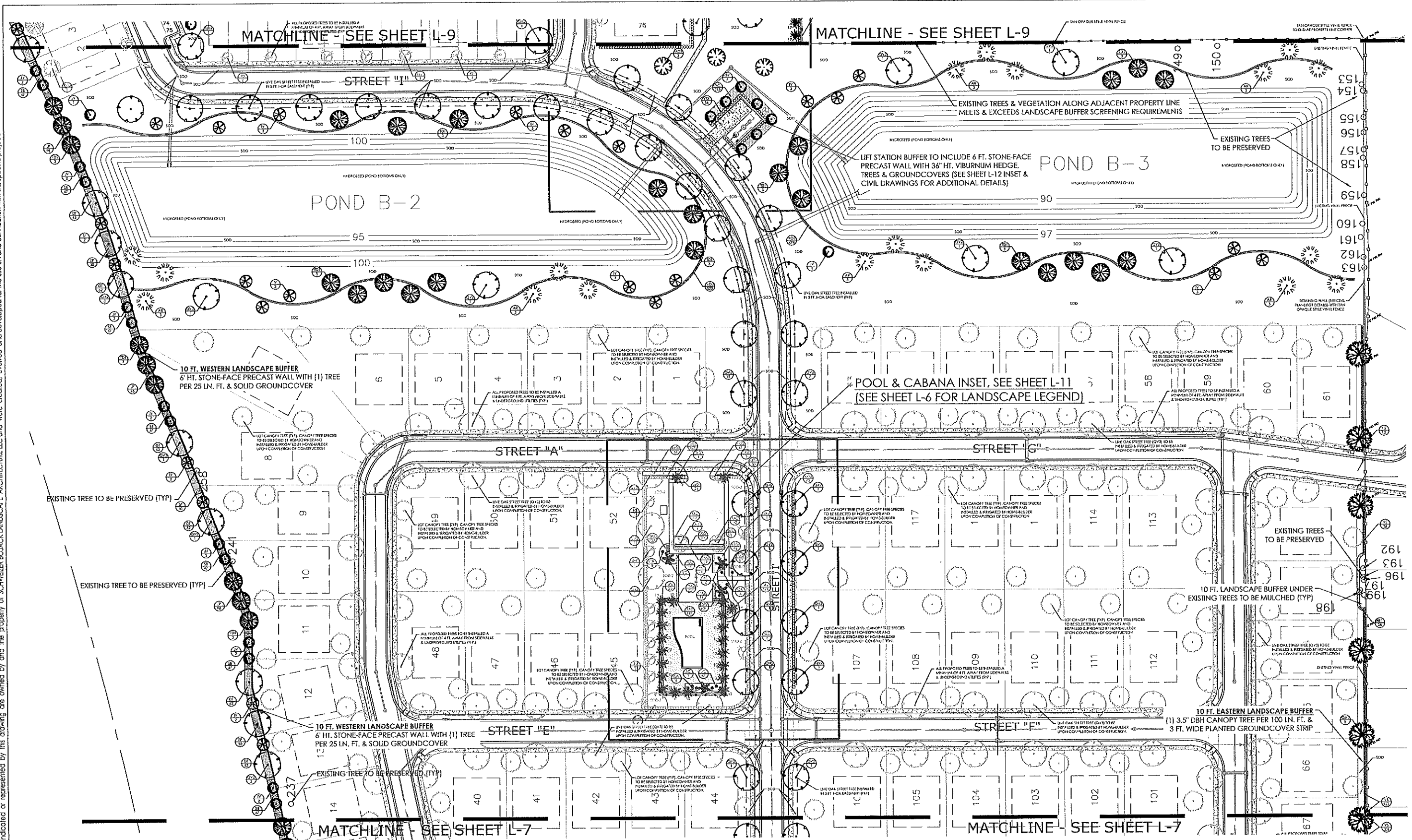


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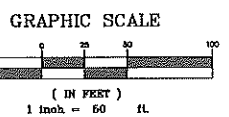


LANDSCAPE PLAN
(SEE SHEET L-6 FOR LANDSCAPE LEGEND)

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SEE INSET ON SHEET L-12 FOR TYPICAL TOWNHOME LANDSCAPE REQUIREMENTS, PARK DETAILS & LIFT STATION

EXISTING TREES & VEGETATION ALONG ADJACENT PROPERTY LINE MEETS & EXCEEDS LANDSCAPE BUFFER SCREENING REQUIREMENTS

DOG PARK WITH 5 FT. HEIGHT VINYL COATED CHAIN LINK FENCE (SEE SHEET L-12)

PICNIC TABLE, TYP. (SEE SHEET L-12)

PLAYGROUND AREA (SEE SHEET L-12)

TOWNHOME LANDSCAPE NOTES:
1. TYPICAL (T) TREE PER LOT REQUIRED.
2. LANDSCAPE TREES PROPOSED ON FRONT OF TOWNHOME TO COMPLY WITH PROPOSED LANDSCAPE SCREENING BUFFER & REGULATIONS AND TREE SYSTEMS.
3. MINIMUM SIZE OF TOWNHOME TO HAVE PLANTING. FOUNDATION PLANTING TO BE PLANTED IN PERIMETER OF 8.5 FT. FROM EXTERIOR FOUNDATION.

POND B-1

MATCHLINE - SEE SHEET L-8

MATCHLINE - SEE SHEET L-8

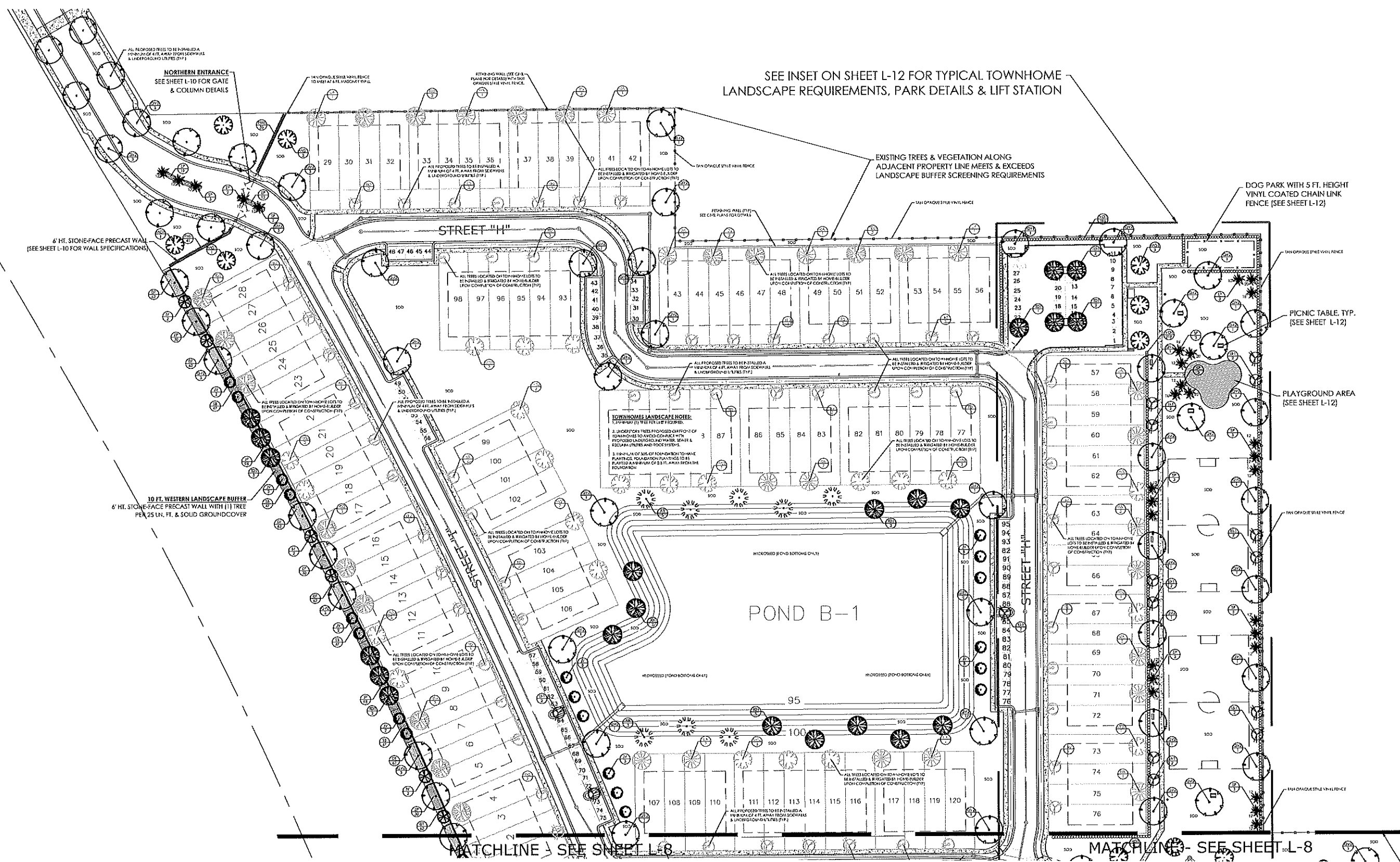
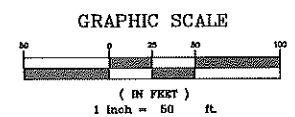
LANDSCAPE PLAN

(SEE SHEET L-6 FOR LANDSCAPE LEGEND)

LANDSCAPE & IRRIGATION DESIGN

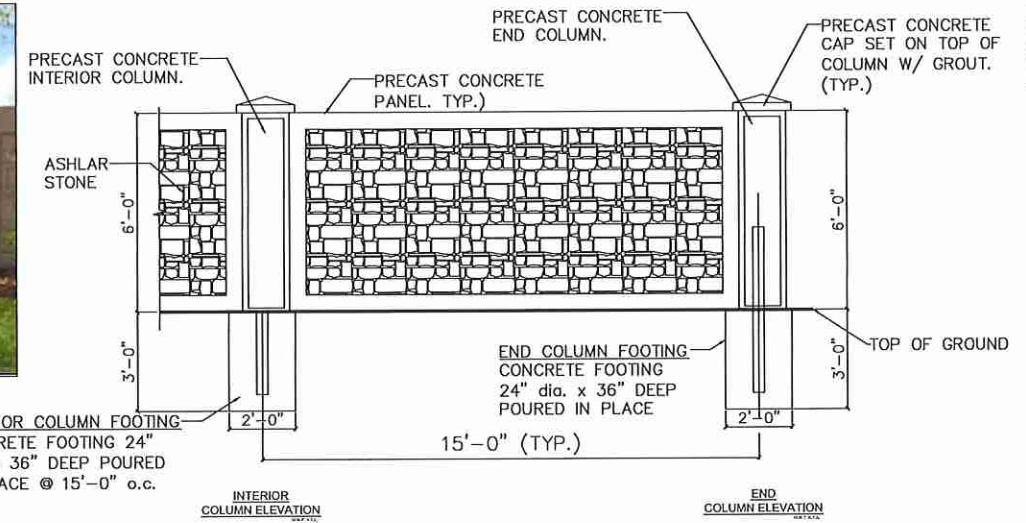
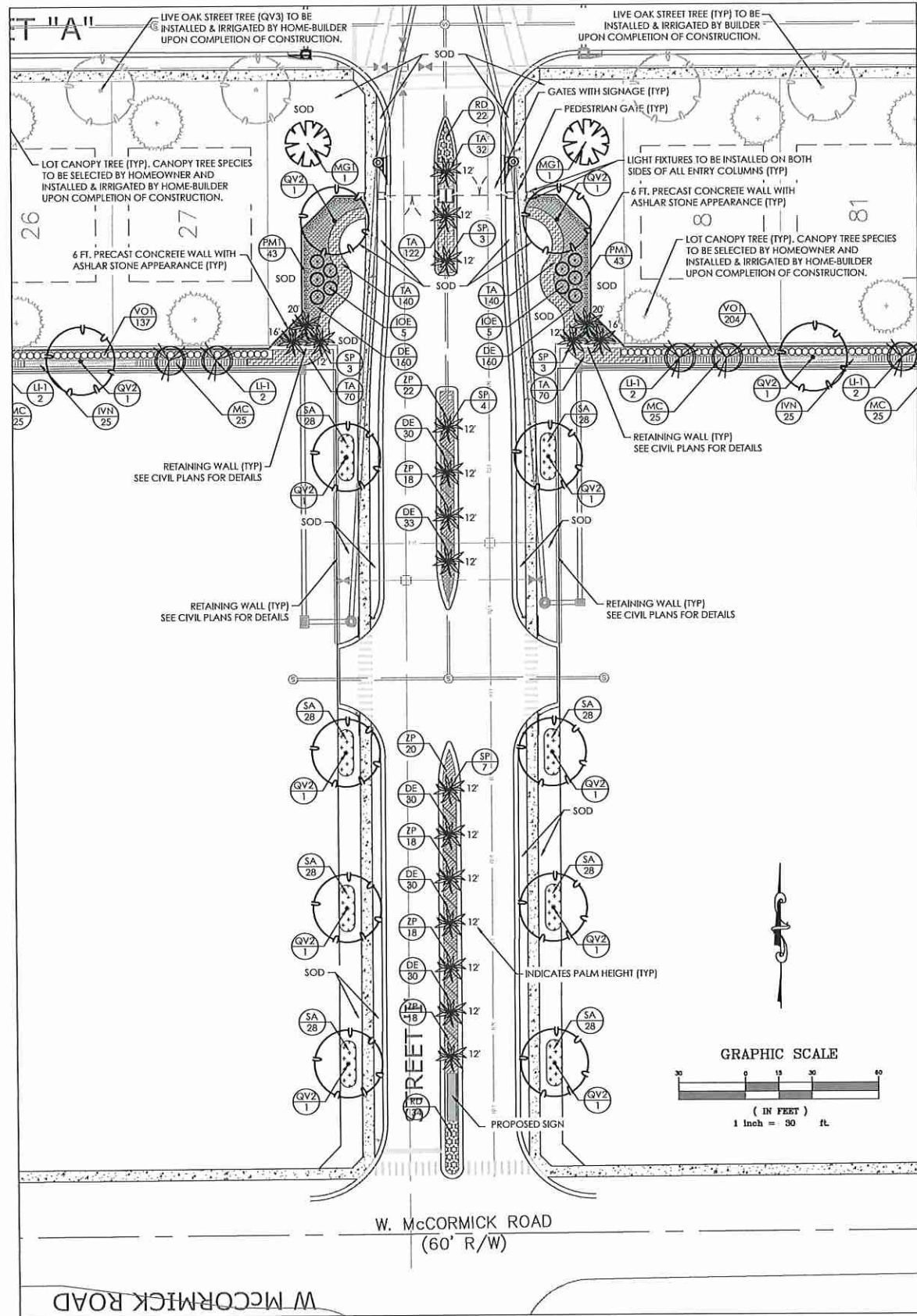
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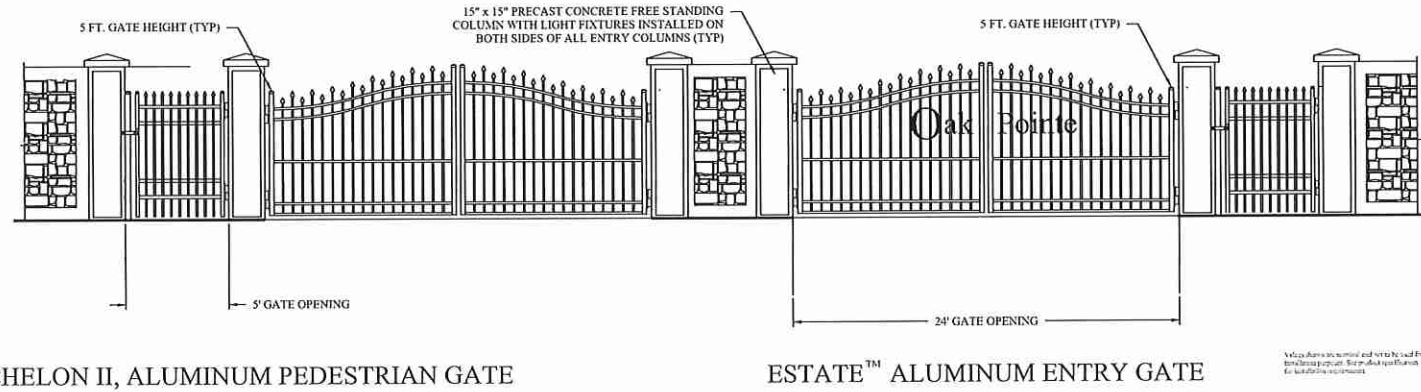


SOUTHERN ENTRANCE LANDSCAPE DETAIL

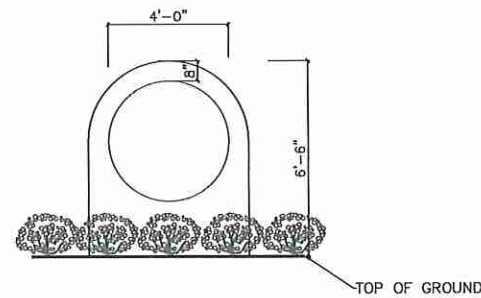
WALL DETAILS



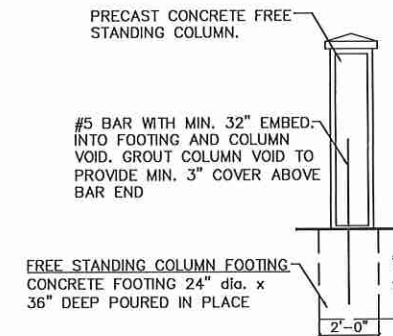
GATE ELEVATIONS (TYPICAL LAYOUT FOR NORTH & SOUTH ENTRIES)



SOUTH ENTRY SIGN ELEVATION



FREE STANDING COLUMN



ENTRANCE LANDSCAPE PLAN

LANDSCAPE & IRRIGATION DESIGN
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 4/06/18
 DRAWN BY: KB
 SHEET NUMBER
 L-10
 SIGNATURE _____ REG. NO. _____ DATE _____



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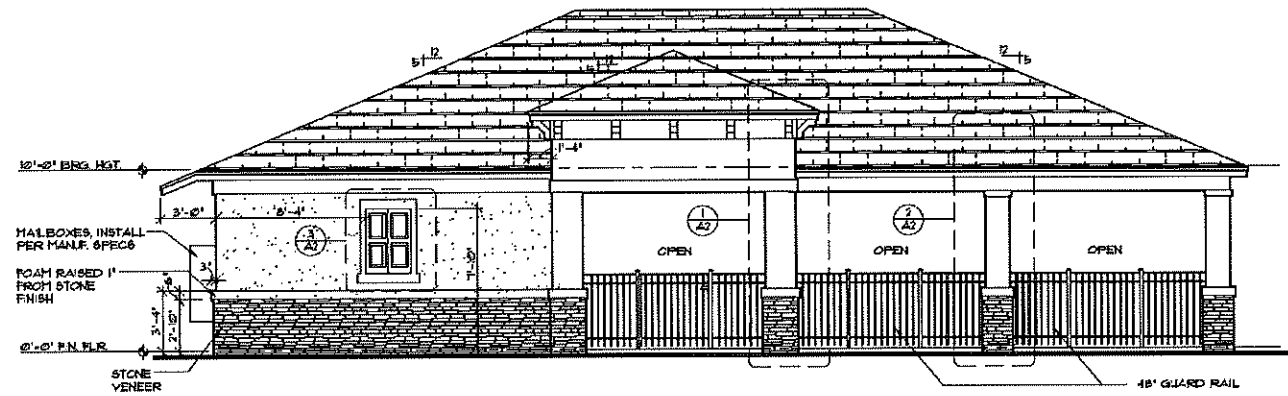
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OAK POINTE - SOUTH
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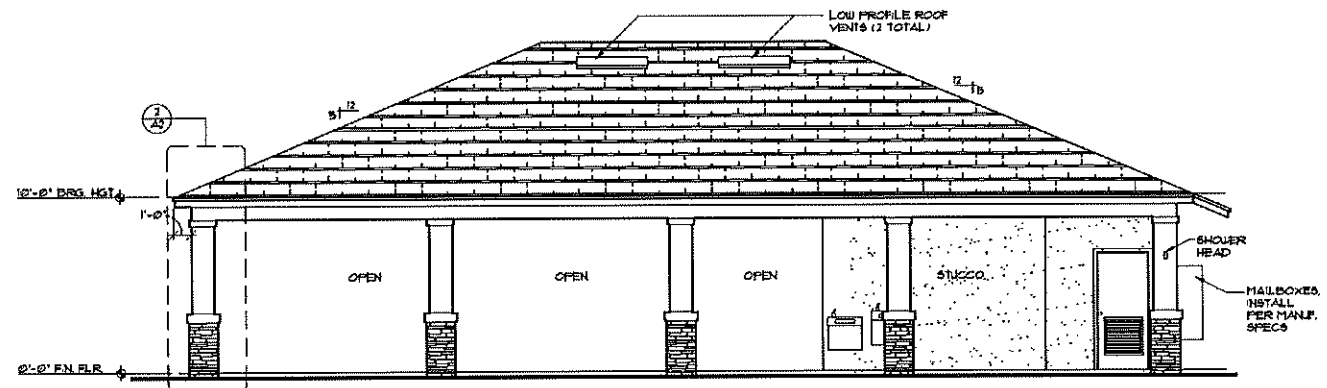
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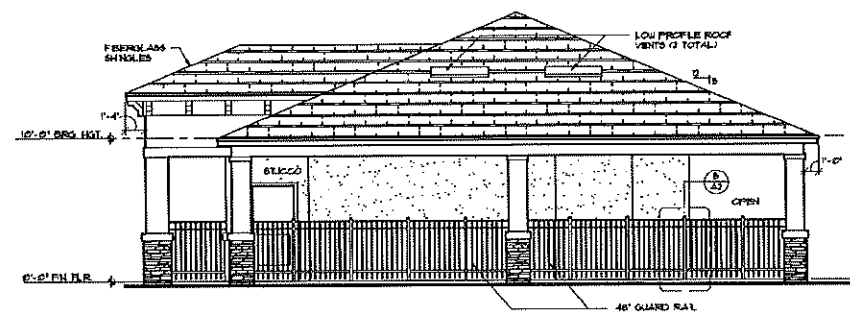
POOL & CABANA LANDSCAPE DETAIL



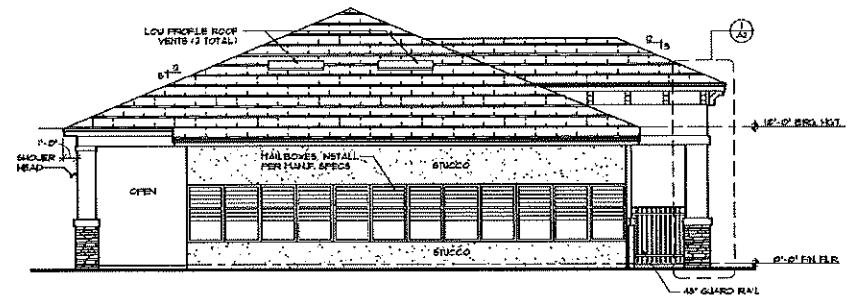
FRONT ELEVATION
TEXTURED FINISH



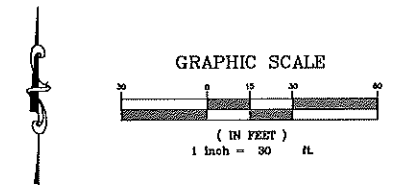
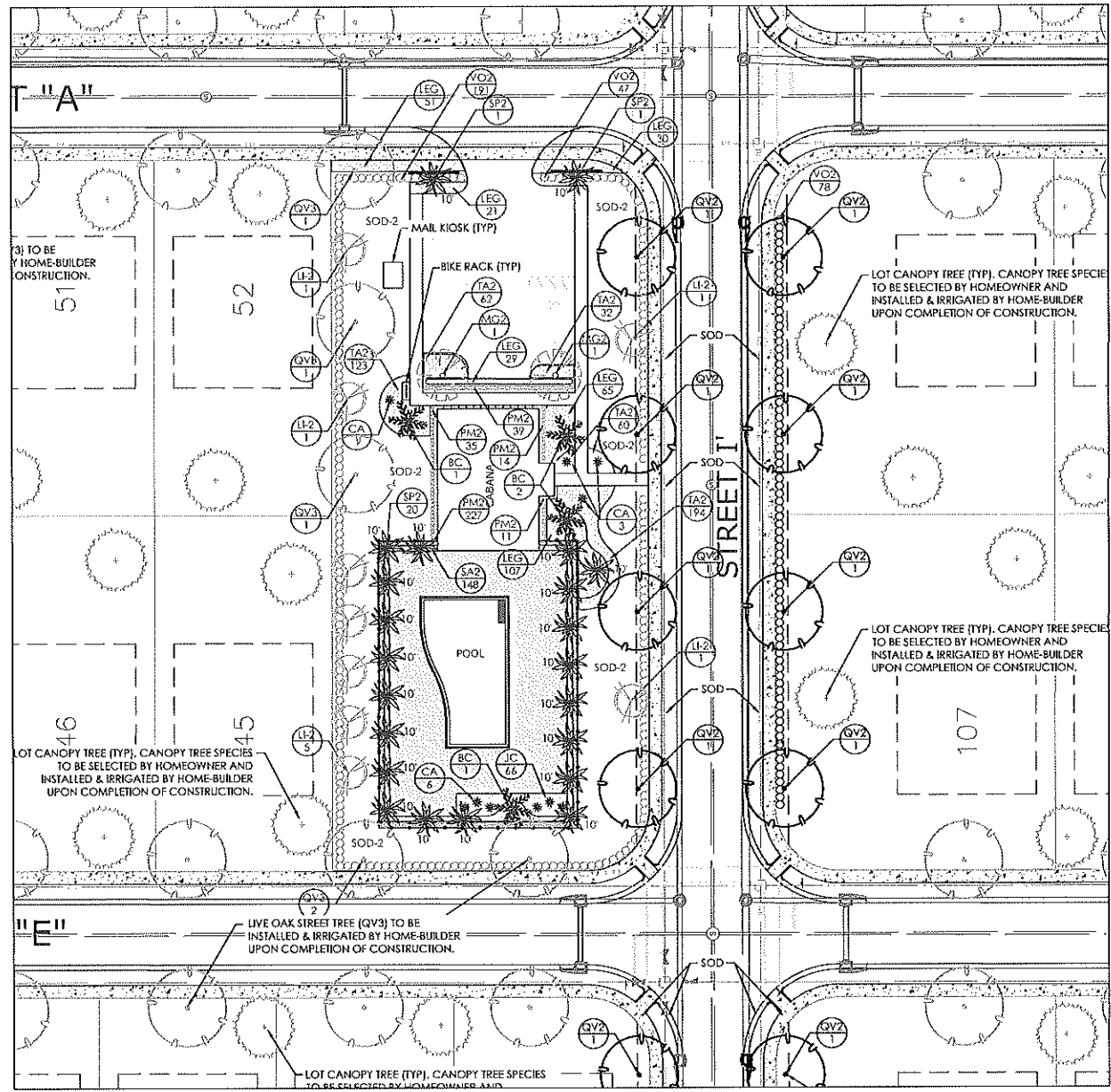
REAR ELEVATION
TEXTURED FINISH



RIGHT ELEVATION
TEXTURED FINISH



LEFT ELEVATION
TEXTURED FINISH



POOL & CABANA LANDSCAPE PLAN

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

4/06/18
DRAWN BY: KB
SHEET NUMBER
L-11

TOWNHOME, LIFT STATION & PARK

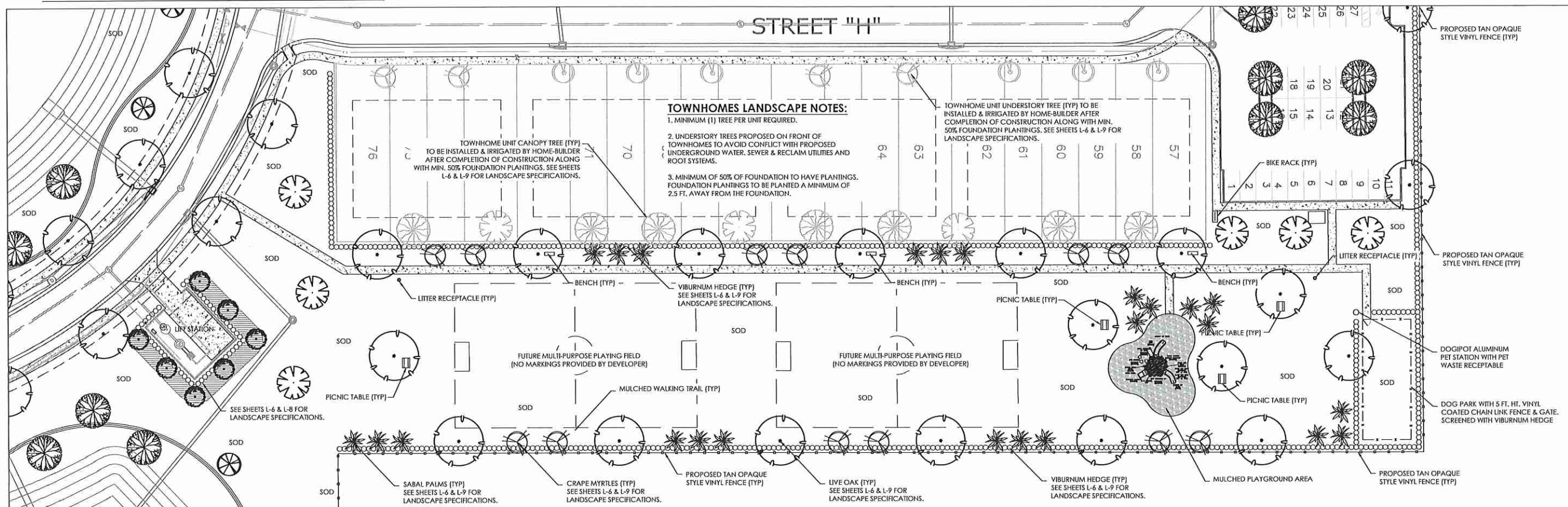


SCHWEIZER
BOJACK
LANDSCAPE
ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN
PO BOX 94833 • MAULAND, FLORIDA 32784 • PH: (407) 376-1023
LICENSE NO. LC200387 • DESIGNSCHWEIZERBOJACK.COM

OAK POINTE - SOUTH
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE, LLC and were created, evolved and developed for the use on and connection with this specific project.



(A) TUFFCLAD SERIES HEAVY DUTY PICNIC TABLE
Model 28014, by Gamelime

(B) ARLINGTON SERIES BENCH WITH ARMREST
Model UF9106, by Gamelime

(C) ARLINGTON SERIES LITTER RECEPTACLE
Model UL9310 - 24" x 30", by Gamelime

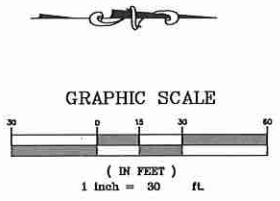
(D) CANYON CABIN PLAYGROUND
Model PS16010, by PowerScope



(E) LOOP BICYCLE RACK
Model 7700, by Gamelime

PARK & AMENITY PLAN NOTES:

- STREET LIGHTING & PEDESTRIAN LEVEL LIGHTING TO BE PROVIDED BY OTHERS.
- SIDEWALK RUNNING ALONG WESTERN SIDE OF PARK SHALL BE PAVED/STABILIZED SURFACE FROM STREET "T" NORTHWARD TO THE PARKING LOT & DOG PARK TO ACCOMMODATE HANDICAP ACCESSIBILITY.



TOWNHOME, LIFT STATION & PARK
LANDSCAPE & AMENITIES PLAN

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

4/06/18
DRAWN BY: YB
SHEET NUMBER
L-12

OAK POINTE SOUTH

BEING PORTIONS OF SECTION 29, & 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION

A PARCEL OF LAND IN SECTIONS 29 AND 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29; THENCE BEAR N89°43'00"E ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 SAID SECTION 29, A DISTANCE OF 661.50 FEET TO A POINT AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 SAID SECTION 29; THENCE S00°03'49"W ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 SAID SECTION 29, A DISTANCE OF 678.65 FEET TO A POINT AT THE NORTHEAST CORNER OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST; THENCE S00°05'05"W ALONG THE EAST LINE OF SAID WEST 1/2, A DISTANCE OF 1299.08 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WEST MCCORMICK ROAD (60' WIDE); THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE FOR THE FOLLOWING TWO COURSES, FIRST S89°42'04"W, A DISTANCE OF 659.66 FEET TO A POINT AT THE INTERSECTION WITH THE WEST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, SAID SECTION 32; THENCE CONTINUE ALONG SAID RIGHT-OF-WAY LINE, S89°46'26"W, A DISTANCE OF 517.15 FEET TO A POINT IN THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD 429, PER THE ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY MAP FOR PROJECT NO. 75320-6460-604, SAID POINT BEING A POINT OF NON-TANGENCY ON A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 5071.07 FEET AND FROM WHICH A RADIAL LINE BEARS N89°40'21"W; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 13°56'15", A DISTANCE 1233.57 FEET; THENCE CONTINUE ALONG SAID RIGHT-OF-WAY LINE FOR THE FOLLOWING 6 COURSES AND DISTANCES, FIRST N00°13'36"E, A DISTANCE OF 81.41 FEET; THENCE N20°09'55"W, A DISTANCE OF 218.39 FEET; THENCE N22°49'47"W, A DISTANCE OF 108.56 FEET TO A POINT OF NON-TANGENCY ON A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 5061.07 FEET AND FROM WHICH A RADIAL LINE BEARS S71°49'38"W; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 11°42'05", A DISTANCE OF 1033.62 FEET TO THE END OF SAID CURVE AND A POINT OF NON-TANGENCY; THENCE N29°36'57"W, A DISTANCE OF 237.79 FEET; THENCE N29°52'07"W, A DISTANCE OF 32.82 FEET; THENCE DEPART SAID RIGHT-OF-WAY LINE, N60°09'13"E, A DISTANCE OF 18.90 FEET TO A POINT ON A LINE LYING 150 FEET NORTH OF AND PARALLEL WITH THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 SAID SECTION 29, THENCE ALONG SAID PARALLEL LINE, N89°30'30"E, A DISTANCE OF 658.90 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 SAID SECTION 29; THENCE ALONG SAID WEST LINE S00°01'49"W A DISTANCE OF 150.02 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, SAID SECTION 29; THENCE ALONG SAID NORTH LINE N89°30'34"E, A DISTANCE OF 659.01 FEET TO A POINT OF INTERSECTION WITH THE EAST LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, SAID SECTION 29; THENCE ALONG SAID EAST LINE S00°00'34"E, A DISTANCE OF 676.01 FEET BACK TO THE POINT-OF-BEGINNING.

CONTAINING 3,401,183 SQUARE FEET OR 78.080 ACRES MORE OR LESS.

CERTIFICATE OF OWNERSHIP AND DEDICATION

THOMSON HILLS ESTATES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, BY AND THROUGH THE UNDERSIGNED OFFICER, DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED ON THIS PLAT OF OAK POINTE SOUTH AND DO HEREBY DEDICATE AS FOLLOWS:

- PRIVATE ROAD RIGHTS OF WAY**
TRACT RW, THE PRIVATE ROAD RIGHT OF WAY SHOWN ON THIS PLAT IS HEREBY DEDICATED TO THE OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., AS PRIVATE ROADWAYS, FOR INGRESS AND EGRESS, DRAINAGE AND UTILITIES (INCLUDING CATV), AND OTHER PROPER PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION. UTILITY'S OCCUPYING THE ROADS AND UTILITY EASEMENTS ARE HEREBY GRANTED A NON-EXCLUSIVE EASEMENT OVER THE PRIVATE RIGHTS-OF-WAY, INCLUDING ACCESS THROUGH ANY LOCKED GATE, FOR THE PURPOSE OF INGRESS, EGRESS TO THE UTILITIES AND MAINTENANCE THEREOF. THE CITY OF APOPKA, FLORIDA HAS REGULATORY AUTHORITY OVER, BUT SHALL BEAR NO RESPONSIBILITY, DUTY, OR LIABILITY FOR ANY PRIVATE ROADWAYS DESIGNATED AS SUCH ON THIS PLAT.
- UTILITY EASEMENTS (U.E.)**
THE UTILITY EASEMENTS SHOWN ON THIS PLAT MAY BE USED FOR UTILITY PURPOSES BY ANY UTILITY IN COMPLIANCE WITH SUCH ORDINANCES AND REGULATIONS AS MAY BE ADOPTED FROM TIME TO TIME BY THE CITY OF APOPKA, FLORIDA. SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES.
- DRAINAGE EASEMENT (D.E.)**
THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., AS PRIVATE ROADWAYS, FOR INGRESS AND EGRESS, DRAINAGE AND OTHER PROPER PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION.
- WATER MANAGEMENT TRACTS (W.M.T.) AND DRAINAGE EASEMENTS (D.E.)**
THE WATER MANAGEMENT TRACTS, WM-1 THROUGH WM-3 AND DRAINAGE EASEMENTS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., FOR ACCESS TO, WATER MANAGEMENT OPERATIONS AND OTHER PROPER PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION.
- LANDSCAPE BUFFER TRACTS (L.B.T.) AND LANDSCAPE EASEMENTS (L.S.E.)**
THE LANDSCAPE BUFFER TRACTS, J-1 THROUGH J-5 AND THE LANDSCAPE EASEMENTS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., FOR LANDSCAPE BUFFER, LANDSCAPEING, AND OTHER PROPER PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION.
- OPEN SPACE TRACTS (O.S.T.)**
THE OPEN SPACE TRACTS, K-1 THROUGH K-5 AND K-9 THROUGH K-13 SHOWN ON THIS PLAT ARE HEREBY DEDICATED THE OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., FOR OPEN SPACE, AND OTHER PROPER PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION.
- RECREATIONAL TRACTS (REC)**
THE RECREATION TRACTS, K-6 AND N-1 SHOWN ON THIS PLAT ARE HEREBY DEDICATED THE OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., FOR RECREATION, OPEN SPACE, AND OTHER PROPER PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION.
- LIFT STATION TRACT**
THE LIFT STATION TRACT, M-1 AS SHOWN ON THIS PLAT IS HEREBY DEDICATED TO THE CITY OF APOPKA, FLORIDA, FLORIDA FOR CONSTRUCTION, RECONSTRUCTION, REPLACEMENT, OPERATION, MAINTENANCE AND REPAIR OF UTILITY RELATED EQUIPMENT, INCLUDING BUT NOT LIMITED TO LIFT STATION, PUMPS, PIPELINES, FENCES, STRUCTURES AND POWER LINE HOOKUPS.
- PARKING TRACT**
THE PARKING TRACT, O-1 SHOWN ON THIS PLAT IS HEREBY DEDICATED THE OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., FOR RESIDENT AND GUEST PARKING AND OTHER PROPER PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION.
- WALL EASEMENTS**
THE WALL EASEMENTS SHOWN ON THIS PLAT IS HEREBY DEDICATED THE OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., FOR SITE RETAINING WALLS AND OTHER PROPER PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION.

SIGNED AND SEALED THIS _____ DAY OF _____, 20____, ON BEHALF OF SAID LIMITED LIABILITY COMPANY BY ITS MANAGING MEMBER.

WITNESS: _____ THOMSON HILLS ESTATES, LLC, A FLORIDA LIMITED LIABILITY COMPANY

PRINT NAME: MALCOLM JONES, MANAGING PARTNER

WITNESS: _____ BY: _____ MALCOLM F. JONES, MANAGING MEMBER

PRINT NAME: _____

ACKNOWLEDGMENT

STATE OF FLORIDA
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED MALCOLM F. JONES, TO ME WELL KNOWN TO BE THE MANAGING MEMBER OF THOMSON HILLS ESTATES, LLC A FLORIDA LIMITED LIABILITY COMPANY, AND HE ACKNOWLEDGED THAT HE EXECUTED SUCH CERTIFICATE OF OWNERSHIP AND DEDICATION AS MANAGING PARTNER OF SAID LIMITED LIABILITY COMPANY AND THAT IT IS THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY. HE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

DATED THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC STATE OF FLORIDA
(NOTARY STAMP)

PRINTED NAME _____

MY COMMISSION EXPIRES _____



VICINITY MAP
APOPKA FLORIDA
(Not to Scale)

ACCEPTANCE OF DEDICATIONS

OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., A FLORIDA NON-PROFIT CORPORATION, DOES HEREBY ACCEPT OWNERSHIP AND DEDICATION OF ALL RIGHTS OF WAY, DRAINAGE EASEMENTS, LANDSCAPE BUFFER TRACTS, LANDSCAPE EASEMENTS, UTILITY EASEMENTS, WATER MANAGEMENT TRACTS, DRAINAGE EASEMENTS, RECREATION TRACTS, PARKING TRACT, OPEN SPACE TRACTS AND WALL EASEMENTS AS SHOWN ON THIS PLAT AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREON.

DATED THIS _____ DAY OF _____, 20____.

WITNESS: _____ OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC.

PRINT NAME: _____

WITNESS: _____ BY: _____

PRINT NAME: _____ PRESIDENT

ACKNOWLEDGMENT

STATE OF FLORIDA
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED _____, TO ME WELL KNOWN TO BE THE PRESIDENT OF OAK POINTE AT APOPKA HOMEOWNERS ASSOCIATION, INC., A FLORIDA NON-PROFIT CORPORATION, AND HE ACKNOWLEDGED THAT HE/SHE EXECUTED SUCH ACCEPTANCE OF DEDICATIONS HEREON AS SUCH OFFICER OF THE COMPANY AND THAT THE SEAL AFFIXED IS THE COMPANY SEAL OF SAID COMPANY AND IT WAS AFFIXED BY DUE AND REGULAR CORPORATE AUTHORITY, AND THAT IT IS THE FREE ACT AND DEED OF SAID COMPANY. HE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

DATED THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC STATE OF FLORIDA

(NOTARY STAMP) PRINTED NAME _____

MY COMMISSION EXPIRES _____

MORTGAGEE'S JOINDER AND CONSENT

STATE OF FLORIDA
COUNTY OF _____

THE UNDERSIGNED, JERRY BROWN OF MOSSY OAKS PARTNERS, LLC HEREBY CERTIFIES THAT IT IS THE HOLDER OF A MORTGAGE, UPON THE PROPERTY DESCRIBED HEREON AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNER THEREOF AND AGREES THAT ITS MORTGAGE WHICH IS RECORDED IN DOCUMENT NUMBER 20180118823 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.

IN WITNESS WHEREOF, MOSSY OAKS PARTNERS, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS MANAGING PARTNER AND ITS SEAL TO BE AFFIXED HEREON BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS _____ DAY OF _____, 20____.

WITNESS: _____
PRINTED NAME: _____

BY: _____
PRINTED NAME: JERRY BROWN

WITNESS: _____
PRINTED NAME: _____

TITLE CERTIFICATION

I, EDWARD L. KELLY, ESQ., A MEMBER OF THE FLORIDA BAR, HEREBY CERTIFY THAT AS OF _____, 20____ AT _____:00 AM/PM-BASED UPON FIDELITY NATIONAL TITLE INSURANCE CO. COMMENTMENT ISSUED BY ARK TITLE GROUP, LLC, DATED _____, 2018, FILE NO. ARK180508FL:

- RECORD TITLE TO THE LAND DESCRIBED AND SHOWN ON THIS PLAT IS IN THE NAME OF THE PERSON, PERSONS, COMPANY OR OTHER ENTITY EXECUTING THE CERTIFICATE OF OWNERSHIP AND DEDICATION HEREON.
- ALL MORTGAGES NOT SATISFIED OR RELEASED OF RECORD ENCUMBERING THE LAND ARE DESCRIBED HEREON AND SUBORDINATED TO BY IT'S DULY APPOINTED OFFICERS.

EDWARD L. KELLY, ESQ.
FLORIDA BAR NO. 1279H
ROGERS TOWERS, P.A.
1301 RIVERSIDE BLVD, SUITE 1500
JACKSONVILLE, FL. 32287

SEAL THOMSON HILLS ESTATES, LLC
SEAL OAK POINTE HOMEOWNERS ASSOCIATION, INC.
SEAL MORTGAGEE
SEAL SIGNING SURVEYOR AND MAPPER
SEAL REVIEWING SURVEYOR AND MAPPER

TITLE CERTIFICATION

I, _____ ESQ., A MEMBER OF THE FLORIDA BAR, HEREBY CERTIFY THAT AS OF _____, 20____ AT _____ AM/PM:

- RECORD TITLE TO THE LAND DESCRIBED AND SHOWN ON THIS PLAT IS IN THE NAME OF THE PERSON, PERSONS, COMPANY OR OTHER ENTITY WHICH EXECUTED THE CERTIFICATE OF OWNERSHIP AND DEDICATION HEREON.
- ALL MORTGAGES NOT SATISFIED OR RELEASED OF RECORD ENCUMBERING THE LAND ARE DESCRIBED HEREON.

FLORIDA BAR NO. _____ ESQ.

FL _____

CERTIFICATE OF APPROVAL BY REVIEWING SURVEYOR

PURSUANT TO SECTION 177.081, FLORIDA STATUTES, I HAVE REVIEWED THIS PLAT FOR COMPLIANCE WITH THE TECHNICAL REQUIREMENTS OF THAT CHAPTER; PROVIDED HOWEVER, THAT MY REVIEW DOES NOT INCLUDE FIELD VERIFICATION OF ANY OF THE COORDINATES, POINTS OR MEASUREMENTS SHOWN ON THIS PLAT.

RALPH A. NIETO, P.S.M.
NIETO WHITTAKER SURVEYING, LLC.
REGISTRATION NO. 6025

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

THIS IS TO CERTIFY, THAT ON _____, 20____, THE UNDERSIGNED APPROVED THE FOREGOING PLAT.

BY: _____
CHAIRMAN

CERTIFICATE OF APPROVAL BY THE MAYOR

THIS IS TO CERTIFY, THAT ON _____, 20____, THE UNDERSIGNED APPROVED THE FOREGOING PLAT.

BY: _____
BRYAN NELSON, MAYOR OF THE CITY OF APOPKA

ATTEST: _____
LINDA F. GOFF, CITY CLERK

CERTIFICATE OF APPROVAL BY CITY ENGINEER

THIS IS TO CERTIFY, THAT ON _____, 20____, THE UNDERSIGNED APPROVED THE FOREGOING PLAT.

BY: _____
RICHARD W. EARP, CITY ENGINEER

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, THAT ON THIS PLAT WAS RECORDED IN THE ORANGE COUNTY OFFICIAL RECORDS ON _____ PRINTED NAME: _____

COMPTROLLER IN AND FOR ORANGE COUNTY, FLORIDA

BY: _____

SURVEYORS NOTES

- BEARINGS AND SHOWN HEREON ARE BASED UPON NORTH AMERICAN DATUM OF 1983, 1990 ADJUSTMENT (NAD83/1990), THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 21 SOUTH, RANGE 28 EAST IS REFERENCED TO BEAR NORTH 89°43'00" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO. DISTANCES ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- NO BUILDINGS OR ANY KIND OF OBSTRUCTION SHALL BE PLACED ON UTILITY OR DRAINAGE EASEMENTS.
- ALL LINES INTERSECTING CIRCULAR CURVES ARE RADIAL TO THOSE CURVES UNLESS OTHERWISE NOTED (NR).
- THIS PLAT, AS RECORDED IN ITS ORIGINAL FORM IN THE PUBLIC RECORDS IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREON AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER FORM OF THE PLAT, WHETHER GRAPHIC OR DIGITAL.
- NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- THERE SHALL BE A 5 FOOT UTILITY AND DRAINAGE EASEMENT IN THE INTERIOR SIDE OF EACH SIDE AND A 7.5 FOOT UTILITY AND DRAINAGE EASEMENT IN THE REAR OF ALL LOTS IN BLOCKS 1 THROUGH 9 OF THIS PLAT.
- IN THE EVENT THAT THE SURFACE OF A PRIVATE STREET IS DISTURBED DUE TO MAINTENANCE, REPAIR OR REPLACEMENT OF A PUBLIC IMPROVEMENT OR UTILITY LOCATED THEREIN, THEN THE PERSONS OR COMPANY RESPONSIBLE SHALL BE RESPONSIBLE FOR RESTORING THE STREET SURFACE ONLY TO THE EXTENT WHICH WOULD BE REQUIRED IF THE STREET WERE A PUBLIC STREET, IN ACCORDANCE WITH THE COUNTY SPECIFICATIONS.
- IRMALEE LANE SHALL BE SIMULTANIOUSLY ABANDONED WITH THE RECORDING OF THIS PLAT AT OFFICIAL RECORD BOOK _____ AT PAGE _____
- SEE MAP SHEETS FOR LEGEND AND SHEET KEY MAP.

CERTIFICATE OF SURVEYOR AND MAPPER

I, ROGER A. HAGLER, HEREBY CERTIFY THAT THIS PLAT, AS SHOWN HEREON, IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS SURVEYED, THAT SUCH SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SUCH SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS (P.R.M.'S) WILL BE SET PRIOR TO RECORDING OF THE PLAT AS REQUIRED BY LAW AND THAT PERMANENT CONTROL POINTS (P.C.P.'S) AND LOT CORNERS WILL BE SET WITH THE REQUIRED IMPROVEMENTS WITHIN THE PLATTED LANDS; AND, FURTHER THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, PART 1 OF THE FLORIDA STATUTES, AS AMENDED, AND ORDINANCES OF APOPKA, FLORIDA.

BY: _____ DATE: _____

ROGER A. HAGLER
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4544

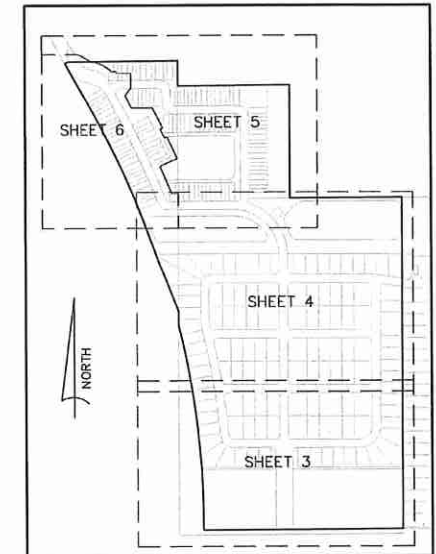
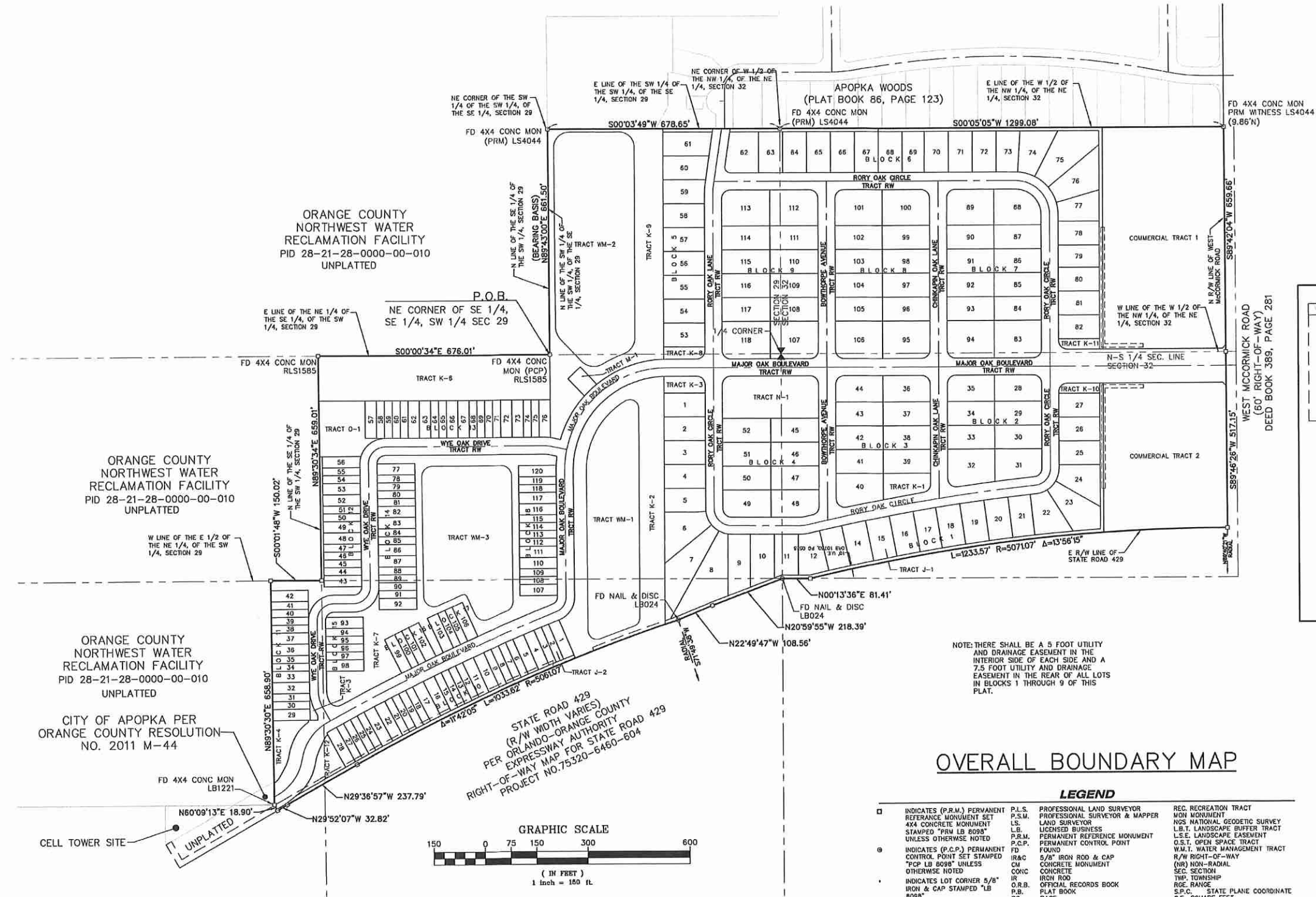
PREPARED BY ROGER A. HAGLER
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER No. 4544
IN THE OFFICES OF



OAK POINTE SOUTH

BEING PORTIONS OF SECTION 29, & 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

EDC JOB# 18-337

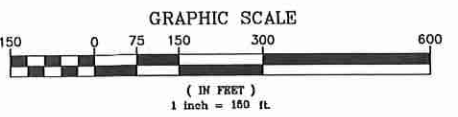


KEY MAP
NTS

OVERALL BOUNDARY MAP

LEGEND

- INDICATES (P.R.M.) PERMANENT REFERENCE MONUMENT SET 4x4 CONCRETE MONUMENT STAMPED "PRM LB 8098" UNLESS OTHERWISE NOTED
- ⊙ INDICATES (P.C.P.) PERMANENT CONTROL POINT SET STAMPED "PCP LB 8098" UNLESS OTHERWISE NOTED
- INDICATES LOT CORNER 5/8" IRON & CAP STAMPED "LB 8098"
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- PC POINT OF CURVATURE
- PI POINT OF INTERSECTION
- PT POINT OF TANGENCY
- PRC POINT OF REVERSE CURVATURE
- P.L.S. PROFESSIONAL LAND SURVEYOR
- P.S.M. PROFESSIONAL SURVEYOR & MAPPER
- L.S. LAND SURVEYOR
- L.B. LICENSED BUSINESS
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.C.P. PERMANENT CONTROL POINT
- FD FOUND
- IR&C 5/8" IRON ROD & CAP
- CM CONCRETE MONUMENT
- CONC CONCRETE
- IR IRON ROD
- O.R.B. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- P.O. PAGE
- B.E. BUFFER EASEMENT
- U.E. UTILITY EASEMENT
- I.E.E. INGRESS/EGRESS EASEMENT
- R&C ROD & PLASTIC CAP
- REC. RECREATION TRACT MONUMENT
- NOS NATIONAL GEODETIC SURVEY
- L.B.T. LANDSCAPE BUFFER TRACT
- L.S.E. LANDSCAPE EASEMENT
- O.S.T. OPEN SPACE TRACT
- W.M.T. WATER MANAGEMENT TRACT
- R/W RIGHT-OF-WAY (NR) NON-RADIAL
- SEC. SECTION
- TWP. TOWNSHIP
- R.O.E. RANGE
- S.P.C. STATE PLANE COORDINATE
- S.F. SQUARE FEET
- CCR CERTIFIED CORNER RECORD
- A/D CURVE CENTRAL ANGLE/Delta
- R RADIUS
- L CURVE LENGTH



PREPARED BY ROGER A. HAGLER,
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER No. 4544
IN THE OFFICES OF

ENGINEERS & SURVEYORS ENVIRONMENTAL
3 www.edo-inc.com

PORT SAINT LUCIE
10250 VILLAGE PARWAY
PORT SAINT LUCIE, FL 34987
23 772-340-4990

F.P.S. CERTIFICATE OF AUTHORIZATION 9935
L.S. CERTIFICATE OF AUTHORIZATION 6028

ORANGE COUNTY
NORTHWEST WATER
RECLAMATION FACILITY
PID 28-21-28-0000-00-010
UNPLATTED

ORANGE COUNTY
NORTHWEST WATER
RECLAMATION FACILITY
PID 28-21-28-0000-00-010
UNPLATTED

CITY OF APOPKA PER
ORANGE COUNTY RESOLUTION
NO. 2011 M-44

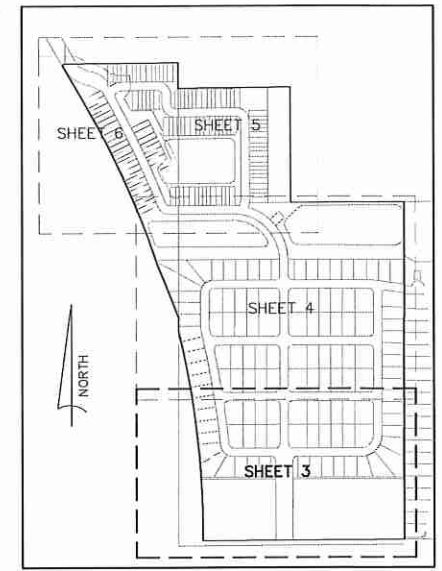
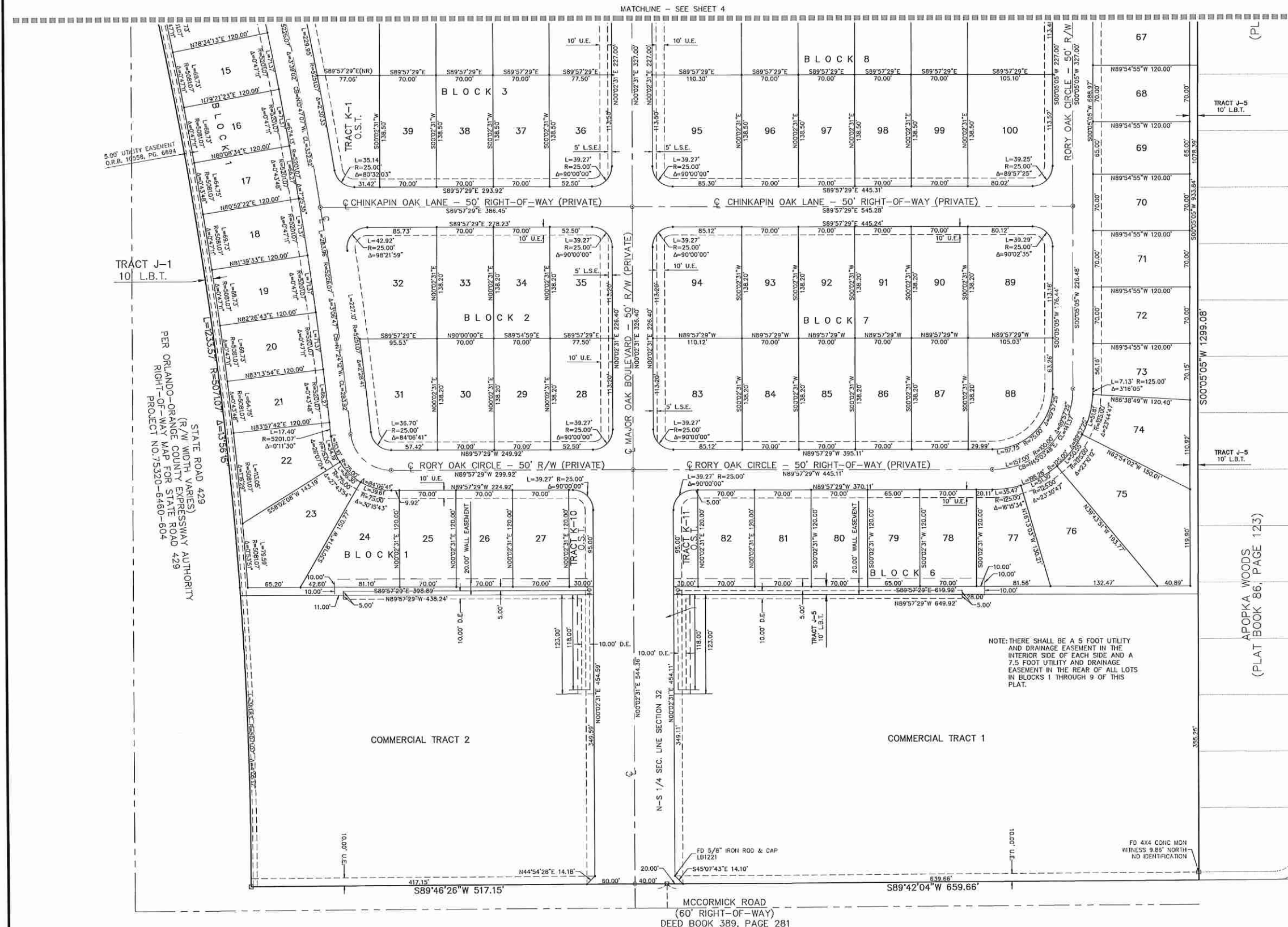
STATE ROAD 429
(R/W WIDTH VARIES)
PER ORLANDO-ORANGE COUNTY
EXPRESSWAY AUTHORITY
RIGHT-OF-WAY MAP
PROJECT NO. 75320-6460-604

NOTE: THERE SHALL BE A 5 FOOT UTILITY AND DRAINAGE EASEMENT IN THE INTERIOR SIDE OF EACH SIDE AND A 7.5 FOOT UTILITY AND DRAINAGE EASEMENT IN THE REAR OF ALL LOTS IN BLOCKS 1 THROUGH 9 OF THIS PLAT.

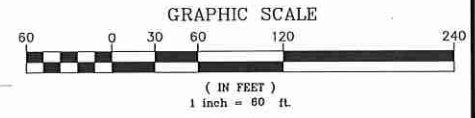
OAK POINTE SOUTH

BEING PORTIONS OF SECTION 29, & 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

EDC JOB# 18-337



- LEGEND**
- INDICATES (P.R.M.) PERMANENT REFERENCE MONUMENT SET 5/8" IRON ROD & CAP STAMPED "PRM LB 8098" UNLESS OTHERWISE NOTED
 - INDICATES (P.C.P.) PERMANENT CONTROL POINT SET STAMPED "PCP LB 8098" UNLESS OTHERWISE NOTED
 - INDICATES LOT CORNER 5/8" IRON & CAP STAMPED "LB 8098"
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING
 - P.L.S. PROFESSIONAL LAND SURVEYOR
 - P.S.M. PROFESSIONAL SURVEYOR & MAPPER
 - L.S. LAND SURVEYOR
 - L.B. LICENSED BUSINESS
 - P.R.M. PERMANENT REFERENCE MONUMENT
 - P.C.P. PERMANENT CONTROL POINT
 - FD FOUND
 - IR&C 5/8" IRON ROD & CAP
 - CONC CONCRETE
 - CM CONCRETE MONUMENT
 - IR IRON ROD
 - O.R.B. OFFICIAL RECORDS BOOK
 - P.B. PLAT BOOK
 - PG PAGE
 - B.E. BUFFER EASEMENT
 - U.E. UTILITY EASEMENT
 - I.E. INGRESS/EGRESS EASEMENT
 - REC. RECREATION TRACT
 - MON MONUMENT
 - NGS NATIONAL GEODETIC SURVEY
 - L.B.T. LANDSCAPE BUFFER TRACT
 - L.S.E. LANDSCAPE EASEMENT
 - O.S.T. OPEN SPACE TRACT
 - W.M.T. WATER MANAGEMENT TRACT
 - R/W RIGHT-OF-WAY
 - (NR) NON-RADIAL
 - SEC SECTION
 - TWP. TOWNSHIP
 - RGE. RANGE
 - S.P.C. STATE PLANE COORDINATE
 - S.F. SQUARE FEET
 - CCR CERTIFIED CORNER RECORD
 - A/D CURVE CENTRAL ANGLE/Delta
 - R RADIUS
 - L CURVE LENGTH
 - PC POINT OF CURVATURE
 - PI POINT OF INTERSECTION
 - PT POINT OF TANGENCY
 - PRC POINT OF REVERSE CURVATURE



PREPARED BY ROGER A. HAGLER,
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER No. 4544
IN THE OFFICES OF

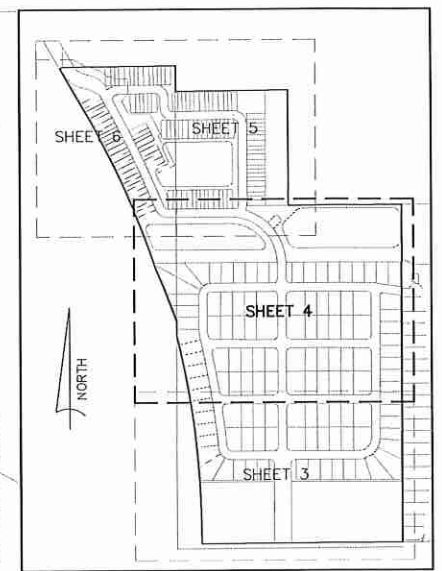
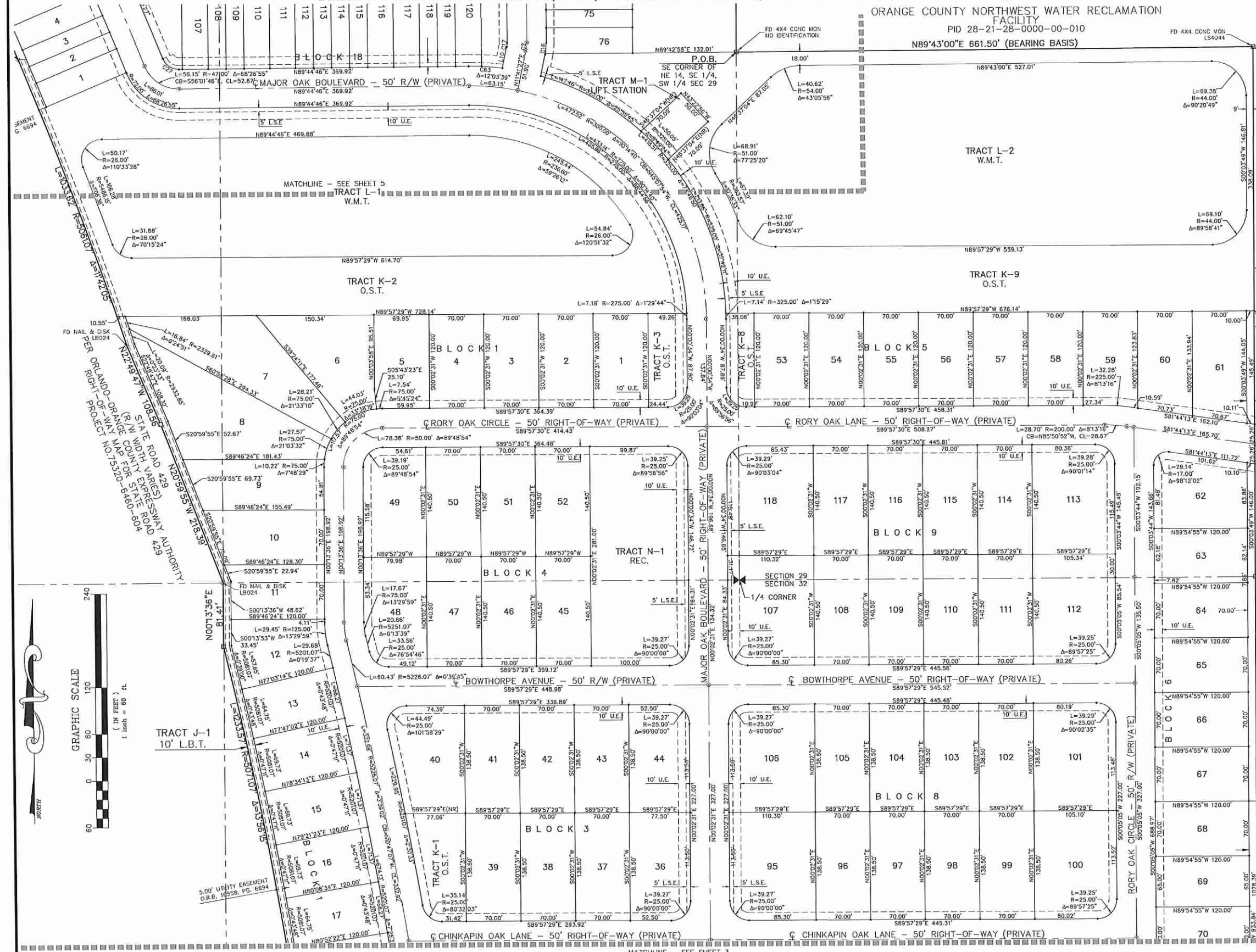
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10250 VILLAGE PARKWAY
PORT SAINT LUCIE, FL 34987
888-772-3400-4990

F.B.P.E. CERTIFICATE OF AUTHORIZATION 6935
L.B. CERTIFICATE OF AUTHORIZATION 8098

OAK POINTE SOUTH

BEING PORTIONS OF SECTION 29, & 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA



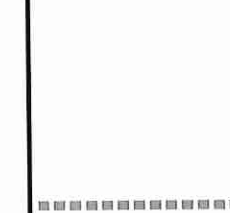
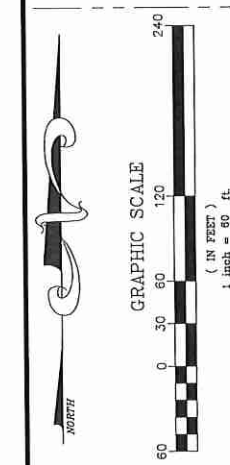
KEY MAP LEGEND

- INDICATES (P.R.M.) PERMANENT REFERENCE MONUMENT SET 5/8" IRON ROD & CAP STAMPED "P.M. LB 8098" UNLESS OTHERWISE NOTED
- INDICATES (P.C.P.) PERMANENT CONTROL POINT SET STAMPED "PCP LB 8098" UNLESS OTHERWISE NOTED
- INDICATES LOT CORNER 5/8" IRON & CAP STAMPED "LB 8098"
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- P.L.S. PROFESSIONAL LAND SURVEYOR
- P.S.M. PROFESSIONAL SURVEYOR & MAPPER
- L.S. LAND SURVEYOR
- L.B. LICENSED BUSINESS
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.C.P. PERMANENT CONTROL POINT
- FD FOUND
- IRAC 5/8" IRON ROD & CAP
- CONC CONCRETE MONUMENT
- CH IRON ROD
- D.R.B. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- PG. PAGE
- B.E. BUFFER EASEMENT
- U.E. UTILITY EASEMENT
- I.E.E. INGRESS/EGRESS EASEMENT
- REC. RECREATION TRACT
- MON. MONUMENT
- N.G.S. NATIONAL GEODETIC SURVEY
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- R/W RIGHT-OF-WAY
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- SEC. SECTION
- TWP. TOWNSHIP
- RANGE RANGE
- S.P.C. STATE PLANE COORDINATE
- S.F. SQUARE FEET
- COR. CERTIFIED CORNER RECORD
- COR. CURVE CENTRAL ANGLE, DELTA
- R. RADIUS
- PC. CURVE LENGTH
- PI. POINT OF CURVATURE
- PT. POINT OF INTERSECTION
- PTI. POINT OF TANGENCY
- PRC. POINT OF REVERSE CURVATURE

NOTE: THERE SHALL BE A 5 FOOT UTILITY AND DRAINAGE EASEMENT IN THE INTERIOR SIDE OF EACH SIDE AND A 7.5 FOOT UTILITY AND DRAINAGE EASEMENT IN THE REAR OF ALL LOTS IN BLOCKS 1 THROUGH 9 OF THIS PLAT.

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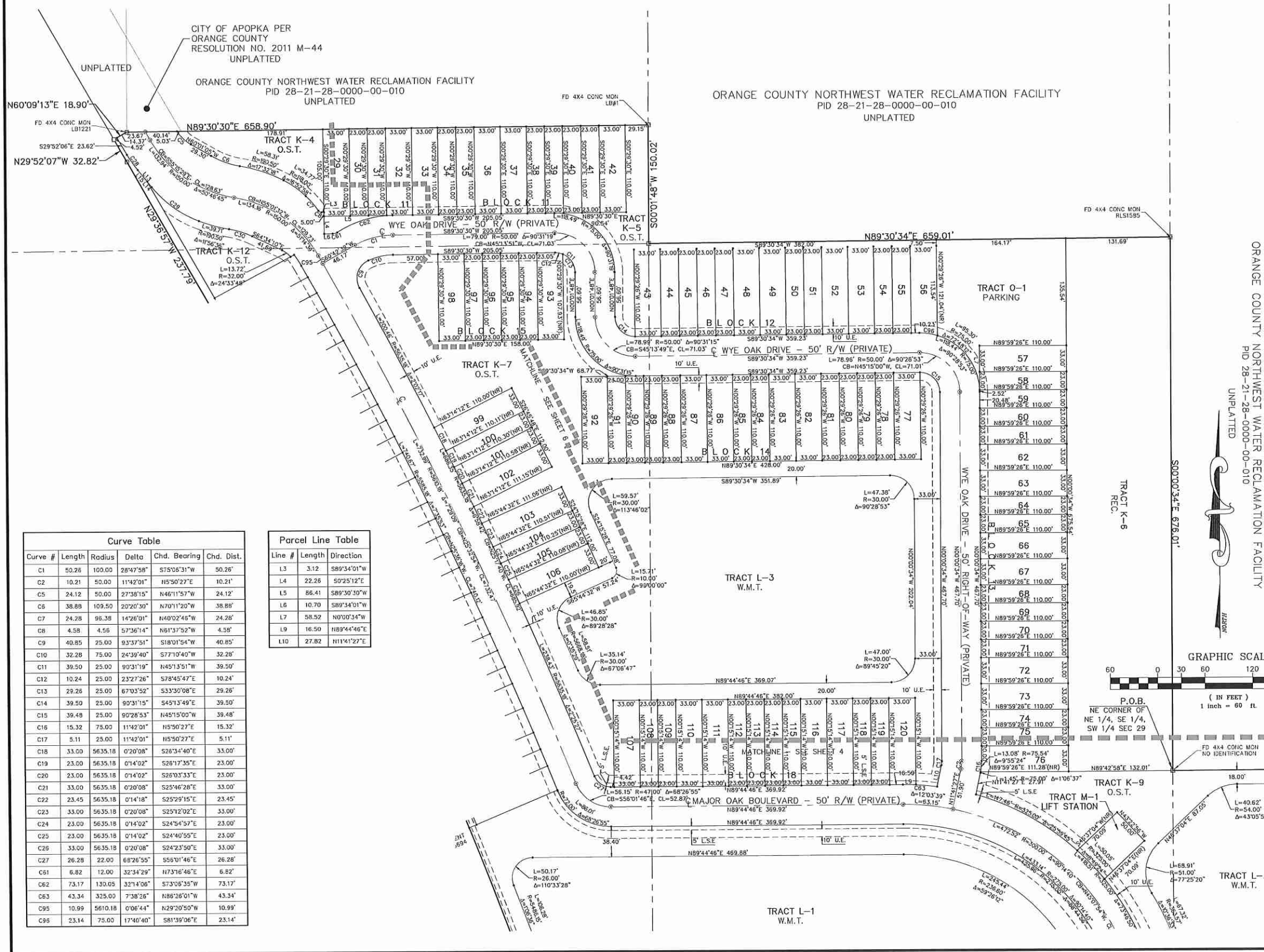
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F.P.E. CERTIFICATE OF AUTHORIZATION 9335
L.B. CERTIFICATE OF AUTHORIZATION 8999



MATCHLINE - SEE SHEET 3

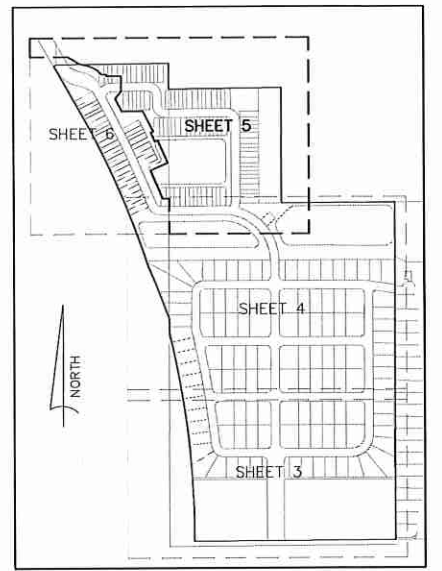
OAK POINTE SOUTH

BEING PORTIONS OF SECTION 29, & 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA



Curve #	Length	Radius	Delta	Chd. Bearing	Chd. Dist.
C1	50.26	100.00	28°47'59"	S75°08'31"W	90.26'
C2	10.21	50.00	11°42'01"	N15°50'27"E	10.21'
C5	24.12	50.00	27°38'15"	N46°11'57"W	24.12'
C6	38.88	109.50	20°20'30"	N70°11'20"W	38.88'
C7	24.28	98.38	14°28'01"	N40°02'46"W	24.28'
C8	4.58	4.56	57°36'14"	N61°37'52"W	4.58'
C9	40.85	25.00	93°37'51"	S18°01'54"W	40.85'
C10	32.28	75.00	24°39'40"	S77°10'40"W	32.28'
C11	39.50	25.00	90°31'19"	N45°13'51"W	39.50'
C12	10.24	25.00	23°27'26"	S78°45'47"E	10.24'
C13	29.26	25.00	67°03'52"	S33°30'08"E	29.26'
C14	39.50	25.00	90°31'15"	S49°13'49"E	39.50'
C15	39.48	25.00	90°28'53"	N45°15'00"W	39.48'
C16	15.32	75.00	11°42'01"	N15°50'27"E	15.32'
C17	5.11	25.00	11°42'01"	N15°50'27"E	5.11'
C18	33.00	56.35.18	0°20'08"	S28°34'40"E	33.00'
C19	23.00	56.35.18	0°14'02"	S26°17'35"E	23.00'
C20	23.00	56.35.18	0°14'02"	S28°03'33"E	23.00'
C21	33.00	56.35.18	0°20'08"	S25°46'28"E	33.00'
C22	23.45	56.35.18	0°14'18"	S25°29'15"E	23.45'
C23	33.00	56.35.18	0°20'08"	S25°12'02"E	33.00'
C24	23.00	56.35.18	0°14'02"	S24°54'37"E	23.00'
C25	23.00	56.35.18	0°14'02"	S24°40'55"E	23.00'
C26	33.00	56.35.18	0°20'08"	S24°23'50"E	33.00'
C27	26.28	22.00	68°26'55"	S58°01'46"E	26.28'
C51	6.82	12.00	32°34'29"	N73°16'46"E	6.82'
C62	73.17	130.05	32°14'06"	S73°06'35"W	73.17'
C63	43.34	325.00	7°38'26"	N86°26'01"W	43.34'
C95	10.99	5610.18	0°06'44"	N29°20'50"W	10.99'
C96	23.14	75.00	17°40'40"	S81°39'06"E	23.14'

Line #	Length	Direction
L3	3.12	S89°34'01"W
L4	22.26	S0°25'12"E
L5	86.41	S89°30'30"W
L6	10.70	S89°34'01"W
L7	58.52	N0°00'34"W
L9	16.50	N89°44'46"E
L10	27.82	N11°41'27"E



KEY MAP

- LEGEND**
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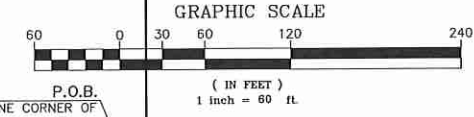
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PREPARED BY ROGER A. HAGLER,
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PORT SAINT LUCIE
1320 VILLAGE PARKWAY
FORT SAINT LUCIE, FL 34997
888-772-3440-4990

F.P.S. CERTIFICATE OF AUTHORIZATION 16935
L.B. CERTIFICATE OF AUTHORIZATION 8098



ORANGE COUNTY NORTHWEST WATER RECLAMATION FACILITY
PID 28-21-28-0000-00-010
UNPLATTED

CITY OF APOPKA PER
ORANGE COUNTY
RESOLUTION NO. 2011 M-44
UNPLATTED

ORANGE COUNTY NORTHWEST WATER RECLAMATION FACILITY
PID 28-21-28-0000-00-010
UNPLATTED

ORANGE COUNTY NORTHWEST WATER RECLAMATION FACILITY
PID 28-21-28-0000-00-010
UNPLATTED

FD 4X4 CONC MON
RL51595

N60°09'13"E 18.90'
FD 4X4 CONC MON
LB1221
529°52'06"E 23.62'
N29°52'07"W 32.82'

TRACT K-12
O.S.T.
L=13.72'
R=32.00'
Δ=24°33'48"

TRACT K-4
O.S.T.
L=58.31'
R=180.69'
Δ=17°32'39"

TRACT K-7
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT K-5
O.S.T.
L=18.49'
R=18.49'
Δ=90°31'15"

TRACT K-3
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT K-2
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT K-1
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT K-6
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT K-9
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT K-8
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT K-10
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT K-11
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT K-12
O.S.T.
L=78.94'
R=50.00'
Δ=90°31'15"

TRACT 0-1
PARKING

TRACT 0-2
PARKING

TRACT 0-3
PARKING

TRACT 0-4
PARKING

TRACT 0-5
PARKING

TRACT 0-6
PARKING

TRACT 0-7
PARKING

TRACT 0-8
PARKING

TRACT 0-9
PARKING

TRACT K-6
REC.

TRACT L-2
W.M.T.

TRACT L-1
W.M.T.

TRACT L-3
W.M.T.

TRACT K-11
O.S.T.

TRACT K-10
O.S.T.

TRACT K-9
O.S.T.

TRACT K-8
O.S.T.

TRACT K-7
O.S.T.

TRACT K-6
O.S.T.

TRACT K-5
O.S.T.

TRACT K-4
O.S.T.

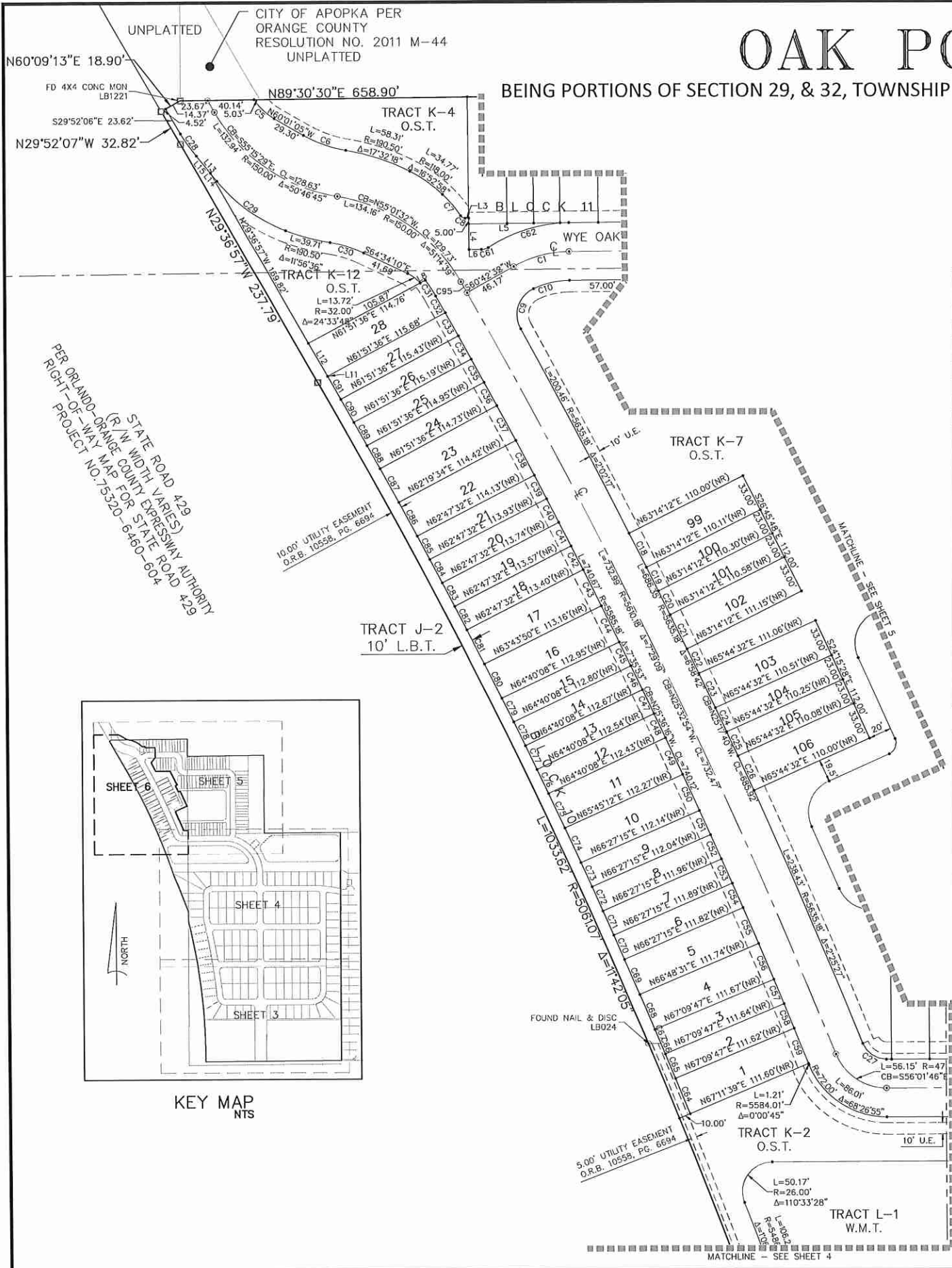
TRACT K-3
O.S.T.

TRACT K-2
O.S.T.

TRACT K-1
O.S.T.

OAK POINTE SOUTH

BEING PORTIONS OF SECTION 29, & 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA



Curve #	Length	Radius	Delta	Chd. Bearing	Chd. Dist.
C1	59.28	100.00	28°47'58"	S75°05'31"W	50.26'
C5	24.12	50.00	27°38'15"	N46°11'57"W	24.12'
C6	38.88	109.50	20°20'30"	N70°13'20"W	38.88'
C7	24.28	95.38	14°26'01"	N40°02'46"W	24.28'
C8	4.58	4.55	57°36'14"	N61°37'52"W	4.58'
C9	40.85	25.00	9°33'51"	S18°01'54"W	40.85'
C10	32.28	75.00	24°39'40"	S77°04'40"W	32.28'
C18	33.00	5635.18	0°20'08"	S26°34'40"E	33.00'
C19	23.00	5635.18	0°14'02"	S26°17'35"E	23.00'
C20	23.00	5635.18	0°14'02"	S26°03'33"E	23.00'
C21	33.00	5635.18	0°20'08"	S25°46'28"E	33.00'
C22	23.45	5635.18	0°14'02"	S25°29'15"E	23.45'
C23	33.00	5635.18	0°20'08"	S25°12'02"E	33.00'
C24	23.00	5635.18	0°14'02"	S24°54'57"E	23.00'
C25	23.00	5635.18	0°14'02"	S24°40'55"E	23.00'
C26	33.00	5635.18	0°20'08"	S24°23'50"E	33.00'
C27	26.28	22.00	68°26'55"	S56°01'46"E	26.28'
C28	23.64	180.00	7°31'24"	S35°19'44"E	23.64'
C29	73.91	143.00	29°36'49"	S53°53'51"E	73.91'
C30	30.73	109.50	16°04'41"	N72°36'31"W	30.73'
C31	16.38	125.00	7°30'29"	S33°09'27"E	16.38'
C32	16.70	5585.18	0°10'17"	S29°19'05"E	16.70'
C33	23.00	5585.18	0°14'10"	S29°06'51"E	23.00'
C34	23.00	5585.18	0°14'09"	S28°52'41"E	23.00'
C35	23.00	5585.18	0°14'09"	S28°38'32"E	23.00'
C36	23.00	5585.18	0°14'09"	S28°24'23"E	23.00'
C37	34.18	5585.18	0°21'02"	S28°06'47"E	34.18'

Curve #	Length	Radius	Delta	Chd. Bearing	Chd. Dist.
C38	34.18	5585.18	0°21'02"	S27°45'45"E	34.18'
C39	23.00	5585.18	0°14'09"	S27°28'09"E	23.00'
C40	23.00	5585.18	0°14'09"	S27°13'59"E	23.00'
C41	23.00	5585.18	0°14'09"	S26°59'50"E	23.00'
C42	23.00	5585.18	0°14'09"	S26°45'40"E	23.00'
C43	35.07	5585.18	0°21'35"	S26°27'48"E	35.07'
C44	35.07	5585.18	0°21'35"	S26°06'13"E	35.07'
C45	23.00	5585.18	0°14'09"	S25°48'21"E	23.00'
C46	23.00	5585.18	0°14'09"	S25°34'11"E	23.00'
C47	23.00	5585.18	0°14'09"	S25°20'02"E	23.00'
C48	23.00	5585.18	0°14'09"	S25°05'52"E	23.00'
C49	35.16	5585.18	0°21'39"	S24°47'58"E	35.16'
C50	34.41	5585.18	0°21'11"	S24°26'34"E	34.41'
C51	23.00	5585.18	0°14'09"	S24°08'53"E	23.00'
C52	23.00	5585.18	0°14'09"	S23°54'44"E	23.00'
C53	23.00	5585.18	0°14'09"	S23°40'35"E	23.00'
C54	23.00	5585.18	0°14'09"	S23°26'25"E	23.00'
C55	33.81	5585.18	0°20'48"	S23°08'56"E	33.81'
C56	33.80	5585.18	0°20'48"	S22°48'08"E	33.80'
C57	23.00	5585.18	0°14'09"	S22°30'39"E	23.00'
C58	23.00	5585.18	0°14'09"	S22°16'29"E	23.00'
C59	33.06	5585.18	0°20'21"	S21°59'14"E	33.06'
C61	6.82	12.00	32°34'29"	N73°16'46"E	6.82'
C62	73.17	130.05	32°14'06"	S73°05'35"W	73.17'
C64	33.00	5071.07	0°22'22"	N22°01'01"W	33.00'
C65	23.00	5071.07	0°15'55"	N22°20'00"W	23.00'
C66	13.95	5071.07	0°09'27"	N22°32'31"W	13.95'

Curve #	Length	Radius	Delta	Chd. Bearing	Chd. Dist.
C67	9.05	5071.07	0°05'05"	N22°40'19"W	9.05'
C68	33.11	5071.07	0°22'27"	N22°54'36"W	33.11'
C69	33.11	5071.07	0°22'27"	N23°17'03"W	33.11'
C70	23.00	5071.07	0°15'55"	N23°30'04"W	23.00'
C71	23.00	5071.07	0°15'55"	N23°51'40"W	23.00'
C72	23.00	5071.07	0°15'55"	N24°07'16"W	23.00'
C73	23.00	5071.07	0°15'55"	N24°22'51"W	23.00'
C74	33.04	5071.07	0°22'24"	N24°41'51"W	33.04'
C75	33.03	5071.07	0°22'24"	N25°04'15"W	33.03'
C76	23.00	5071.07	0°15'55"	N25°23'14"W	23.00'
C77	23.00	5071.07	0°15'55"	N25°38'50"W	23.00'
C78	23.00	5071.07	0°15'55"	N25°54'25"W	23.00'
C79	23.00	5071.07	0°15'55"	N26°10'01"W	23.00'
C80	33.22	5071.07	0°22'31"	N26°29'05"W	33.22'
C81	33.22	5071.07	0°22'31"	N26°51'36"W	33.22'
C82	23.00	5071.07	0°15'55"	N27°10'39"W	23.00'
C83	23.00	5071.07	0°15'55"	N27°26'15"W	23.00'
C84	23.00	5071.07	0°15'55"	N27°41'50"W	23.00'
C85	23.00	5071.07	0°15'55"	N27°57'26"W	23.00'
C86	33.25	5071.07	0°22'33"	N28°16'30"W	33.25'
C87	33.25	5071.07	0°22'32"	N28°39'02"W	33.25'
C88	23.00	5071.07	0°15'55"	N28°58'06"W	23.00'
C89	23.00	5071.07	0°15'55"	N29°13'42"W	23.00'
C90	23.01	5071.07	0°15'55"	N29°29'18"W	23.01'
C91	22.64	5071.07	0°15'21"	N29°44'46"W	22.64'
C95	10.99	5610.18	0°05'44"	N29°20'50"W	10.99'

Line #	Length	Direction
L3	3.12	S89°34'01"W
L4	22.25	S0°25'12"E
L5	86.41	S89°30'30"W
L6	10.70	S89°34'01"W
L8	5.11	N61°51'36"E
L11	0.37	N29°36'57"W
L12	33.01	N29°36'57"W
L13	28.21	S39°05'26"E
L14	9.01	N39°05'26"W
L15	19.20	N39°05'26"W

LEGEND

INDICATES (P.R.M.) PERMANENT REFERENCE MONUMENT SET 4X4 CONCRETE MONUMENT STAMPED "PRLB 8098" UNLESS OTHERWISE NOTED

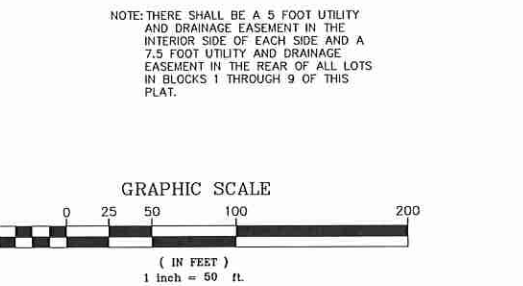
INDICATES (P.C.P.) PERMANENT CONTROL POINT SET STAMPED "PCCP LB 8098" UNLESS OTHERWISE NOTED

INDICATES LOT CORNER 5/8" IRON & CAP STAMPED "LB 8098"

P.O.C. POINT OF COMMENCEMENT
P.O.B. POINT OF BEGINNING
P.C. POINT OF CURVATURE
PI POINT OF INTERSECTION
PT POINT OF TANGENCY
PRC POINT OF REVERSE CURVATURE

P.L.S. PROFESSIONAL LAND SURVEYOR
P.S.M. PROFESSIONAL SURVEYOR & MAPPER
L.S. LAND SURVEYOR
L.B. LICENSED BUSINESS
P.R.M. PERMANENT REFERENCE MONUMENT
P.C.P. PERMANENT CONTROL POINT
FD FOUND
IR&C 5/8" IRON ROD & CAP
CM CONCRETE MONUMENT
CONC CONCRETE
IR IRON ROD
O.R.B. OFFICIAL RECORDS BOOK
P.B. PLAT BOOK
PG. PAGE
B.E. BUFFER EASEMENT
U.E. UTILITY EASEMENT
I.E.E. INGRESS/EGRESS EASEMENT
R&P ROD & PLASTIC CAP

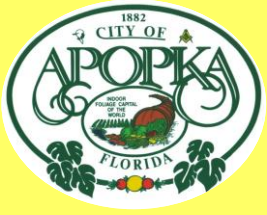
REC. RECREATION TRACT MONUMENT
N.G.S. NATIONAL GEODETIC SURVEY
L.B.T. LANDSCAPE BUFFER TRACT
L.S.E. LANDSCAPE EASEMENT
O.S.T. OPEN SPACE TRACT
W.M.T. WATER MANAGEMENT TRACT
R/W RIGHT-OF-WAY
(NR) NON-RADIAL SEC. SECTION
TWP. TOWNSHIP
RGE. RANGE
S.F. SQUARE FEET
C.C.R. CERTIFIED CORNER RECORD
Δ/D CURVE CENTRAL ANGLE/DELTA
R RADIUS
L CURVE LENGTH



PREPARED BY ROGER A. HAGLER,
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER NO. 4544
IN THE OFFICES OF

EDC ENGINEERS & SURVEYORS ENVIRONMENTAL
18250 VILLAGE PARKWAY
PORT SAINT LUCIE, FL 34957
772-330-4990

F.B.P.E. CERTIFICATE OF AUTHORIZATION 8935
L.B. CERTIFICATE OF AUTHORIZATION 8098



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	February 12, 2019
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Final Development Plan		Aerial Map
		Final Development Plan
		Building Elevation

SUBJECT: **RAMIREZ CAR SALES – FINAL DEVELOPMENT PLAN**

REQUEST: **RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR RAMIREZ CAR SALES**

SUMMARY:

OWNERS/APPLICANTS: Francisco Ramirez & Juana Nuesi

ENGINEER: Ken Ehlers, P.E.

LOCATION: 124 West Main Street

PARCEL ID #: 09-21-28-6778-00-090

FUTURE LAND USE: Commercial

ZONING: C-3 (Wholesale Commercial District)

EXISTING USE: Vacant

PROPOSED USE: Automotive Sales and Repair

TRACT SIZE: 0.51 +/- acre; 22,060 +/- square feet

BUILDING SIZE: 1,960 square feet

FLOOR AREA RATIO Proposed 0.19; Maximum 0.25

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Public Right-of-Way (ROW)	ROW	U.S. 441/Main Street
East (City)	ROW	ROW	U.S. 441/Main Street
South (City)	Commercial	C-3	Self-Storage Facility
West (City)	Commercial	C-3	Veterinary Clinic

PROJECT SUMMARY: The Ramirez Car Sales Final Development Plan is a site plan proposing a 1,960 square feet, one-story building for automotive sales and repair use. Two garage bays are located in the rear of the building for oil and lube services, which will be performed indoor. Outdoor repair is prohibited.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	50' from ROW or 10' from the property line
Side	10'
Rear	15'

ACCESS/PARKING: Ingress/egress access will be via U.S. 441/Main Street. A total of 25 parking spaces are proposed. Three parking spaces, including one ADA-compliant parking space, two spaces for employees and 20 spaces for inventory are proposed.

STORMWATER: There is no increase of the impervious area (from the previous buildings), therefore, there is no requirement for a stormwater treatment.

LANDSCAPING/BUFFER:

- a. Along U.S. 441 – A ten-foot wide landscape buffer with a mixture of yaupon holly, juniper, and two live oak trees with ground cover and a 36" tall viburnum hedge.
- b. Internal Parking Areas – One elm tree is provided for each parking landscape island, with a minimum island width of eight-feet (measured from inside curb to inside curb) and matches the length of adjacent parking stalls.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the site plan for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

February 12, 2019 - Planning Commission, 5:30 p.m.
 March 6, 2019 - City Council, 1:30 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** finds the Final Development Plan consistent with the Comprehensive Plan and Land Development Code recommends approval of the Ramirez Car Sales Final Development Plan subject to the findings of this staff report.

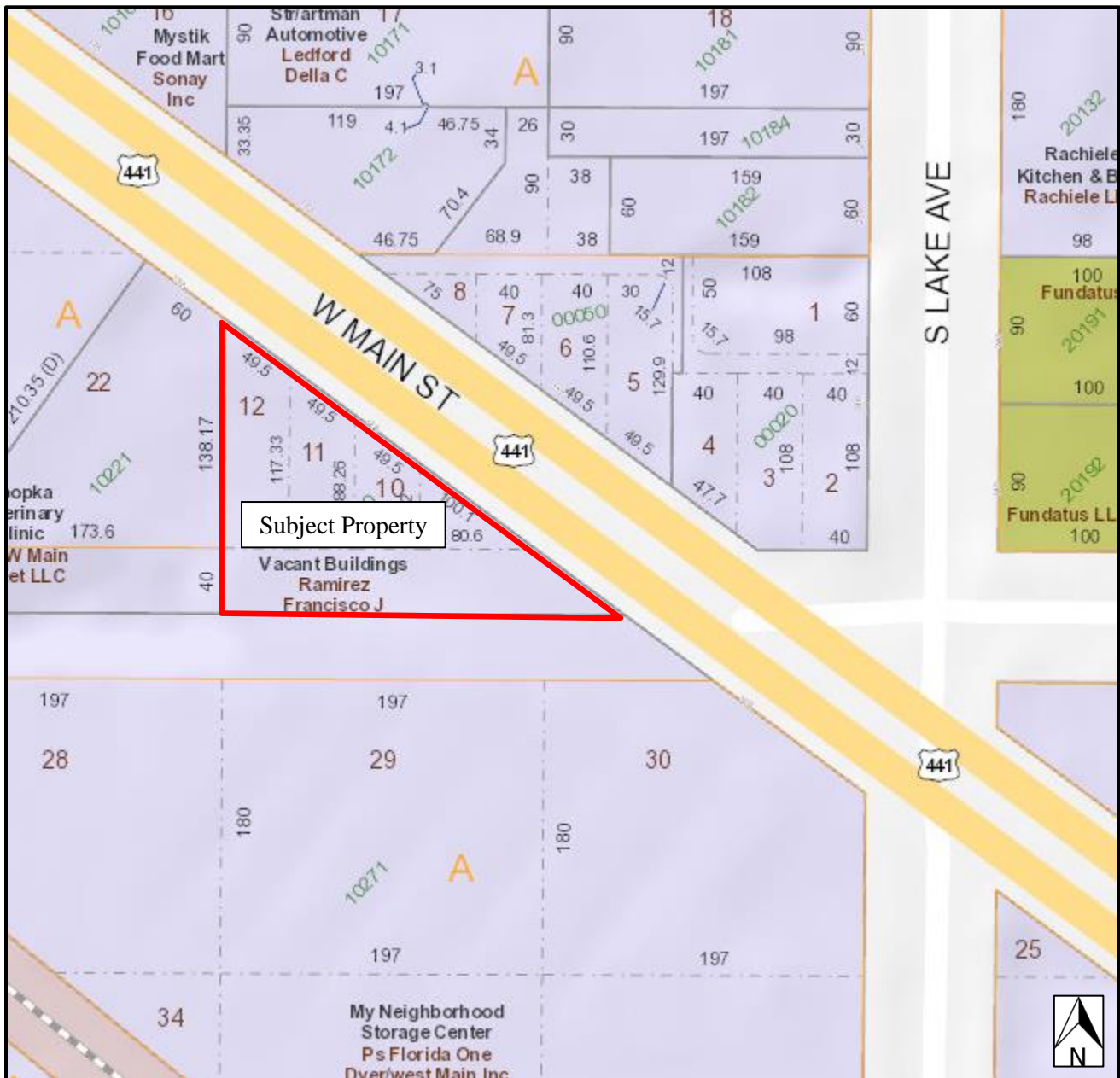
Planning Commission: Find the Ramirez Car Sales Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Ramirez Car Sales Final Development, subject to the findings of this staff report.

Planning Commission Role: To advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project Name: Ramirez Final Development Plan
Owners: Francisco Ramirez & Juana Nuesi
Engineer: Ken Ehlers, P.E.
Parcel I.D. No.: 09-21-28-6778-00-090
Address: 124 West Main Street
Total Acreage: 0.51 +/- acre

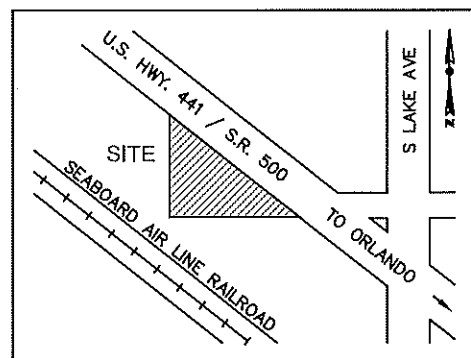
VICINITY MAP



AERIAL MAP



FINAL SITE DEVELOPMENT PLAN



LOCATION MAP

SEC. 09, TWN. 21 S, RNG. 28 E
PARCEL ID # 09-21-28-6778-00-090

CONTACT LIST:

GEOTECHNICAL/SOIL ENGINEER:

UNIVERSAL ENGINEERING SCIENCES
3532 MAGGIE BOULEVARD
ORLANDO, FLORIDA 32811
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PROJECT MANAGER
(407) 423-0504, FAX (407) 423-3106

TELEPHONE:

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33 N. MAIN STREET
WINTER GARDEN, FLORIDA 34787
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ELECTRIC:

DUKE ENERGY
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LAKE MARY, FLORIDA 32746
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GAS:

LAKE APOPKA NATURAL GAS DISTRICT
1320 WINTER GARDEN-VINELAND ROAD
WINTER GARDEN, FLORIDA 34787
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CABLE:

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844 MAGUIRE ROAD
OCOCHEE, FLORIDA 34761
MARVIN L. USRY, JR.
(407) 532-8509
E-MAIL: MARVIN.USRY@MYBRIGHTHOUSE.COM

WATER AND WASTEWATER:

CITY OF APOPKA
746 E. CLEVELAND STREET
APOPKA, FLORIDA 32703
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PUBLIC SERVICES DIRECTOR
(407) 703-1731, FAX (407) 703-1791
E-MAIL: J.DAVOLL@APOPKA.NET

ST. JOHNS RIVER WATER MANAGEMENT DISTRICT:

601 S. LAKE DESTINY DRIVE, SUITE 200
MAITLAND, FLORIDA 32751-7262
ATTN: MARJORIE COOK, P.E., SENIOR PROFESSIONAL ENGINEER
(407) 650-4852
E-MAIL: MCOOK@SJRWMDCOM

UTILITY LOCATIONS:

PRIOR TO EXCAVATION CALL
ONE CALL UTILITY LOCATION SYSTEM
(800) 432-4770

MAYOR:

BRYAN NELSON

COUNCIL MEMBERS:

ALEXANDER SMITH
ALICE NOLAN
DOUG BANKSON
KYLE BECKER

CITY ADMINISTRATOR:

EDWARD BASS

PUBLIC SERVICES DIRECTOR:

R. JAY DAVOLL, P.E.

CITY ENGINEER:

RICHARD W. EARP, P.E.

FDEP:

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
DOMESTIC WASTEWATER PERMITTING
3319 MAGUIRE BOULEVARD, SUITE 232
ORLANDO, FLORIDA 32803-3787
ATTN: CHUCK LEGROS
(407) 855-4158
EMAIL: CHARLES.LEGROS@DEP.FL.STATE.US

FDOT:

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DISTRICT FIVE
719 S. WOODLAND BLVD., MS 2-553
DELAND, FLORIDA 32720
ATTN: FERRELL L. HICKSON, JR., P.E.
DISTRICT DRAINAGE DESIGN ENGINEER
OFFICE: (386) 943-5433
E-MAIL: FERRELL.HICKSON@DOT.STATE.FL.US

FDOT:

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
OVIEDO OPERATIONS
2400 CAMP ROAD
OVIEDO, FLORIDA 32765
ATTN: CHRISTOPHER COLEMAN, P.E.
OPERATIONS PROGRAM ENGINEER
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E-MAIL: CHRISTOPHER.COLEMAN@DOT.STATE.FL.US

FDOT:

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
OVIEDO OPERATIONS
2400 CAMP ROAD
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ATTN: LAITH J. KAREEM
PERMITS COORDINATOR I
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LANDSCAPE ARCHITECT:

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RAMIREZ CAR SALES
124 W. MAIN STREET
APOPKA, FLORIDA 32703

MAY 17, 2018

ENGINEER

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PROFESSIONAL ENGINEERING SERVICES
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
(407) 448-3412; FAX (352) 383-2537
E-MAIL: KEHLERS@COMCAST.NET

OWNER

FRANCISCO J. RAMIREZ
ROXANA RAMIREZ
RAMIREZ CAR SALES
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APOPKA, FLORIDA 32712
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E-MAIL: ROXANANUESI2011@YAHOO.COM

SURVEYOR

THOMAS J. MCMAHON, PSM
MCMAHON SURVEYING AND MAPPING, LLC.
245 SAN MARCOS AVENUE
SANFORD, FLORIDA 32771
(407) 328-7201, FAX (407) 000-0000
E-MAIL: MCMAHONSURV@BELLSOUTH.NET

SURVEY NOTE

THIS PLAN INDICATES THE LOCATION OF THE PROPERTY BOUNDARY, AS PROVIDED BY MCMAHON SURVEYING AND MAPPING, LLC, A FLORIDA LICENSED LAND SURVEYING COMPANY.
THE ENGINEER OF RECORD DOES NOT CERTIFY TO THE CORRECTNESS OF THE BOUNDARY, WHICH HAS BEEN PROVIDED FOR INFORMATIONAL AND CIVIL ENGINEERING DESIGN PURPOSES ONLY.

INDEX OF DRAWINGS:

1. BOUNDARY AND TOPOGRAPHIC SURVEY
2. GENERAL NOTES
3. DEMOLITION AND EROSION CONTROL PLAN
4. SITE PLAN
- 4A. SITE PLAN (ENLARGEMENT)
- 4B. UTILITY PLAN
- 4C. FIRE TRUCK TURN PLAN
- 4D. FDOT CROSS SECTION
- 4E. DRAINAGE AND UTILITY EASEMENT PLAN
- 4F. SOIL BORING LOCATION MAP
5. PRIVATE LIFT STATION DETAILS
6. STANDARD DETAILS
7. STANDARD DETAILS
- 8.-11. WATER DETAILS
12. WATER AND SEWER DETAILS
13. GENERAL DETAILS
- 14.-15. FDOT STANDARD DETAILS
16. PHOTOMETRIC PLAN
17. PHOTOMETRIC CUT-SHEETS
18. LANDSCAPE PLAN
19. IRRIGATION PLAN
20. FLOOR PLAN AND ELEVATIONS

GOVERNING DESIGN STANDARDS & SPECIFICATIONS

STATE OF FLORIDA DOT DESIGN STANDARDS (2017/18 EDITION)
FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2018 EDITION)
FDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (2009 EDITION)
CITY OF APOPKA UTILITY DESIGN AND CONSTRUCTION MANUAL (2016 EDITION)

DEMOLITION AND EROSION CONTROL NOTES:

- SILT SCREENS AND TURBIDITY BARRIERS INSTALLED MUST REMAIN IN PLACE AND MAINTAINED IN GOOD CONDITION AT ALL LOCATIONS SHOWN UNTIL THE CONSTRUCTION IS COMPLETED, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- THE EROSION CONTROL MEASURES SET FORTH IN THESE PLANS ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BY THE CITY OF APOPKA BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.
- ALL EROSION AND SEDIMENT CONTROL AND TREE PROTECTION WORK SHALL CONFORM TO THE DESIGN STANDARDS OF THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA, AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
- EROSION AND SEDIMENT CONTROL MEASURES AND TREE PROTECTION BARRIERS ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- SEDIMENT MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS AND TREE BARRICADES. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
- ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC OR PRIVATE ROADS AND FACILITIES, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL THE REQUIRED CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE SILT FENCE DETAIL IS SHOWN ON PLAN SHEET 3.

GENERAL NOTES:

- EXISTING ROADWAY BASE MATERIALS SUCH AS LIMEROCK MAY BE USED IN STABILIZATION IF SUITABLE FOR MIXING.
- ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFFSITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND HAULING WASTE MATERIALS. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL SHEETING, SHORING AND BRACING REQUIRED TO PROTECT ADJACENT STRUCTURES AND UTILITIES OR TO MINIMIZE TRENCH WIDTH AS REQUIRED. SHEETING AND SHORING SHALL BE DESIGNED BY A STATE OF FLORIDA REGISTERED P.E., RETAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL AND SAFETY DEVICES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES* AND THE LATEST FL DEPARTMENT OF TRANSPORTATION "ROADWAY DESIGN STANDARDS".
- MAINTENANCE OF TRAFFIC: ACCESS FOR LOCAL TRAFFIC WITHIN THE PROJECT LIMITS SHALL BE MAINTAINED. IF, DURING CONSTRUCTION ACCESS FOR LOCAL TRAFFIC IS CHANGED, THEN THE CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF THREE WORKING DAYS IN ADVANCE. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH INDEX NO 800 OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS.
- GOVERNING STANDARDS AND SPECIFICATIONS ON THIS PROJECT ARE: THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS (2017/2018 EDITION), FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2018 EDITION), AND THE CITY OF APOPKA UTILITY DESIGN AND CONSTRUCTION MANUAL (2016 EDITION).
- ALL PERSONAL PROPERTY, EXCEPT MAIL BOXES LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY (NOT RELOCATED BY THE PROPERTY OWNER), SHALL BE REMOVED BY THE CONTRACTOR AS NECESSARY TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE CONSTRUCTION PLANS. MAIL BOXES SHALL BE RELOCATED BY THE CONTRACTOR IN ACCORDANCE WITH FDOT INDEX NO. 532.
- THE DISPOSAL OF EXCESS EARTHWORK MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. APPROVAL OF DISPOSAL SITES SHALL BE OBTAINED FROM THE CITY OF APOPKA PRIOR TO DISPOSAL.
- ALL EXISTING TREES AND STUMPS WITHIN THE PUBLIC RIGHT-OF-WAY AND LIMIT OF THE PROJECT SHALL BE REMOVED AS CLEARING AND GRUBBING, AS DEPICTED IN THE CONSTRUCTION PLANS, UNLESS DIRECTED OTHERWISE.
- SEED AND MULCH ALL DISTURBED AREAS NOT COVERED BY SOD UNLESS DIRECTED OTHERWISE.
- ALL PAVEMENT OFFSETS DEPICTED IN THE CONSTRUCTION PLANS ARE TO THE PROPOSED CENTERLINE OF CONSTRUCTION, WHEREAS RADIUS DIMENSIONS ARE TO THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- TURNOUT LOCATIONS AND WIDTHS DEPICTED IN THE CONSTRUCTION PLANS ARE APPROXIMATE AND MAY BE ADJUSTED AS NECESSARY OR AS DIRECTED BY THE ENGINEER OF RECORD. ALL TURNOUTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT INDEX NO. 515.
- THE VARIOUS PERMITS INCLUDED IN THE BID SPECIFICATIONS PAYMENT ARE INCLUDED IN THE BID PRICE FOR SECTION 104. THE CONTRACTOR SHALL PERFORM HIS WORK IN ACCORDANCE WITH THE REQUIREMENTS OF "PREVENTION, CONTROL, AND ABATEMENT OF EROSION AND WATER POLLUTION", EXCLUDING ITEMS SPECIFIED ELSEWHERE. ENVIRONMENTAL CONTROLS SHALL BE USED AT LOCATIONS DESIGNATED IN THE CONSTRUCTION PLANS AND/OR DESIGNATED BY THE ENGINEER OF RECORD.
- THE INFORMATION DEPICTED IN THE CONSTRUCTION PLANS CONCERNING THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS BASED ON AVAILABLE RECORDS AND SURVEYS, BUT IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR SHALL MAKE OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERE TO, AND IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION.
- PRIOR TO ORDERING DRAINAGE STRUCTURES, THE CONTRACTOR SHALL DETERMINE IF DRAINAGE UTILITY CONFLICTS EXIST. INFORMATION ABOUT POSSIBLE CONFLICTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR A RESOLUTION, AS SOON AS POSSIBLE AFTER DISCOVERY OF SUCH CONFLICTS.
- THE CONTRACTOR SHALL NOTIFY ALL GAS UTILITY COMPANIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATION AS REQUIRED BY CHAPTER 77-153, LAWS OF FLORIDA, PROTECTION OF GAS PIPELINES, OF THE FLORIDA STATE STATUTES.
- ALL INLET/MANHOLE - PIPE JOINTS SHALL BE FILLED WITH NON-SHRINK GROUT, COVERED WITH AN ASPHALTIC MASTIC COATING, AND WRAPPED WITH A FILTER FABRIC MATERIAL PER SECTION 13.03.03 OF THE ORANGE COUNTY PUBLIC ROAD CONSTRUCTION SPECIFICATIONS.
- ALL CURB INLETS, DITCH BOTTOM INLETS, AND MANHOLES SHALL HAVE TRAFFIC BEARING FRAMES AND COVERS OR GRATES MEETING HS-20 LOADING REQUIREMENTS.
- CHANGES OF PIPE INVERTS NOT EXCEEDING PLUS OR MINUS ONE FOOT WILL NOT BE CONSIDERED AS A BASIS FOR ADDITIONAL COMPENSATION FOR THE PERTINENT PIPE BID ITEM OF FOR THE MODIFICATION OF PRECAST STRUCTURES.
- ALL BENCHMARKS (IRONS AND MONUMENTS) DEPICTED IN THE CONSTRUCTION PLANS, OR FOUND, SHALL BE PRESERVED. THOSE SHOWN IN PROPOSED PAVEMENT SHALL BE PROTECTED WITH A CAST IRON VALVE BOX.
- PUBLIC LAND CORNERS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED OR DISTURBED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, WITHOUT DELAY, BY TELEPHONE. THE CONTRACTOR SHALL PROVIDE WRITTEN FOLLOW UP CONFIRMATION WITHIN 48-HOURS OF TELEPHONE NOTIFICATION.

GENERAL NOTES CONTINUED:

- PRIOR TO BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD A SET OF FIELD NOTES VERIFYING THE BENCHMARK ELEVATIONS AND THE REFERENCE POINT CONNECTIONS ON THE PLAN AND PROFILE VIEW SHEETS, AND/OR A SET OF FIELD NOTES FOR ALL ADDITIONAL BENCHMARK AND REFERENCE POINT CONNECTIONS PROPOSED TO BE USED IN CONSTRUCTING THE PROJECT WITH THEIR LOCATION, DESCRIPTION AND ELEVATION, BASED ON NATIONAL GEODETIC VERTICAL DATUM (NGVD 29). ALL SUBMITTALS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA.
- WITHIN 21 CALENDAR DAYS AFTER NOTICE TO PROCEED, THE CONTRACTOR SHALL STAKE THE PUBLIC RIGHT-OF-WAY AT 50 FOOT INTERVALS AND THE RIGHT-OF-WAY BREAKS WITH CORRESPONDING STATIONS SHOWN ON THE STAKES. NO INVOICE FOR PAYMENT OF MOBILIZATION WILL BE PROCESSED UNTIL THE RIGHT-OF-WAY HAS BEEN STAKED TO THE SATISFACTION OF THE ENGINEER OF RECORD.
- ANY UNITED STATES CODE (USC) AND NATIONAL GEODETIC SURVEY (NGS) MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, AND BOTH SHALL NOTIFY:
STATE OF FLORIDA GEODETIC ADVISOR
STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
DIVISION OF STATE LANDS
BUREAU OF SURVEY AND MAPPING
MAIL STATION 105
3900 COMMONWEALTH BLVD.
TALLAHASSEE, FL 32399-300
PHONE: (850) 245-2606
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUIRE ALL NECESSARY RIGHT-OF-WAY UTILIZATION AND MAINTENANCE OF TRAFFIC PERMITS. THE CITY WILL WAIVE ALL PERMITS REQUIRED FOR CONSTRUCTION ACTIVITIES WITHIN THE LIMITS OF PUBLIC RIGHT-OF-WAY OWNED AND MAINTAINED BY THE CITY OF APOPKA. FOR CONSTRUCTION ACTIVITY WITHIN THE LIMITS OF PUBLIC RIGHT-OF-WAY MAINTAINED BY THE CITY BUT OWNED BY ORANGE COUNTY OF THE STATE OF FLORIDA, THE CONTRACTOR SHALL ACQUIRE THE REQUIRED PERMITS FROM THESE AGENCIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND IN-HAND BEFORE BEGINNING ANY CONSTRUCTION.
- THE LOCATIONS OF ALL EXISTING UTILITIES, STORM DRAINAGE SYSTEMS, AND TOPOGRAPHIC FEATURES DEPICTED IN THE CONSTRUCTION PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER OF RECORD ASSUMES NO RESPONSIBILITY FOR THEIR INACCURACY. SHOULD A DISCREPANCY ARISE BETWEEN THE CONSTRUCTION PLANS AND THE ACTUAL FIELD CONDITIONS, WHICH WOULD SUBSTANTIALLY AFFECT THE EXECUTION OF THE PLANS, THE CONTRACTOR SHALL HALT CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CITY AT LEAST 48-HOURS BEFORE SCHEDULING ANY INSPECTION. ALSO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL INSPECTION CRITERIA, SCHEDULES, AND SIGNING THE SAID INSPECTIONS.
- THE CONTRACTOR SHALL NOT EXCAVATE, REMOVE OR OTHERWISE DISTURB ANY MATERIAL, STRUCTURE OR PART OF A STRUCTURE WHICH IS LOCATED OUTSIDE THE LINES, GRADES OR GRADING SECTION, ESTABLISHED FOR THIS PROJECT, EXCEPT WHERE SUCH EXCAVATIONS OR REMOVAL IS PROVIDED IN THE CONSTRUCTION PLANS OR TECHNICAL SPECIFICATIONS ON THE CONTRACT.
- ALL WORK AND ALL MATERIALS FURNISHED SHALL BE IN CONFORMITY WITH THE LINES, GRADES, GRADING SECTIONS, CROSS SECTIONS, DIMENSIONS, MATERIAL REQUIREMENTS, AND TESTING REQUIREMENTS THAT ARE SPECIFIED IN THE CONSTRUCTION PLANS OR TECHNICAL SPECIFICATIONS OF THE CONTRACT.
- ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS.
- APPARENT ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD BEFORE BIDDING.
- AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TO THE CITY A COMPLETED AS-BUILT PLAN ONE WEEK PRIOR TO THE FINAL INSPECTION. BEFORE THE FINAL INSPECTION IS SCHEDULED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM A SITE CLEANUP FOR THE REMOVAL OF TRASH, DEBRIS, EXCESS MATERIALS, AND EQUIPMENT TO PRESENT THE PROJECT SITE CLEAN AND IN GOOD ORDER.
- NO EXTRA PAYMENTS SHALL BE ALLOWED FOR ANY WORK REQUIRED DUE TO MISUNDERSTANDING OF JOB OR SITE CONDITIONS AFFECTING THE WORK AS DESCRIBED IN THE TECHNICAL SPECIFICATIONS OR SHOWN IN THE CONSTRUCTION PLANS. THE CONTRACTOR SHALL NOT TAKE ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE CONSTRUCTION PLANS OR TECHNICAL SPECIFICATIONS AND ENGINEER OF RECORD SHALL BE PERMITTED TO MAKE CORRECTIONS AND INTERPRETATION AS MAY BE DEEMED NECESSARY FOR THE FULFILLMENT OF THE INTENT OF THE CONTRACT DOCUMENTS. BY ENTERING THE BIDDING PROCESS THE BIDDERS ACKNOWLEDGE ACCEPTANCE OF THESE CONDITIONS.

GRADING AND DRAINAGE NOTES:

- EXISTING TOPOGRAPHY AND ROADWAY RIGHTS-OF-WAY DATA SHOWN ARE BASED UPON CERTIFIED BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY MCMAHON SURVEYING AND MAPPING, LLC.
- GEOTECHNICAL/SOIL REPORT PREPARED BY UNIVERSAL ENGINEERING SCIENCES, INC. DATED 5/28/08.
- CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA LOCATIONS OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION WITHIN STREET RIGHTS-OF-WAY SHALL CONFORM TO APPLICABLE STATE AND LOCAL JURISDICTIONAL REQUIREMENTS.
- ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIP RAP MUST BE PLACED AS NECESSARY TO CONTROL EROSION (WHERE APPLICABLE).
- GRADING CONTRACTOR IS RESPONSIBLE FOR STRIPPING AND STOCKPILING OF TOPSOIL. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR SPREADING 4" OF TOPSOIL ON ALL LANDSCAPE AREAS AND REMOVING EXCESS TOPSOIL FROM SITE.
- GRADING CONTRACTOR SHALL PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
- FOR BENCHMARK INFORMATION REFER TO CERTIFIED BOUNDARY AND TOPOGRAPHIC SURVEY PLAN.
- ALL GRADES SHOWN ARE FINISHED GRADES UNLESS NOTED OTHERWISE.
- INLET ELEVATIONS AND MANHOLE ELEVATIONS ARE TOP OF RIM.
- ALL MATERIALS, INSTALLATION, AND TESTING SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. WHERE STANDARDS CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
- COORDINATE VALUES, IF SHOWN, ARE BASED ON A LOCAL GRID ESTABLISHED BY THE SURVEYOR.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE GRADED TO ORIGINAL GROUND LINES, FINISHED WITH ARGENTINE BAHIA SOD UNLESS NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN ALL AREAS UNTIL FINAL ACCEPTANCE.
- SUBSURFACE INFORMATION FOR THIS PROJECT WAS OBTAINED FOR DESIGN PURPOSES AND MAY NOT BE AN ADEQUATE REPRESENTATION OF ACTUAL CONDITIONS AT TIME OF CONSTRUCTION, INFORMATION SHOWN, INCLUDING WATER LEVELS, REPRESENT EXISTING CONDITIONS AT SPECIFIC BORING LOCATIONS AT THE TIME THE BORINGS WERE PERFORMED.
- ALL REFERENCES TO PROPOSED CONSTRUCTION INDICATES CONSTRUCTION INCLUDED IN CONTRACT.
- ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OR ARCHITECT, IN WRITING, WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH DIFFERING CONDITIONS WILL BE ALLOWED IF HE FAILS TO PROVIDE WRITTEN NOTIFICATION.
- THE GENERAL CONTRACTOR MUST VERIFY SOIL CEMENT BASE FLOW LINE ELEVATIONS BEFORE PAVING TO ENSURE POSITIVE DRAINAGE TO INLET.

STANDARD UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS ALSO TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES AND ANY UTILITY ADJUSTMENT REQUIRED. UTILITIES COMPANIES SHALL BE NOTIFIED A MINIMUM OF THREE WORKING DAYS PRIOR TO EXCAVATION.
- THE LOCATION OF EXISTING UTILITIES, SUCH AS WATER MAINS, SEWER MAINS, GAS LINES, ETC. AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF OF THE LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL UTILITY COMPANIES FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND HAVE THEIR FACILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK.
- WHERE APPLICABLE UTILITY TRENCHES CROSSING PAVEMENT AREAS SHALL BE BACKFILLED WITH GRANULAR MATERIAL IN TWELVE INCH (12") LAYERS AND COMPACTED TO NINETY EIGHT PERCENT (98%) MAXIMUM DENSITY AS DETERMINED BY AASHTO.
- ALL UNSUITABLE MATERIALS UNDER WATER MAIN, STORM SEWER AND SANITARY SEWER PIPES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL COMPACTED TO NINETY-FIVE PERCENT (95%) OF ITS MAXIMUM DENSITY AT TWO PERCENT (2%) MORE OR LESS OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D1557).
- ANY DAMAGE TO UNDERGROUND UTILITIES AND/OR STRUCTURES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL INSTALL ALL WATER AND SEWER LINES AND SERVICES A MINIMUM OF THIRTY-SIX INCH (36") BELOW FINISHED GRADE TO TOP OF PIPE UNLESS INDICATED OTHERWISE ON THE PLANS.
- ALL SANITARY SEWER GRAVITY PIPE SHALL BE POLYVINYL CHLORIDE (PVC) CONFORMING TO ASTM-3034, SDR 35 AND BE INSTALLED IN ACCORDANCE WITH ASTM D-2321.
- SANITARY SEWER PRESSURE PIPE SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE CONFORMING TO AWWA C-900 WITH DIMENSION RATIO (DR) OF TWENTY FIVE (25) AND A MINIMUM PRESSURE CLASS OF ONE HUNDRED POUNDS PER SQUARE INCH (100 P.S.I.).
- UNLESS INDICATED OTHERWISE ON THE PLANS, SIX INCH (6") POLYVINYL CHLORIDE SEWER LATERALS SHALL HAVE A MINIMUM SLOPE OF ONE PERCENT (1.0%) AND FOUR INCH (4") POLYVINYL CHLORIDE SEWER LATERALS SHALL HAVE A MINIMUM SLOPE OF TWO PERCENT (2.0%).
- WATER SERVICE PIPE SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE CONFORMING TO AWWA C-900 WITH DIMENSION RATIO (DR) OF EIGHTEEN (18) AND A MINIMUM PRESSURE CLASS OF ONE HUNDRED FIFTY POUNDS PER SQUARE INCH (150 P.S.I.).
- ALL WATER PIPE SHALL BE DISINFECTED AND HYDROSTATICALLY TESTED IN ACCORDANCE WITH AWWA STANDARDS C651, C600 OR M23 FOR POLY VINYL CHLORIDE AND LOCAL UTILITY SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE AT HIS EXPENSE, ALL NECESSARY TESTING EQUIPMENT, PRESSURE GAUGES, WATER METERS AND FACILITIES REQUIRED FOR PRESSURE AND LEAKAGE TESTING.
- FULLY RESTRAINED DUCTILE IRON PIPING, IF SPECIFIED ON THE PLANS, SHALL BE USTR FLEX OR APPROVED EQUAL.
- PVC JOINT RESTRAINT SHALL BE UNI-FLANGE SERIES 1350 OR APPROVED EQUAL.
- ALL WATER AND SANITARY SEWER IMPROVEMENTS SHALL BE INSTALLED AND MAINTAINED BY OWNER IN CONFORMANCE WITH THE LOCAL UTILITY PROVIDER.
- CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUTS, MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES.
- ELECTRICAL, TELEPHONE, GAS, AND CABLE TELEVISION SERVICE WILL BE PROVIDED BY APPROPRIATE UTILITY COMPANIES. THE CONTRACTOR SHALL COORDINATE LOCATIONS AND SERVICES FOR THESE UTILITIES WITH THE ENTITIES INVOLVED.

UTILITY SEPARATION NOTES:

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER (2)	3 FT. MINIMUM	12 INCHES IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 3 FT. MINIMUM
VACUUM SANITARY SEWER	10 FT. PREFERRED 3 FT. MINIMUM	12 INCHES PREFERRED 5 INCHES MINIMUM	ALTERNATE 3 FT. MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN, RECLAIMED WATER (4)	10 FT. PREFERRED 6 FT. MINIMUM (3)	12 INCHES IS THE MINIMUM, EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 6 FT. MINIMUM
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM	10 FT. MINIMUM	---	---

(1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
(3) 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
(4) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

DISCLAIMER - THIS DOCUMENT IS PROVIDED FOR YOUR CONVENIENCE ONLY. PLEASE REFER TO F.A.C. RULE 62-555.314 FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL. 1-407-448-3412
FAX 1-352-383-2537

GENERAL NOTES

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
2
JOB NO. 011718

NO.	REVISION	DATE
1	GENERAL CITY REVISION	11/28/18
2		
3		
4		
5		
6		
7		

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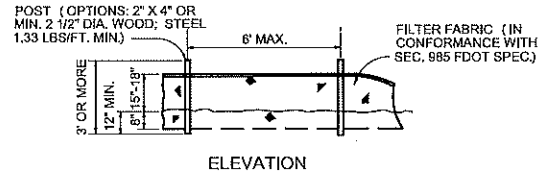
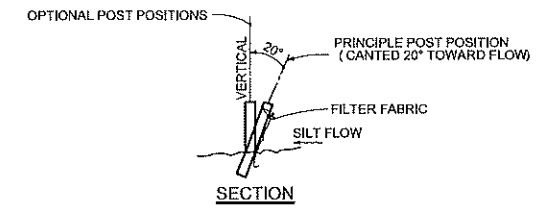
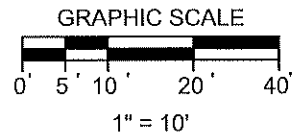
DEMOLITION AND EROSION CONTROL PLAN

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
3
JOB NO. 011718

GENERAL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH THE CITY OF APOPKA SPECIFICATIONS, SUBJECT TO AUTHORIZATION AND APPROVED VARIANCES, WAIVERS, AND/OR CONDITIONAL CHANGES.
3. THE CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN AT PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES IN CONTROLLING EROSION AND SEDIMENT DURING THE CONSTRUCTION.
4. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
5. IF THE GENERAL CONTRACTOR DISCOVERS THAT THERE IS AN EXISTING SEPTIC TANK AND DRAINFIELD ON SITE, IT MUST BE ABANDONED IN STRICT ACCORDANCE WITH ORANGE COUNTY HEALTH DEPARTMENT RULES AND REQUIREMENTS.



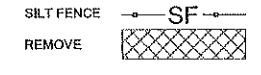
NOTE:
SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF).

TYPE III SILT FENCE
(FDOT INDEX #102)
NOT TO SCALE

CONSTRUCTION NOTES:

1. EXISTING FDOT DRAINAGE INLET TO BE REMOVED, AND EXISTING PIPE TO BE PLUGGED AND ABANDONED.
2. TYPE III SILT FENCE
3. EXISTING BUILDINGS TO BE REMOVED.
4. EXISTING ONSITE CHAIN LINK FENCE TO BE REMOVED.
5. EXISTING FDOT PIPE TO REMAIN AND BE PROTECTED.
6. EXISTING FDOT DRAINAGE STRUCTURE TO REMAIN AND BE PROTECTED.
7. UNIDENTIFIED AND MISSING FDOT DRAINAGE STRUCTURE.
8. EXISTING CONCRETE CURB, SIDEWALK AND APRON (TO BE REMOVED).
9. EXISTING CONCRETE POLE TO BE REMOVED.
10. EXISTING CONCRETE CURB AND SIDEWALK (TO BE REMOVED).

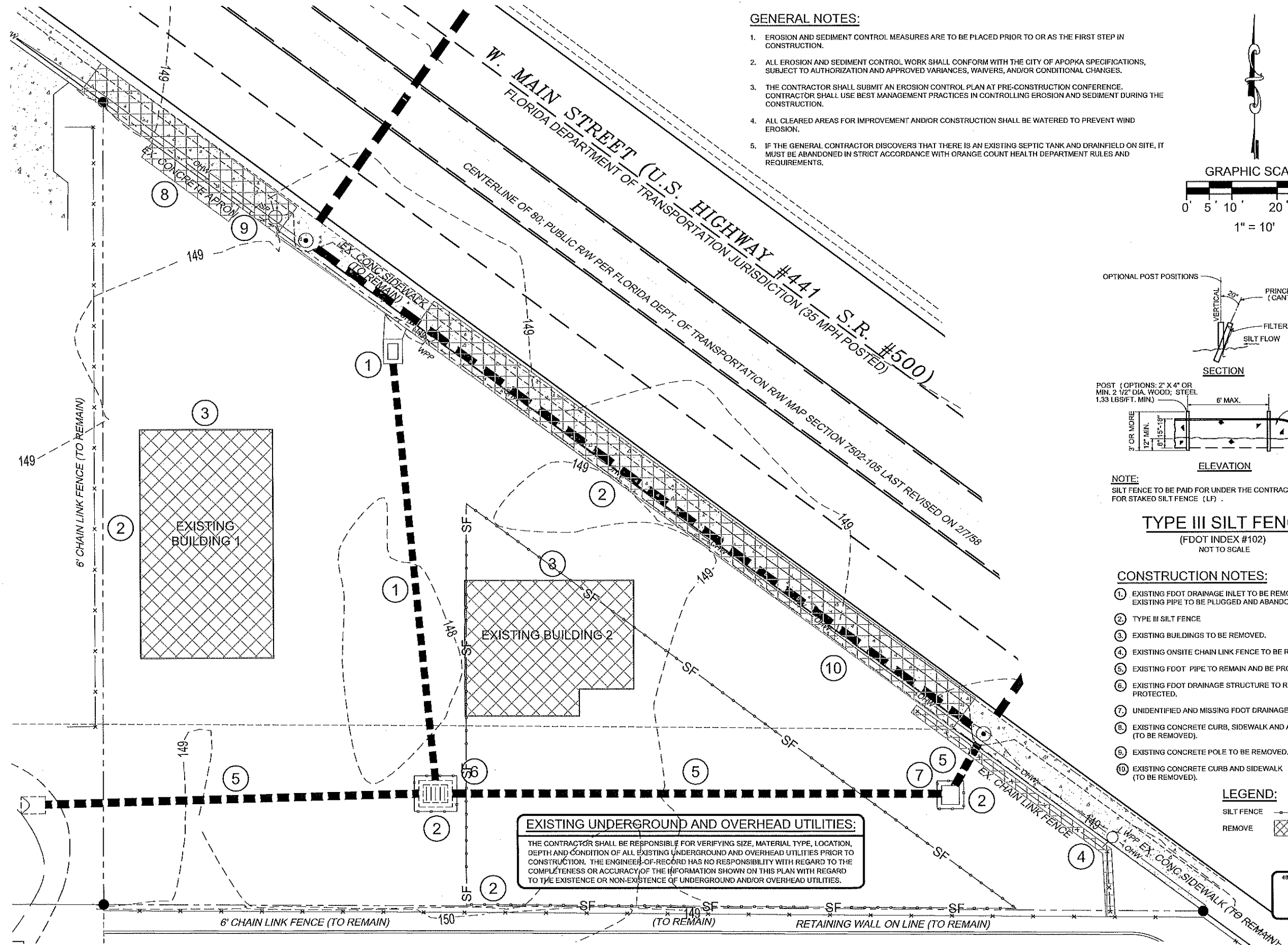
LEGEND:



48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

EXISTING UNDERGROUND AND OVERHEAD UTILITIES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SIZE, MATERIAL TYPE, LOCATION, DEPTH AND CONDITION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER-OF-RECORD HAS NO RESPONSIBILITY WITH REGARD TO THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN WITH REGARD TO THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND AND/OR OVERHEAD UTILITIES.



DEMOLITION AND EROSION CONTROL PLAN

GENERAL NOTES:

1. THE OWNER WILL DEDICATE AN EASEMENT TO THE CITY OF APOPKA FOR THE OPERATION AND MAINTENANCE OF THE PRIVATE WATER METERS.
2. ALL WATER MAINS AND FM SHALL HAVE A MINIMUM 3 FEET OF COVER UNLESS OTHERWISE SPECIFIED ON THE PLANS.
3. THE FIRE HYDRANT LOCATED IN THE GRASS AREA SHALL BE PLACED SO AS NOT TO INTERFERE WITH TREES AND/OR ROOT SYSTEMS.
4. INSTALL ADA CURB RAMPS PER FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS - INDEX 304, LATEST EDITION.
5. ALL DIMENSIONS MEASURED FROM FACE OF CURB UNLESS OTHERWISE NOTED.
6. PERIMETER WALLS SHALL BE DESIGNED BY OTHERS AND SHALL MEET CITY OF APOPKA BUILDING CODE STANDARDS.
7. SYMBOLS SUCH AS STRUCTURES, VALVES, METERS, BACKFLOW DEVICES, ETC. ARE NOT DRAWN TO SCALE.
8. CONTRACTOR TO GRADE SOILS SO THAT THE ELEVATIONS ARE 0.10' BELOW IMMEDIATELY ADJACENT SIDEWALK.
9. ALL CURB RADIUS ARE 2'-6" MEASURED FROM THE INSIDE FACE OF CURB UNLESS OTHERWISE NOTED.
10. HANDICAPPED RAMP MUST MEET THE REQUIREMENTS OF THE FLORIDA STATUTES AND THE FLORIDA BUILDING CODE.
11. VEHICLES MAY ONLY PARK IN DESIGNATED PARKING AREAS, AND NO INOPERABLE VEHICLES WILL BE PARKED ON SITE.
12. ALL CONCRETE SIDEWALKS ARE TO BE CONSTRUCTED AT 2.00% MAXIMUM SLOPE PER THE ADA.
13. ALL PAVED PARKING SPACES ARE TO BE CONSTRUCTED WITH A 2.00% (MINIMUM) TO 4.00% (MAXIMUM) SLOPE.
14. THE BUILDING AND ALL PROPOSED INFRASTRUCTURES, E.G., PAVEMENT, DRAINAGE, SIDEWALKS, SANITARY COLLECTION, POTABLE WATER AND FIRE PROTECTION, ETC. WILL BE CONSTRUCTED IN SINGLE PHASE.
15. CHAIN LINK FENCING IS NOT AN ALLOWABLE FENCING TYPE OR SCREENING MATERIAL.
16. FOLLOW FLORIDA STATUTES 633.027 CONCERNING LIGHT FRAME TRUSS CONSTRUCTION.
17. OWNER MUST PROVIDE A LOCK BOX NEAR THE FRONT DOOR.
18. NO OUTSIDE STORAGE ALLOWED.
19. INTENDED USE: OFFICE/MECHANIC AREA
20. THE FIRE HYDRANT MUST BE LOCATED WITHIN 250 FEET OF THE BUILDING.
21. NO EXISTING TREES LOCATED ON THE PROPERTY.
22. DIRECTIONAL ARROWS PER FDOT INDEX 17346.
23. FOLLOW THE FLORIDA FIRE PREVENTION CODE 6TH EDITION.

EXISTING UNDERGROUND AND OVERHEAD UTILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SIZE, MATERIAL TYPE, LOCATION, DEPTH AND CONDITION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER-OF-RECORD HAS NO RESPONSIBILITY WITH REGARD TO THE COMPLETENESS AND/OR ACCURACY OF INFORMATION SHOWN ON THIS PLAN WITH REGARD TO THE EXISTING AND/OR NON-EXISTENCE OF UNDERGROUND OR OVERHEAD UTILITIES.

APOPKA VETERINARY CLINIC
FLU = COMMERCIAL

BUILDING CONSTRUCTION

ALL ROADWAYS, WATER LINE INFRASTRUCTURES AND FIRE HYDRANT ASSEMBLY MUST BE IN PLACE AND ACCEPTED FOR PUBLIC USE BEFORE BUILDING CONSTRUCTION MAY BEGIN.

SOIL INFORMATION

SMYRNA UPLAND B/D TYPE SOIL

UTILITY EASEMENT

15' MAINTENANCE EASEMENT AS REQUIRED FOR UTILITIES TO BE OWNED AND/OR MAINTAINED BY THE CITY APOPKA, REFERENCE APOPKA LOCK-SAFE STORAGE DRAWING DATED 06/12/85.

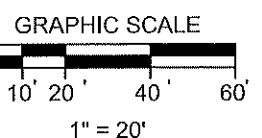
PARKING IDENTIFICATION

CUSTOMER: I, XII THRU XIII (3)
EMPLOYEE: XIV THRU XV, XXVI (3)
INVENTORY: XVI THRU XXV (10)
DISPLAY: II THRU XI (10)

SITE PLAN

LEGEND

000.00 TOP OF PAVEMENT ELEVATION
000.00 TOP OF CURB ELEVATION
000.00 BOTTOM OF CURB ELEVATION



CONSTRUCTION NOTES:

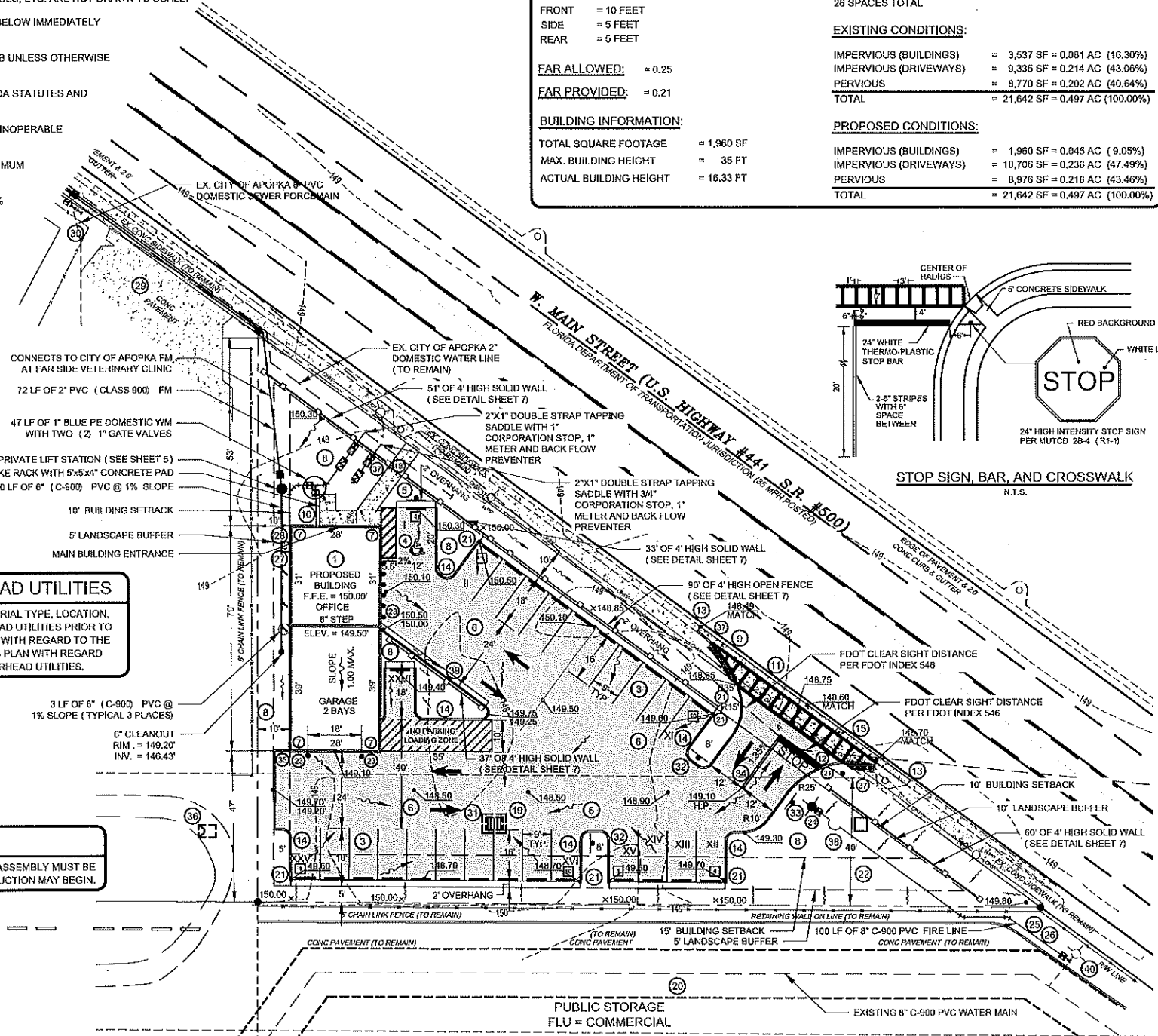
1. CONSTRUCT ONE (1) STORY BUILDING. SEE ARCHITECTURAL PLANS FOR DIMENSIONS
2. NOT USED
3. STRIPE THE PROPOSED REGULAR PARKING SPACES PER THE MANUAL ENTITLED "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD)
4. STRIPE AND SIGN THE PROPOSED HANDICAPPED PARKING SPACES PER THE DOCUMENTS ENTITLED "AMERICANS WITH DISABILITIES ACT" (A.D.A. AND THE "MUTCD")
5. INSTALL FTP-25 STANDARD HANDICAPPED PARKING SIGN AND POST
6. CONSTRUCT 1 1/2" ASPHALTIC CONCRETE SURFACE (TYPE S-III), 6" SOIL CEMENT OR CRUSHED CONCRETE, AND 8" STABILIZED SUBBASE. REFER TO PLAN (SHEET 7 FOR CONSTRUCTION DETAIL)
7. INSTALL DOWNSPOUT WITH CONCRETE SPLASHBLOCK TO DRAIN TO PAVEMENT
8. ALL GREEN AREAS TO BE SODDED AND/OR LANDSCAPED AS SHOWN ON LANDSCAPE PLAN
9. MATCH EDGE OF EXISTING PAVEMENT WITH SAW CUT
10. CONSTRUCT 5' WIDE CONCRETE SIDEWALK
11. CONSTRUCT 6' WIDE PAINTED CROSSWALK PER FDOT STANDARD INDEX 17346
12. CONSTRUCT 16.5 LF OF 24" STOP BAR AND STOP SIGN
13. ADA CURB RAMPS PER FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX 304. LATEST EDITION (SEE PLAN SHEET 17).
14. CONSTRUCT STANDARD FDOT TYPE "D" CURB PER FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX 300, LATEST EDITION (REFERENCE DRAINAGE DETAILS ON PLAN SHEET 8)
15. STANDARD 3'-0" WIDE VALLEY GUTTER PER FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX 300, LATEST EDITION (SEE PLAN SHEET 16)
16. ALL CURB RADIUS ARE 2'-6" AS MEASURED FROM THE INSIDE FACE OF CURB UNLESS OTHERWISE NOTED
17. NOT USED
18. CONSTRUCT 5' PEDESTRIAN GATE FOR PROPOSED FENCE
19. EXISTING FDOT INLET RIM TO REMAIN ADJUST RIM TO 148.30. ENSURE EXISTING GRATE IS TRAFFIC BEARING AND WILL ACCOMMODATE BICYCLE TRAFFIC
20. EXISTING 15' WIDE UTILITY EASEMENT DEDICATED TO THE CITY OF APOPKA FOR OPERATION AND MAINTENANCE
21. 3" CONCRETE CURB TAPER (SEE PLAN SHEET 7)
22. 40' FDOT DRAINAGE EASEMENT PER O.R.B. 3193, PG 1565
23. 6" Ø STEEL BOLLARD (SEE PLAN SHEET 15)
24. FIRE HYDRANT ASSEMBLY LOCATED AT 3' TO 5' FROM CURB
25. 8"x6" TAPPING SLEEVE AND VALVE
26. REPLACE EXISTING SOD EQUAL TO OR BETTER THAN ORIGINAL CONDITION
27. 3'x3'x4" THICK CONCRETE A/C PAD
28. LIFT STATION CONTROL PANEL MOUNTED ON WALL
29. 2" DIRECTIONAL BORE
30. 2" X 6" TAPPING SLEEVE AND 2" GATE VALVE
31. CONTRACTOR TO ENSURE POSITIVE DRAINAGE TO EXISTING INLET
32. "10 MPH SPEED LIMIT" SIGN
33. "NO PARKING / FIRE LANE" SIGN
34. BLUE RAISED PAVEMENT MARKER
35. HOSE BIBB
36. MITERED END SECTION (TO REMAIN)
37. DETECTABLE WARNINGS PER FDOT INDEX 304 (SEE PLAN SHEET 17)
38. USE 4 - 45°-6" Ø ELBOWS TO PROVIDE MINIMUM 18" CLEARANCE
39. CONSTRUCT STANDARD FDOT TYPE "F" CURB PER FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX 300, LATEST EDITION (REFERENCE DRAINAGE DETAILS ON PLAN SHEET 8)
40. EXISTING OFF-SITE FIRE HYDRANT

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6034 FALCONBRIDGE PLACE
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TEL 1-407-448-3412
FAX 1-352-383-2537

SITE PLAN

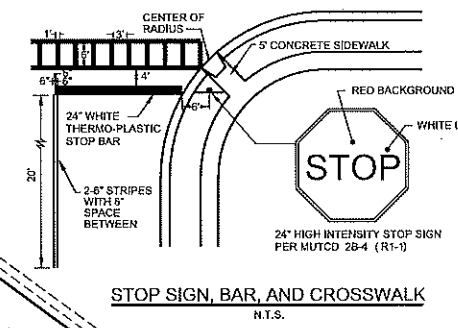
RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
4
JOB NO. 011718



SITE DATA

CURRENT ZONING:	COMMERCIAL (C-3)	PARKING REQUIREMENTS:	3 SPACES/BAY 1 SPACE/EVERY 200 SF OFFICE
PROPOSED ZONING:	COMMERCIAL (C-3)	BUILDING SETBACK:	FRONT = 10 FEET (FACING US 441) SIDE = 10 FEET REAR = 15 FEET
FUTURE LAND USE:	COMMERCIAL	LANDSCAPE BUFFER:	FRONT = 10 FEET SIDE = 5 FEET REAR = 5 FEET
BUILDING SETBACK:		FAR ALLOWED:	= 0.25
LANDSCAPE BUFFER:		FAR PROVIDED:	= 0.21
FAR ALLOWED:	= 0.25	BUILDING INFORMATION:	TOTAL SQUARE FOOTAGE = 1,960 SF MAX. BUILDING HEIGHT = 35 FT ACTUAL BUILDING HEIGHT = 16.33 FT
FAR PROVIDED:	= 0.21	EXISTING CONDITIONS:	IMPERVIOUS (BUILDINGS) = 3,537 SF = 0.981 AC (16.30%) IMPERVIOUS (DRIVEWAYS) = 9,335 SF = 0.214 AC (43.06%) PERVIOUS = 8,770 SF = 0.202 AC (40.64%) TOTAL = 21,642 SF = 0.497 AC (100.00%)
BUILDING INFORMATION:	TOTAL SQUARE FOOTAGE = 1,960 SF MAX. BUILDING HEIGHT = 35 FT ACTUAL BUILDING HEIGHT = 16.33 FT	PROPOSED CONDITIONS:	IMPERVIOUS (BUILDINGS) = 1,960 SF = 0.045 AC (9.05%) IMPERVIOUS (DRIVEWAYS) = 10,705 SF = 0.236 AC (47.49%) PERVIOUS = 8,976 SF = 0.216 AC (43.46%) TOTAL = 21,642 SF = 0.497 AC (100.00%)



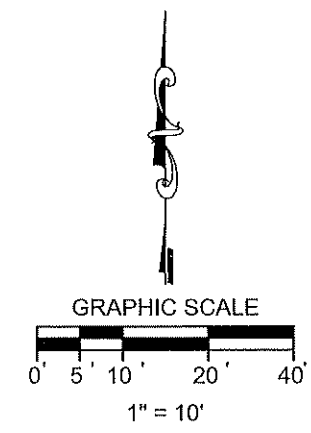
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KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6084 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-407-448-3412
Fax 1-352-383-2537

SITE PLAN
(ENLARGEMENT)

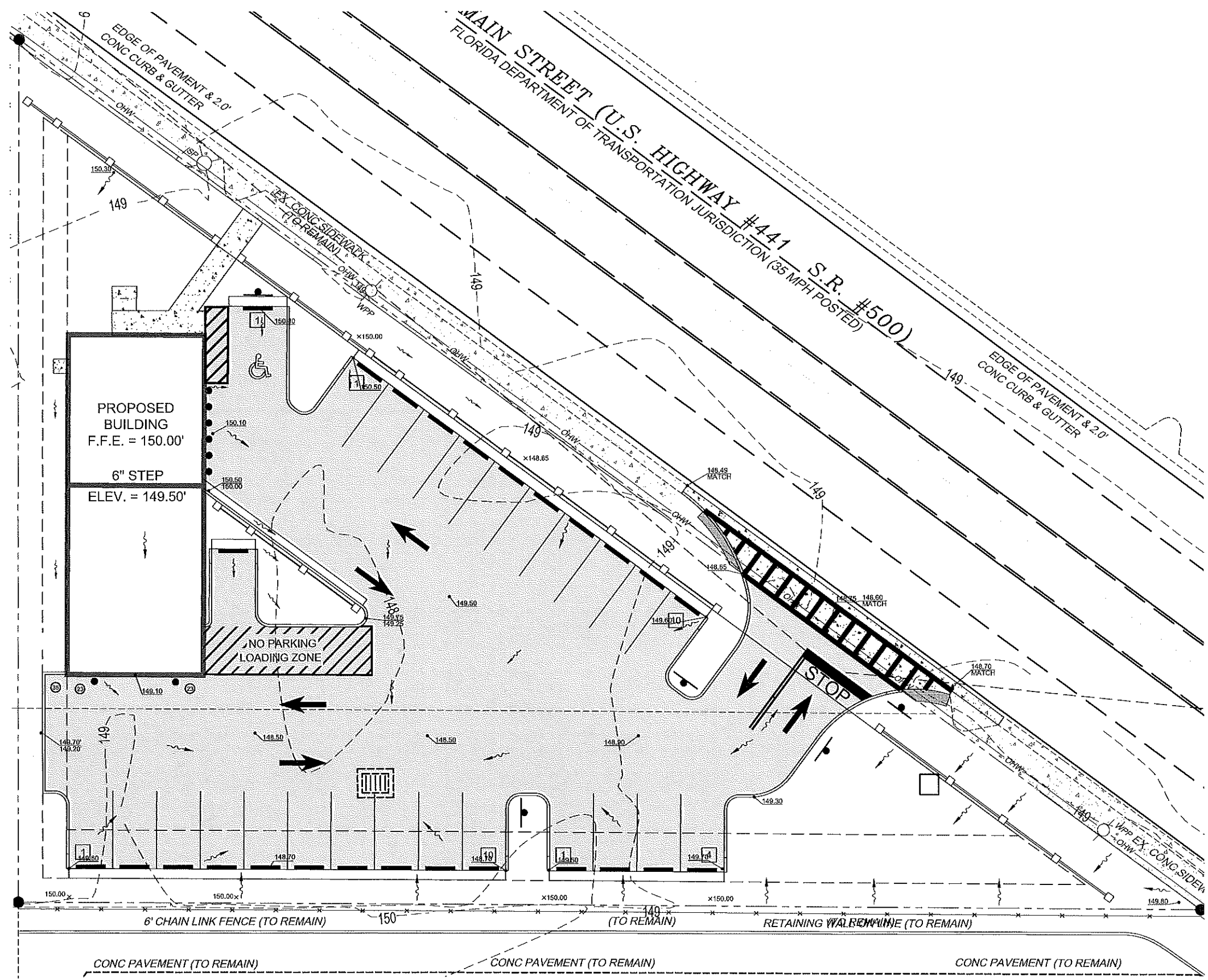
RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
4A
JOB NO. 011718



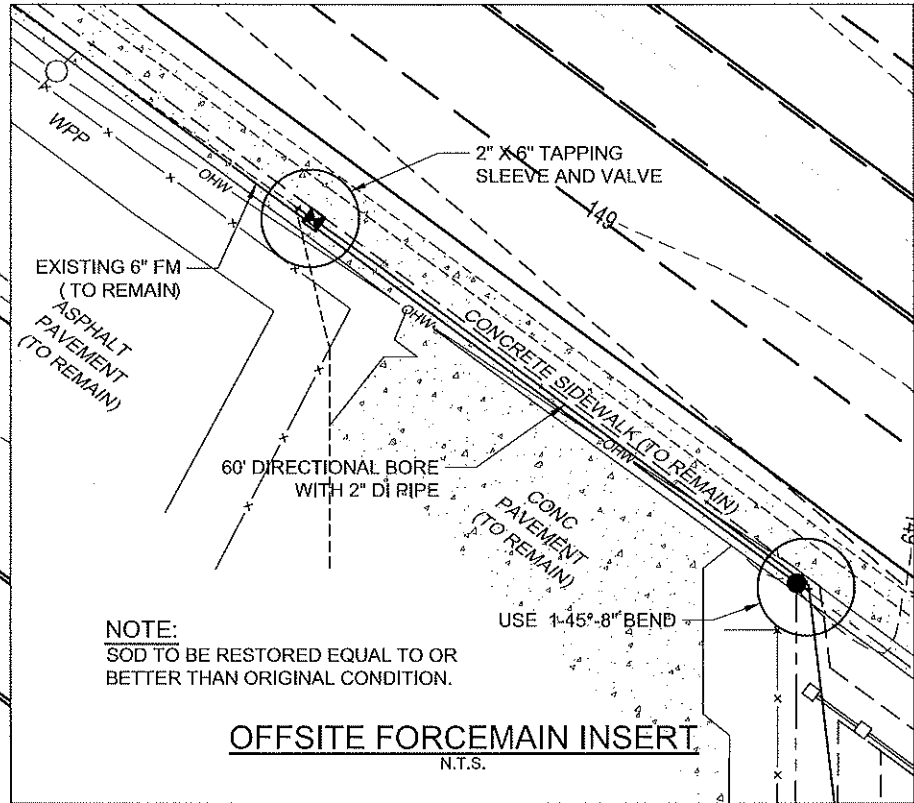
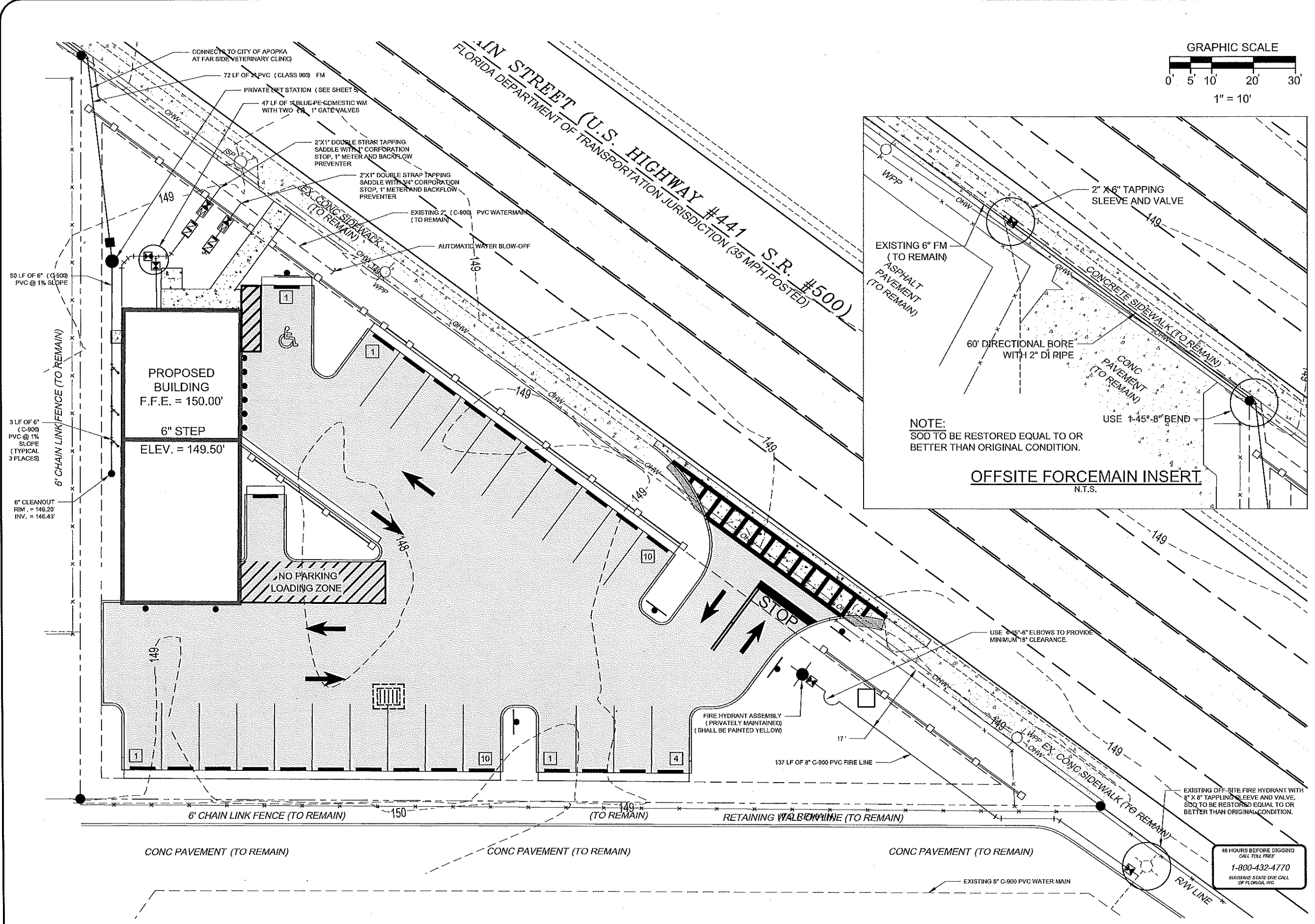
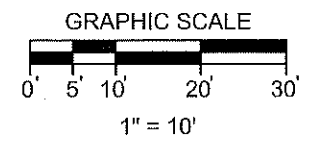
LEGEND	
000.00	TOP OF PAVEMENT ELEVATION
000.00	TOP OF CURB ELEVATION
000.00	BOTTOM OF CURB ELEVATION

48 HOURS BEFORE DIGGING
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SUNSHINE STATE ONE CALL
OF FLORIDA, INC



SITE PLAN (ENLARGEMENT)

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UTILITY PLAN

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

48 HOURS BEFORE DIGGING
CALL TOLL FREE
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SERVING STATE ONE CALL
OF FLORIDA, INC.

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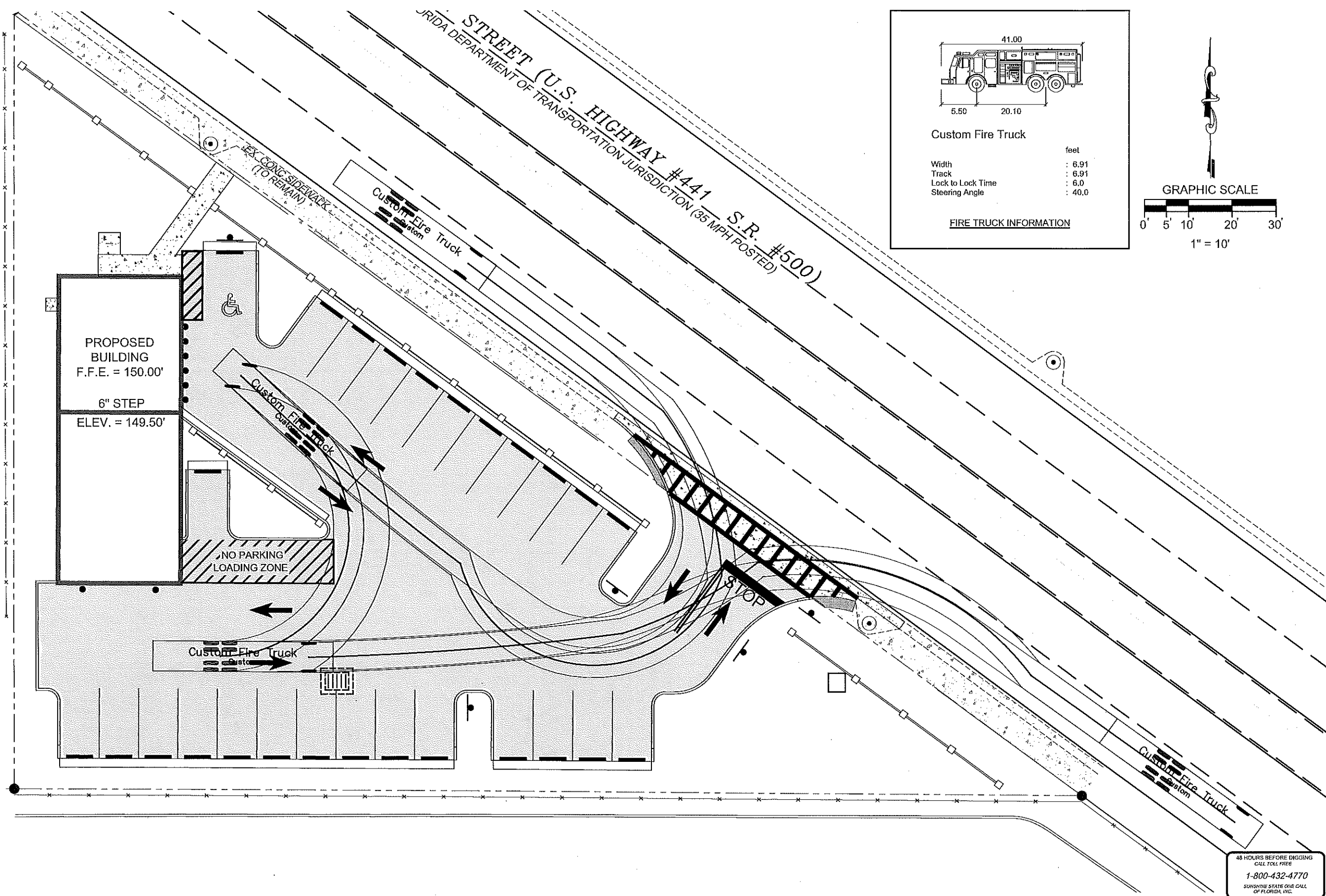
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FIRE TRUCK TURN PLAN

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
4C

JOB NO. 011718



Custom Fire Truck

	feet
Width	: 6.91
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 40.0

FIRE TRUCK INFORMATION

GRAPHIC SCALE
0' 5' 10' 20' 30'
1" = 10'

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FIRE TRUCK TURN PLAN

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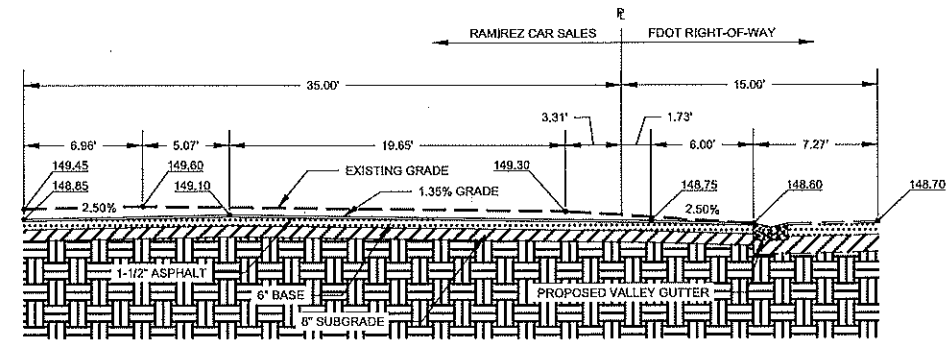
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MOUNT DORA, FLORIDA 32757
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FAX 1-352-383-2537

FDOT CROSS SECTION

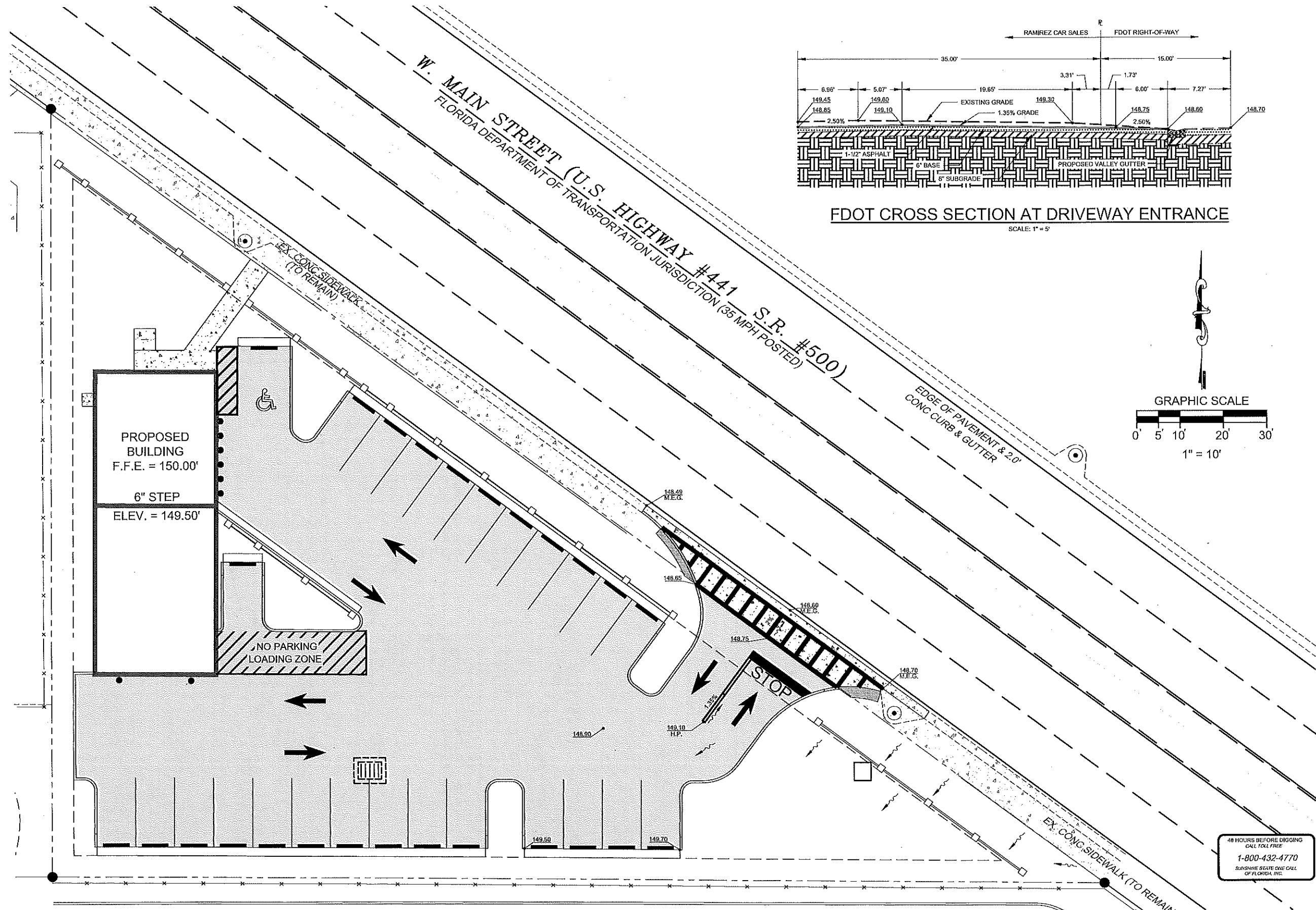
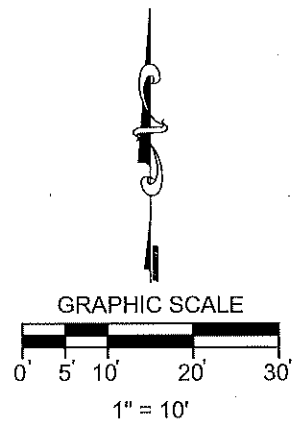
RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
4D

JOB NO. 011718



FDOT CROSS SECTION AT DRIVEWAY ENTRANCE
SCALE: 1" = 5'



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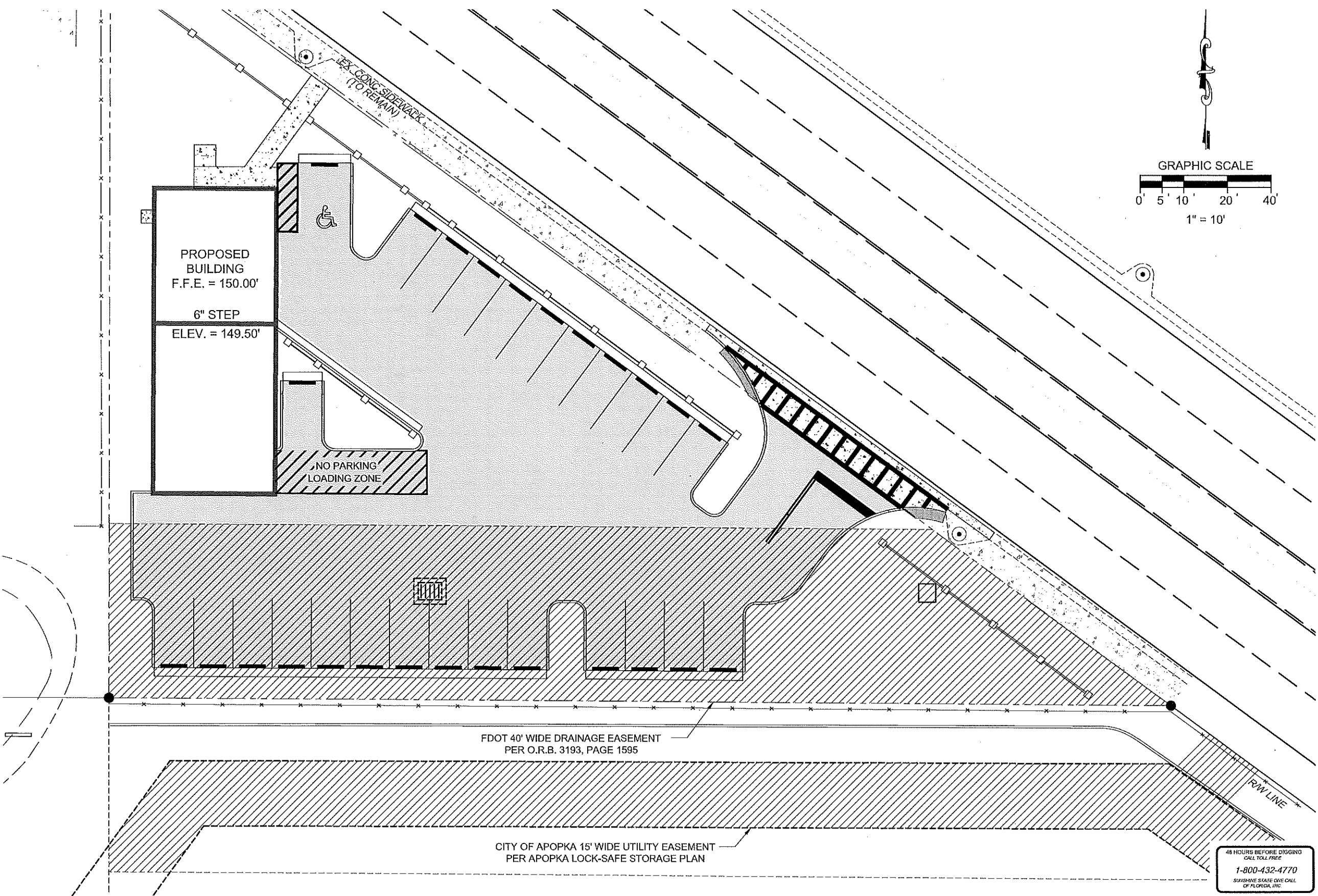
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Fax 1-352-383-2537

DRAINAGE AND UTILITY
EASEMENT PLAN

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
4E
JOB NO. 011718



DRAINAGE AND UTILITY EASEMENT PLAN

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1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

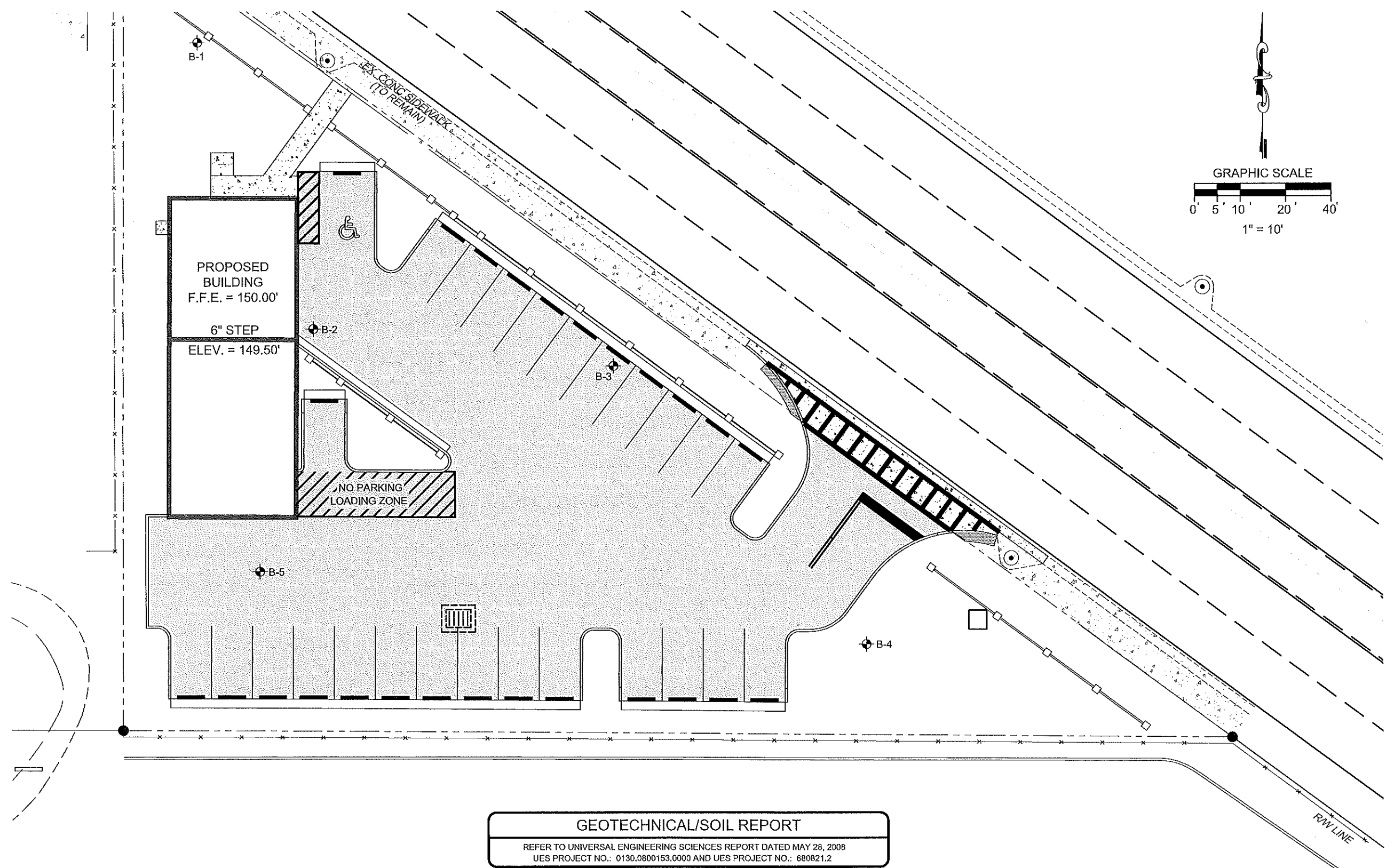
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SOIL BORING LOCATION MAP

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
4F
JOB NO. 011718



GEOTECHNICAL/SOIL REPORT
REFER TO UNIVERSAL ENGINEERING SCIENCES REPORT DATED MAY 28, 2008
UES PROJECT NO.: 0130.0800153.0000 AND UES PROJECT NO.: 680821.2

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SOIL BORING LOCATION MAP

LSM Grinder/Pac.

GRINDER PUMP SPECIFICATION

PART 1 - GENERAL

1.01 Furnish and install two grinder pumps to deliver 50 GPM against a total head of 22.50 feet Total Dynamic Head (TDH). Pumps shall be capable of handling domestic sewage with minimal maintenance. The motor shall be 2 HP, 3250 RPM, 208-230 VOLT/ 1 PHASE/ 60 HERTZ. The motor shall be an integral part of the pumping unit. Pump discharge size shall be 1.25" X 2". Pump, control system, and FRP (fiberglass reinforced polyester) wetwell shall be LSM Grinder/Pac. provided and manufactured by LHM Station Management of Sanford, Florida, 32771 Ph: (407) 977-8600

PART 2 - PRODUCTS

2.01 GRINDER PUMP - Pump shall be of the centrifugal type Liberty Model LSG-202M with an integrally built grinder unit and submersible type motor. The pump shall be mounted in the FRP basin by a dual slide rail system in such a way that solids are fed in an up-flow direction to the grinder impeller with no feet or other obstruction below the grinder inlet.

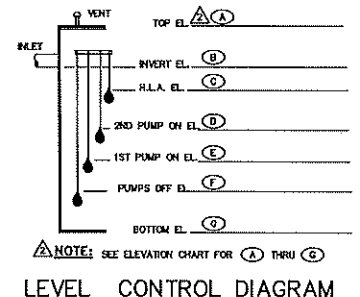
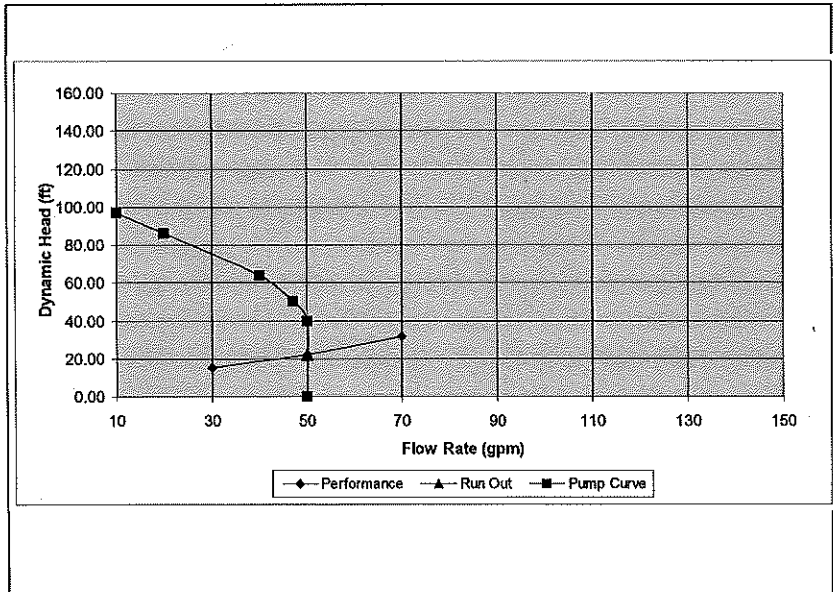
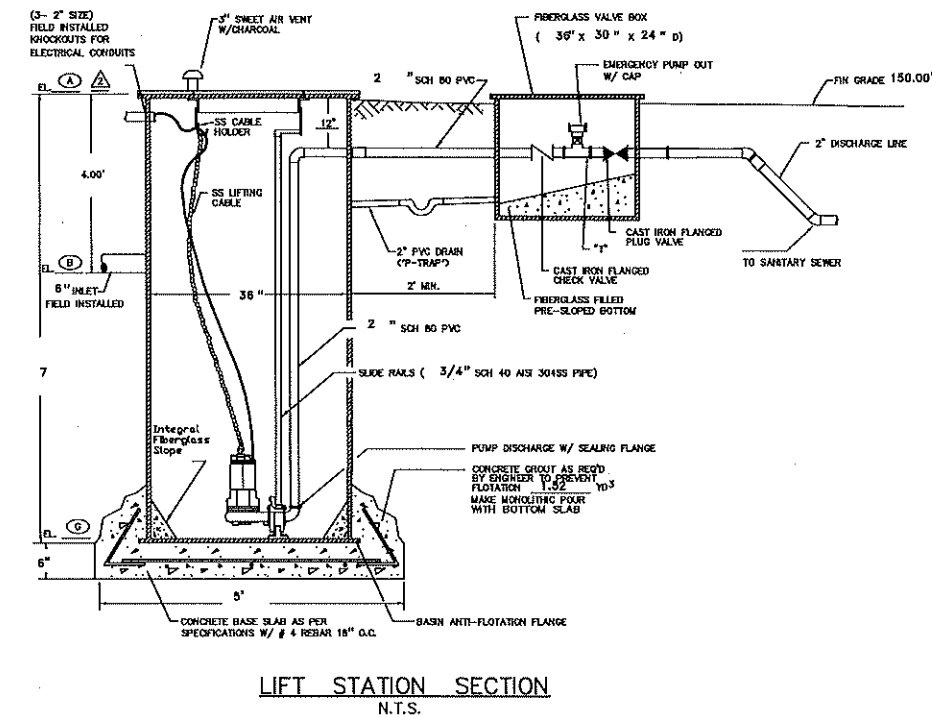
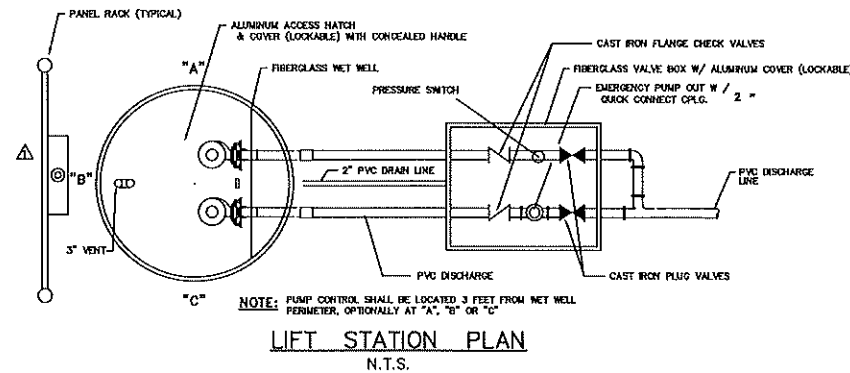
The grinder unit shall be capable of macerating all material in normal domestic and commercial sewage including reasonable amounts of foreign objects such as wood, plastic, glass, rubber, sanitary napkins, disposable diapers and the like to a fine slurry that will pass freely through the pump and the discharge pipe.

The pump motor shall be of the submersible type. Single phase motors shall be of the capacitor start, capacitor run type for high starting torque.

Stator windings shall be of the open type with Class F insulation for operating in air or clean dielectric oil that lubricates bearings and seals and cools the windings. Motor stator shall be pressed into housing for best alignment and maximum heat transfer.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in control box to stop motor if motor winding temperature reaches 200 degrees F. Thermostat to automatically reset when motor cools. Two heat sensors are to be used on 3 phase motors.

The common motor pump and grinder shaft shall be of AISI 418 SS threaded to take pump impeller and grinder impeller.



PUMP DATA CHART		ELEVATION CHART	
1	PRIMARY PUMP CAPACITY	50	
2	PRIMARY TDH	22.30	
3	SECONDARY PUMP CAPACITY	50	
4	SECONDARY TDH	10.75	
5	PEAK INFLENT FLOW RATE	0.833	
6	PUMP CYCLE TIME	42.30	
7	PUMP SYSTEM MANUFACTURER	LSM	
8	PUMP MODEL NO.	LSG-202M	
9	R.P.M.	3600	
10	HORSE POWER	2	
11	ELECTRICAL VOLTS/PHASE	208-230	
12	FULL LOAD F.L.A. PER PUMP	15	
13	FULL LOAD F.L.A. TOTAL	30	
14	PUMP DISCHARGE	1.25	
15	IMPELLER DIA.		
		TOP OF WETWELL (A)	150.00
		TOP OF VALVE BOX (A)	150.00
		INLET INVERT (B)	146.00
		HIGH LEVEL ALARM (C)	145.50
		2nd PUMP ON (D)	145.00
		1st PUMP ON (E)	144.50
		PUMPS OFF (F)	144.00
		BOTTOM OF WETWELL (G)	143.00

2.02 DUPLEX PUMP CONTROL PANEL

The enclosure shall be NEMA 4X, minimum 20" high x 21" wide x 8" deep, fabricated from fiberglass reinforced product with padlockable latches. The enclosure shall have external mounting feet to allow for wall mounting. All hardware shall be stainless steel. All conduit penetrations shall have approved seal off fittings and shall be properly sealed to prevent gas from entering enclosure.

The following components shall be mounted and affixed to the enclosure:
 1 ea. Red Alarm Beacon
 1 ea. Alarm Horn
 1 ea. Generator Receptacle with weatherproof cover
 1 ea. Silence Pushbutton

Painted Steel
 2 ea. Motor Contactors
 2 ea. Start Capacitors to match motor requirements, single phase only
 2 ea. Run Capacitors to match motor requirements, single phase only
 2 ea. Start Relays to match motor requirements, single phase only
 1 ea. Voltage Monitor With fuses, (Single Phase) Phase/Monitor (Three Phase)
 1 ea. Control Transformer with primary and secondary fuses, 480 Volt only
 1 ea. Silence Relay

1 ea. Duplex Alternator
 20 ea. Terminals for field connections
 6 ea. Terminals for motor connections, single phase only
 3 ea. Ground Lugs
 1 ea. Space Heater

The interior shall be fabricated from .080, 5052-H32 aluminum. The interior shall have a continuous aluminum piano hinge, a handle and catch and shall be installed by stainless steel screws for ease of removal. The inner door shall open a minimum of 110 degrees to allow safe access to backpanel.

1 ea. Main Circuit Breaker
 1 ea. Emergency Circuit Breaker
 1 ea. Mechanical Interlock for main breakers
 2 ea. Motor Short Circuit Protectors
 1 ea. Control Circuit Breaker
 2 ea. Hand-Off-Auto selector switches
 1 ea. Sequence selector switch, 1-Auto-2
 1 ea. Alternator Test Switch
 2 ea. Pump Run Pilot Lights
 1 ea. Power On Pilot Light
 4 ea. Float Indicating Pilot Lights
 2 ea. Seal Failure Pilot Lights
 2 ea. Elapsed Time Meters
 1 ea. Off Duplex Convenience Outlet
 1 ea. Lightning Arrestor
 1 ea. Phase / Volt Monitor

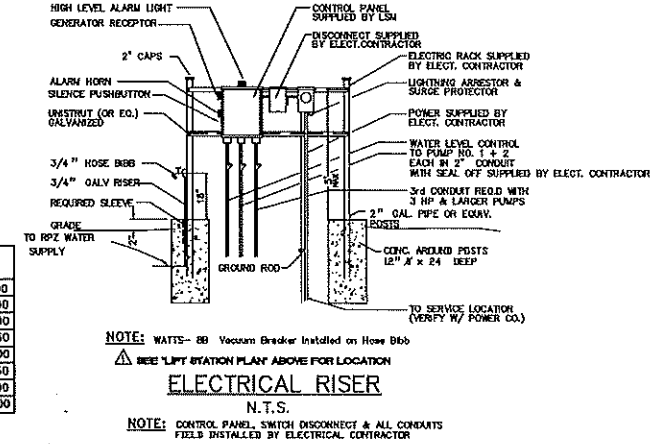
COMPONENT SPECIFICATIONS:
 All circuit breakers shall be molded case thermal magnetic. Circuit breakers shall be sealed by the manufacturer after calibration to prevent tampering. Each breaker shall be adequately sized to meet the equipment operating conditions.
 The mechanical interlock shall prevent the normal and emergency main breakers from being energized at the same time. The interlock shall be fabricated from aluminum or stainless steel.
 An emergency generator receptacle shall be supplied in accordance with DEP standards. The generator receptacle shall be adequately sized to meet the equipment operating conditions.
 All motor short circuit protection devices must provide for undervoltage release and class 10 overload protection on all three phases. Visible trip indication, test and reset capability must be provided.

The duplex alternator shall be the solid state type. The alternator shall switch each pump to load on a single complete cycle and shall provide for lag pump operation upon level rise.

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A lag pump time delay shall be supplied to prevent both pumps from simultaneously starting after a power outage. The time delay shall be set at 10 seconds minimum.
 An alternator sequence (1-Auto-2), three position toggle type selector switch shall be supplied to manually override the alternator. In the '1' position, motor #1 shall always be the lead motor. In the 'Auto' position, the motor shall sequence to become the lead motor. In the '2' position, motor #2 shall always be the lead motor.

Hand-Off-Auto, three position toggle type selector switches shall be supplied for each motor.



A red run light shall be supplied for each motor. The run light shall illuminate each time the motor is called to run.

An amber seal failure light shall be supplied for each motor. The seal light shall illuminate upon detection of water in the seal chamber of the pump.

Each motor shall have an elapsed time meter to record the accumulated running time. The ETM shall be a 2" diameter, non-resettable, six digit, totally encapsulated unit.

A green pilot light shall be supplied for each float. The appropriate pilot light shall illuminate each time the float switch closes.

Relays shall be low-cube plug-in type. Relay contacts shall be rated 10 amp minimum, DPDT.

Twenty (20) terminals shall be supplied for field connections. The terminals shall be rated 25 amp minimum and shall be mounted for ease of field wiring. Float connection terminals shall be arranged such that each float is connected in consecutive order and does not require any crossing of wires.

Each motor over-temperature contact shall be connected to the terminal strip and shall open a contact to de-energize the appropriate motor upon a high temperature within the motor.

A 20 GFI duplex convenience outlet shall be supplied and mounted on the interior to provide service technicians with an outlet for trouble lights, etc. Ground lugs shall be supplied and appropriately sized for each motor and for service entrance.

A space heater shall be provided to maintain the temperature within the enclosure a minimum of 2-3 degrees F. above ambient to prevent condensation build up. The heater shall be mounted with stainless steel screws and protected by a shield. Self adhesive means of fastening by glue, tape, ect. are not acceptable. Nameplates for the interior shall be of a graphic design, specifically depicting the intent for each device. One nameplate shall be supplied for all control devices. One nameplate shall be supplied for all power devices.

MISCELLANEOUS:
 All wiring on the backpanel shall be contained within wiring duct. All wiring between the interior and the backpanel shall be contained within a plastic spiral wrap.
 Each wire shall have a wire number at each end to correspond to the asbuilt drawing for field troubleshooting.
 The control panel shall be assembled by an Underwriters Laboratories UL508 listed manufacturing facility.

2.03 FASTENER AND APPURTENANCES- All fasteners, lifting cables, float cable bracket and appurtenances shall be made of AISI 304SS or other material inert to the highly corrosive atmosphere of a sewage lift station. Hinges for the wet well and valve box shall be AISI 304SS minimum.

An aluminum slide/latch assembly shall be provided for holding the doors open on both the wet well and the valve box. Slide rails shall be SCH 40 AISI 304SS pipe.

Pump lifting devices shall be made of AISI 304SS (min.) cable (1/4" min) or 304SS chain of sufficient size, with safety factor to handle safely the specific pumps. AISI 304SS (min.) pump lifting balls shall be provided.

2.04 FRP PRODUCTS - The pump wetwell shall be manufactured of fiber glass reinforced polyester (FRP) of diameter and depth as shown on the lift station elevation detail. The basin/wetwell wall thickness shall be adequate for the depth of the tank to maintain structural integrity in the following condition:

1. Soil modulus of 700 psi.
2. Soil density of 120 lbs/ft³.
3. Leachate safety factor of 2.0.

Material for the FRP shall be as follows:
 Resin: The resin used shall be a commercial grade unsaturated "isothalic" polyester resin. Orthothalic resins are not acceptable.
 Reinforcing Material: The reinforcing material shall be commercial grade "E" type glass in the form of mat, chopped or roving fabric, having a coupling agent that will provide a suitable bond between the glass reinforcement and the resin.

Fillers and Additives: Fillers of any type shall not be utilized. Additives, such as thixotropic agents, catalysts, promoters, etc., may be added as required by the specific manufacturing process to be used to meet the requirements of this specification.

PART 3 - EXECUTION

3.01 INSTALLATION - shall be in strict accordance with the manufacturer's instructions and recommendations in the locations shown on the drawing.

3.02 INSPECTION AND TESTING - A factory representative shall be provided for one (1) day and shall have complete knowledge of proper operation and maintenance to inspect the final installation and supervise the test run of the equipment.

Meager the motor. The pump motors shall be megged out prior to startup to ensure the insulation of the pump motor/cable system is intact.
 The pump controls and pumps shall be checked for mechanical reliability and proper operation.

NOTE: Alarm Signals if Controls Fail
 WITH A 12 VOLT BATTERY BACKUP ALARM SYSTEM

CONTROL PANEL SHALL BE MANUFACTURE BY A UL508/ 913 APPROVED SHOP

- NOTES:**
1. ALL DIMENSIONS ARE IN FEET EXCEPT AS NOTED.
 2. DRAWING IS NOT TO SCALE.
 3. ALL DIMENSIONS AND SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE.
 4. PAINT EXPOSED FRP AS REQUIRED BY OWNER/ENGINEER.
 5. F.A.L. INDICATES FIBERGLASS REINFORCED POLYESTER.
 6. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
 7. ELECTRICAL TO BE RUN 2" (2 HP PUMPS) / 3" (3 HP & LARGER PUMPS) SEPARATE 2" CONDUITS (ONE EACH FOR HIGH & LOW VOLTAGES) PER ELECTRICAL CODE BETWEEN CONTROL PANEL AND WETWELL. ALUMINUM WIRE SHALL NOT BE USED BETWEEN MAIN WETWELL AND CONTROL PANEL.
 8. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS INSIDE WETWELL AND INSIDE OF CONTROL PANEL.
 9. CONTRACTOR SHALL FIELD INSTALL INLET FITTING AT PROPER ELEVATION.
 10. ALL HARDWARE AND FASTENERS SHALL BE STAINLESS STEEL.
 11. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT.
 12. NEUTRAL REQUIRED ON ALL ELECTRICAL SERVICE TO CONTROL PANEL.

● ELECTRICIAN NOTE

NO	REVISION	DATE
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PRIVATE LIFT STATION DETAILS

RAMIREZ
CAR SALES
 PARCEL ID #09-21-28-6778-00-090
 2312 HOME AGAIN ROAD
 APOPKA, FLORIDA 32712

DRAWING NO.
5
 JOB NO. 011718

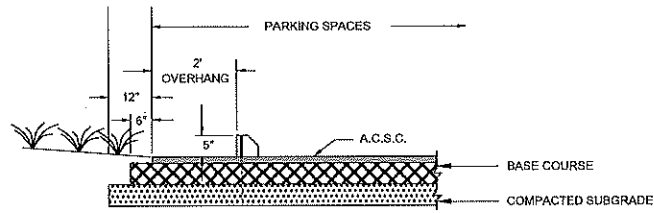
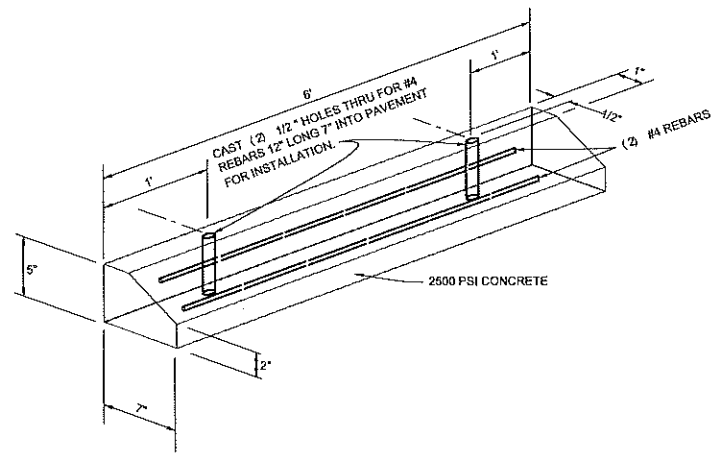
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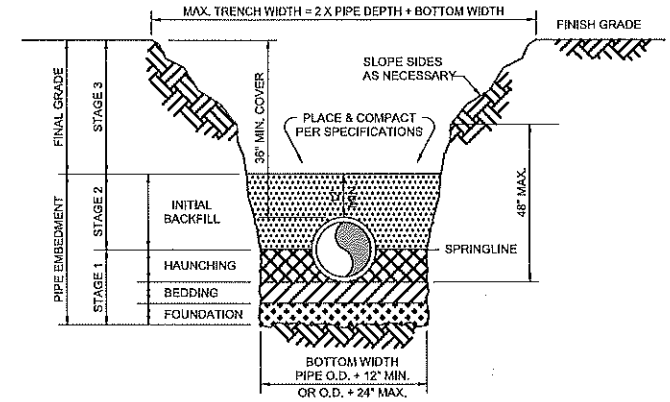
STANDARD DETAILS

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

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6
JOB NO. 011718

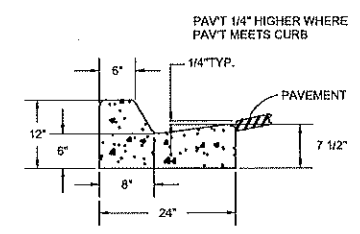


WHEEL STOP DETAIL
N.T.S.

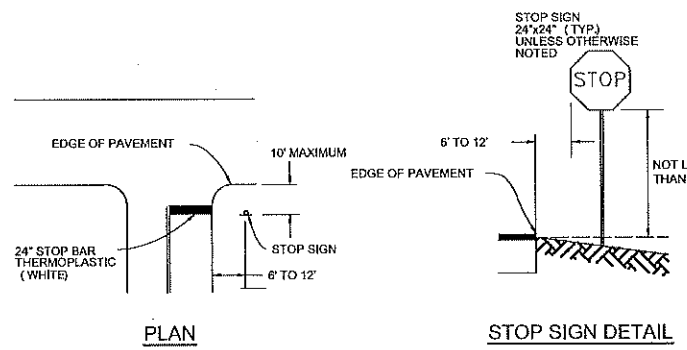


- NOTES:**
- DEPTH OF PIPE MAY BE FIELD ADJUSTED TO MEET SPECIAL CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
 - ALL TRENCHING SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.
 - FOUNDATION:** A FOUNDATION MAY BE REQUIRED IN POOR SOIL CONDITIONS.
 - BEDDING:** BEDDING IS REQUIRED PRIMARILY TO BRING THE TRENCH BOTTOM UP TO GRADE AND ADJUST FOR PIPE BELLS. BEDDING MATERIALS SHALL PROVIDE A UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE. MATERIAL SHALL BE PLACED IN 4" TO 6" LIFTS, LIGHTLY COMPACTED, UNIFORM AND NOT FINER THAN THE FOUNDATION MATERIAL.
 - HAUNCHING:** HAUNCHING MATERIAL SHALL BE HAND PLACED TO THE SPRINGLINE OF THE PIPE. MATERIAL SHALL BE CONSOLIDATED UNDER THE PIPE AND HAND TAMPED TO PROVIDE ADEQUATE SIDE SUPPORT.
 - INITIAL BACKFILL:** INITIAL BACKFILL SHALL BE HAND PLACED TO 12" ABOVE THE TOP OF THE PIPE. THE SOIL SHALL BE CONSOLIDATED BY HAND TAMPING OR WALKING THE SOIL IN PLACE.
 - FINAL BACKFILL:** FINAL BACKFILL MATERIAL MAY BE MACHINE PLACED. MATERIAL UNDER ROADWAYS MAY REQUIRE SPECIAL COMPACTION AND DENSITY TESTS.
 - DENSITY:** ALL BACKFILL SHALL BE COMPACTED TO THE REQUIREMENTS OF THE SPECIFICATIONS.

TYPICAL TRENCHING AND BACKFILLING
N.T.S.



NOTE:
3,000 P.S.I. CONCRETE AT 28 DAYS
TYPE F CURB AND GUTTER
N.T.S.



BLADES: ALCOA #86054, 6063-T6 ALLOY, ETCHED, DEGREASED, DEBURRED, WITH #1200 ALODINE FINISH, #2277 GREEN SCOTCHLITE BACKGROUND OR EQUAL. DIMENSIONS: 6" HEIGHT, 24", 30" OR 36" LENGTHS.

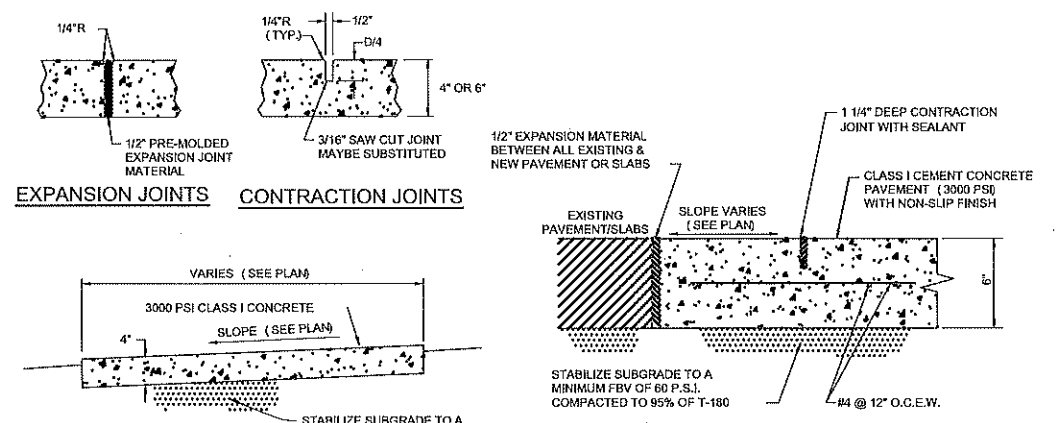
LETTERS: NAME - 4" SERIES "B" #2270 SCOTCHLITE (SILVER) OR EQUAL. SUFFIX - 2" SERIES "B" #2270 SCOTCHLITE (SILVER) OR EQUAL.

BRACKETS: DIE-CAST HIGH STRENGTH ALUMINUM ALLOY, MIN. TENSILE STRENGTH 45,000 P.S.I., DEGREASED, TUMBLED, AND POLISHED. SIDES OF ALL SLOTS SHALL BE SOLID METAL WITH TWO HOLES PER SLOT (SAME SIDE) DRILLED TO 7/32" AND TAPPED TO 1/4" TO RECEIVE STAINLESS STEEL ALLEN-HEAD SET SCREWS, SKIRT OF POST CAP BRACKET TO BE DRILLED AND TAPPED FOR 3 SCREWS OF WHICH NO TWO SCREWS ARE TO BE LESS THAN 90° OR MORE THAN 135° APART. (NIETRO HUSKEY No. 6 or EQUAL.)

POST: STANDARD 2" I.D. (2 3/8" O.D.) 14' LONG GALVANIZED STEEL, "GLOSS" DIPPED.

CONCRETE BASE: 2000#

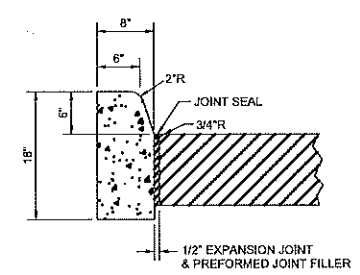
STOP SIGN AND BAR LOCATION
N.T.S.



TYPICAL SECTION OF 4" THICK CONCRETE SIDEWALK **TYPICAL SECTION OF 6" THICK CONCRETE SIDEWALK**
N.T.S.

- NOTES:**
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTIONS 345 & 350.
 - ALL TESTING SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 345-B FOR 28 DAY COMPRESSIVE STRENGTH 3000 PSI CONCRETE.
 - PROVIDE EXPANSION JOINTS 20' CENTER TO CENTER, AT PC & PT OF CURVES, JUNCTIONS OF EXISTING AND NEW SIDEWALKS, AND WHERE SIDEWALK ABUTS CURBS, DRIVEWAYS & SIMILAR STRUCTURES.
 - PROVIDE CONTRACTIONS JOINTS 5' CENTER TO CENTER.
 - SOD SHALL BE PLACED BELOW EDGE OF SIDEWALK TO ALLOW DRAINAGE.

CONCRETE SIDEWALK SECTIONS
N.T.S.



SECTION VIEW
N.T.S.

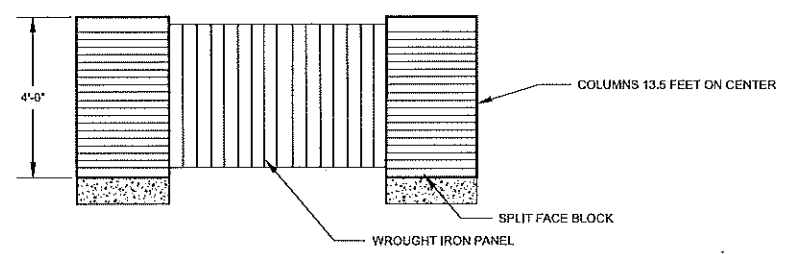
NOTES:
SAW CUT CONTRACTION JOINTS ON 10' CENTERS MAX. WITHIN 48 HOURS AFTER POURING CURB.

ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 520 AND FDOT ROADWAY & TRAFFIC DESIGN STANDARDS INDEX NUMBER 300.

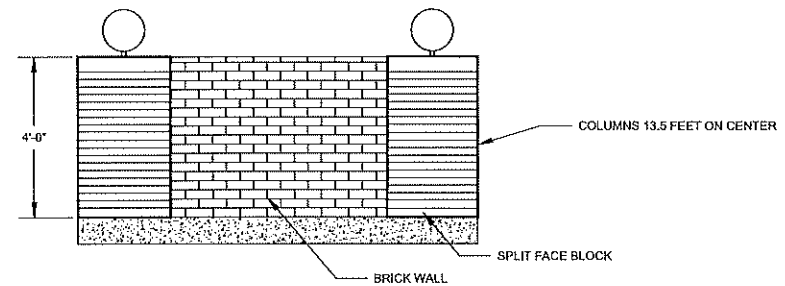
TYPE "D" CURB
N.T.S.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SURVIVE STATE ONE CALL
OF FLORIDA, INC.

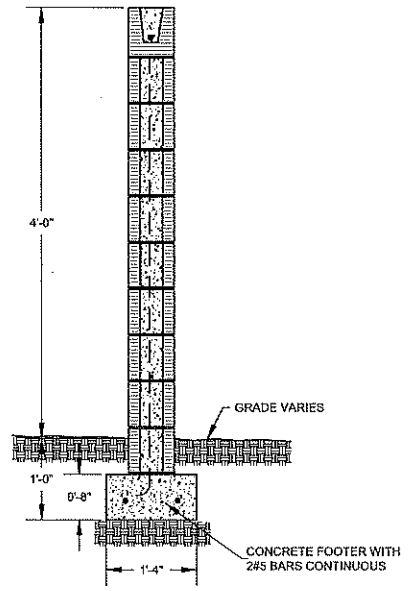
NO.	REVISION	DATE
1	GENERAL CITY REVISION	11/28/18
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OPEN FENCE
NOT TO SCALE



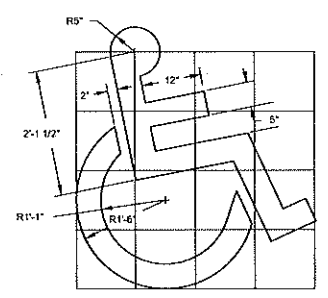
SOLID WALL
NOT TO SCALE



FOOTING SECTION DETAIL

NOTES

1. CONCRETE FOOTINGS SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 2500 PSI @ 28 DAYS
2. REINFORCE FOOTINGS AND WALLS WITH #5 REBAR AS INDICATED. ALL BARS SHALL BE DEFORMED, AND CONFORM TO GRADE 40 ASTM DESIGNATION A305, AND BE CLEAN AND FREE FROM RUST AND SCALE
3. SPLICES MUST OVERLAP AT LEAST 25"
4. ASSUMED 2000 PSF SOIL DENSITY
5. *NO WOOD GRADE STAKES PERMITTED*

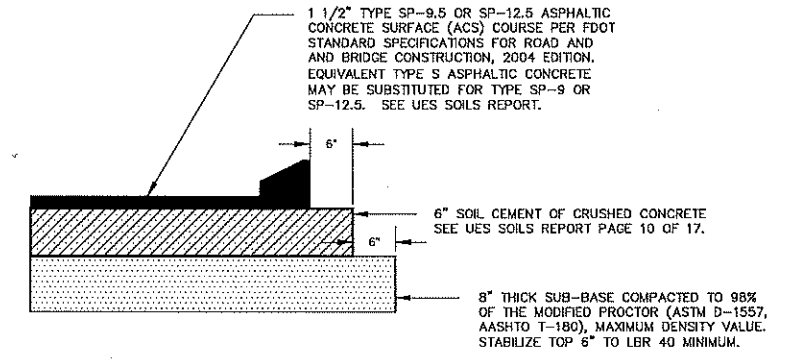


HANDICAP SYMBOL DETAIL
NOT TO SCALE

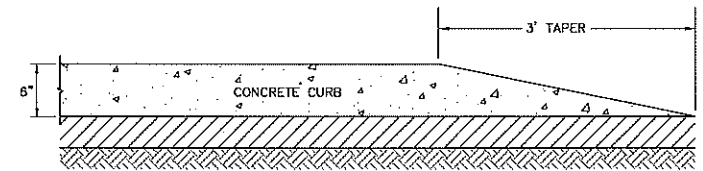


CONTRACTOR SHALL COORDINATE SIGN INFORMATION PERTAINING TO FINES PER LOCAL JURISDICTION

HANDICAP PARKING SIGN
NOT TO SCALE



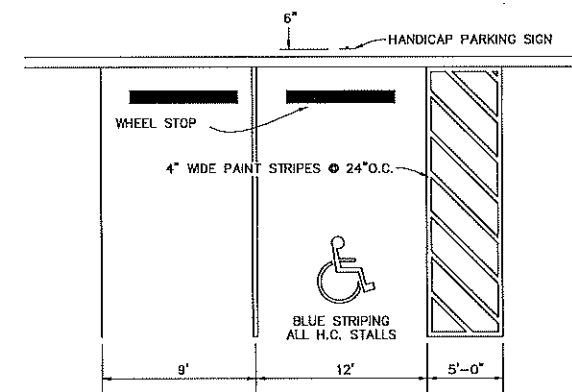
TYPICAL PAVEMENT SECTION
NOT TO SCALE



CONCRETE CURB TAPER
NOT TO SCALE

FDOT GENERAL NOTES:

1. MAINTENANCE OF TRAFFIC TO BE SUPERVISED BY A CERTIFIED PERSON.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT A MINIMUM OF TWO BUSINESS DAYS PRIOR TO ANY LANE CLOSURE OR BEGINNING ANY CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY.
3. ALL WORK PERFORMED WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE FDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND UTILITY ACCOMMODATION GUIDE.
4. IF THE DEPARTMENT DETERMINES THAT AS-BUILT CONDITIONS VARY SIGNIFICANTLY FROM THE APPROVED PLANS, THE PERMITTEE SHALL PROVIDE AS-BUILT PLANS, ALONG WITH A RECORD DRAWING REPORT BY THE PERMITTEE'S PROFESSIONAL ENGINEER, FORM 850-040-19, WITHIN 30 DAYS OF COMPLETING CONSTRUCTION.
5. IT WILL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGE TO THE FDOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT.
6. TEST RESULTS OF ANY TESTS TAKEN FOR OR DURING CONSTRUCTION OF THE PERMITTED WORK SHALL BE PROVIDED TO THE FDOT UPON REQUEST.
7. ALL CONCRETE/PAVEMENT TO BE REMOVED SHALL BE SAW CUT AT THE NEAREST JOINT IN GOOD CONDITION, SO AS TO PRODUCE A CONNECTION WITH NEW CONCRETE THAT IS FREE OF CRACKS, DEFORMITY IN SHAPE, NOTICEABLE VOIDS, SURFACE IRREGULARITIES, AND OTHER DEFECTS.
8. ALL CONCRETE SHALL BE AN APPROVED FDOT MIX DESIGN OF 3,000 PSI.
9. ALL MATERIALS INSTALLED WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THOSE ON THE FDOT QUALIFIED PRODUCTS LIST OR APPROVED LIST OF TRAFFIC CONTROL SIGNALS AND DEVICES.
10. ANY LANE CLOSURE ON FDOT ROW SHOULD BE ENTERED IN (<http://cls.dot.state.fl.us/>) 14 DAYS PRIOR TO CLOSING THE STATE ROAD.
11. POSTED SPEED LIMIT ON N. ORANGE BLOSSOM TRAIL (SR 500) IS 35 MPH.
12. THE DRIVEWAY SHALL BE CONSTRUCTED OF MINIMUM 6" THICK REINFORCED CONCRETE WITHIN THE FDOT RIGHT-OF-WAY.
13. NO LANE CLOSURES FROM 6:00 AM TO 10:00 PM EASTBOUND AND WESTBOUND.



HANDICAP PARKING DETAIL
NOT TO SCALE

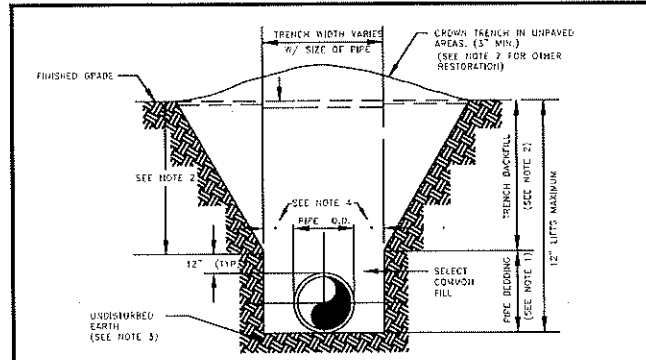
48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-407-448-3412
FAX 1-552-383-2537

STANDARD DETAILS

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

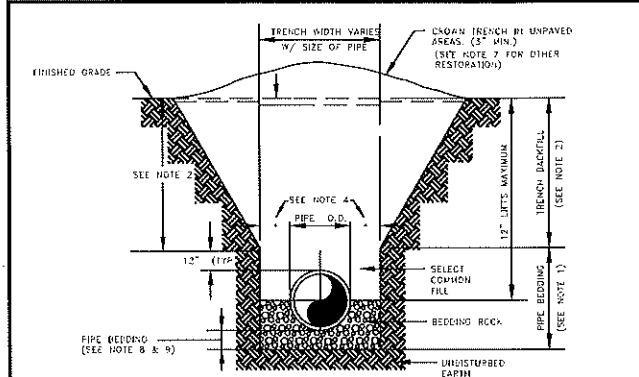
DRAWING NO.
7
JOB NO. 011718



- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER ASTM D 1557.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS TO ASTM D 1557.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE CITY.
 4. (1) 15" MAX. FOR PIPE DIAMETERS LESS THAN 24", AND 24" FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.
 8. SURFACE RESTORATION WITHIN CITY RIGHT-OF-WAY, SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS.
 9. ALL UNPAVED DISTURBED AREAS SHALL BE SOEDED TO MATCH ADJACENT DOMINANT GRASS SPECIES.

TYPE "B" BEDDING AND OPEN-CUT DETAIL

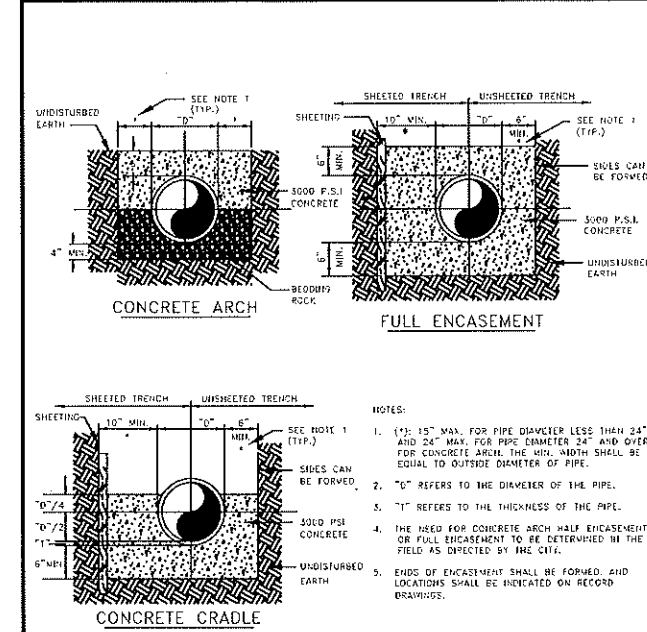
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 100



- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER ASTM D 1557.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER ASTM D 1557.
 3. USE OF TYPE A BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY.
 4. (1) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. GRAVITY SEWERS SHALL UTILIZE TYPE A BEDDING AS REQUIRED BY THE CITY. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER LESS THAN 15" AND 6" MINIMUM FOR PIPE DIAMETER 15" AND LARGER.
 8. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. THE CITY SHALL DETERMINE IN THE FIELD IF REMOVAL OF UNSUITABLE MATERIAL IS REQUIRED TO REACH A SUITABLE FOUNDATION.
 9. ALL UNPAVED DISTURBED AREAS SHALL BE SOEDED TO MATCH ADJACENT DOMINANT GRASS SPECIES.
 10. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF THE GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY RIGHT-OF-WAY, SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS.

TYPE "A" BEDDING AND OPEN-CUT DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 101



CONCRETE ARCH AND ENCASEMENT DETAILS

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 102

	PIPE SIZE										
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"
90° BEND	33	43	51	60							
45° BEND	14	18	22	25							
22-1/2° BEND	7	9	11	12							
11-1/4° BEND	4	5	6	6							
TEE**	1	7	24	44							
REDUCER (ONE SIZE SMALLER)		41	39	40							
DEAD END	74	96	115	136							

* ONLY RESTRAIN BRANCH PIPE FOR TEES, ONLY RESTRAIN LARGER PIPE FOR REDUCERS
 ** LENGTH ALONG RUN ASSUMED TO BE 18'

- NOTES:
1. FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
 2. INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
 3. WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
 4. IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
 5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA. FOR PVC WITH THE FOLLOWING ASSUMPTIONS:
 TYPE OF PIPE: PVC
 WORKING PRESSURE: 150 P.S.I.**
 SOIL DESIGNATION: SH(SAND SILT)
 LAYING CONDITIONS: 3
 ** FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.
 6. FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
 7. VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (PVC)

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 105

	PIPE SIZE										
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"
90° BEND					61	67	73	84	100	114	
45° BEND					26	28	31	35	42	48	
22-1/2° BEND					13	14	15	17	20	23	
11-1/4° BEND					6	7	8	9	10	12	
TEE**					52	62	74	95	124	152	
REDUCER (ONE SIZE SMALLER)					48	25	25	47	66	66	
DEAD END					111	123	135	157	188	218	

* ONLY RESTRAIN BRANCH PIPE FOR TEES, ONLY RESTRAIN LARGER PIPE FOR REDUCERS
 ** LENGTH ALONG RUN ASSUMED TO BE 18'

- NOTES:
1. FITTINGS SHALL BE RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
 2. INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
 3. WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
 4. IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
 5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, WITH THE FOLLOWING ASSUMPTIONS:
 TYPE OF PIPE: 150 P.S.I.
 WORKING PRESSURE: 150 P.S.I.**
 SOIL DESIGNATION: SH(SAND SILT)
 LAYING CONDITIONS: 3
 ** FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.
 6. VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (DI)

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 106

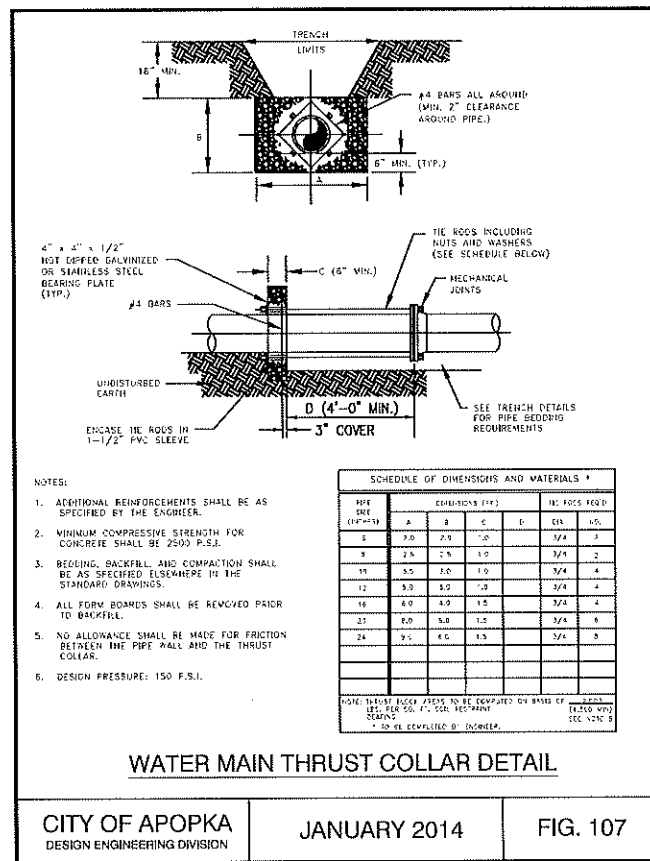
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KENNETH H. EHLERS, P.E.
 CONSULTING ENGINEER
 6034 FALCONBRIDGE PLACE
 MOUNT DORA, FLORIDA 32757
 TEL 1-407-448-3412
 FAX 1-352-383-2537

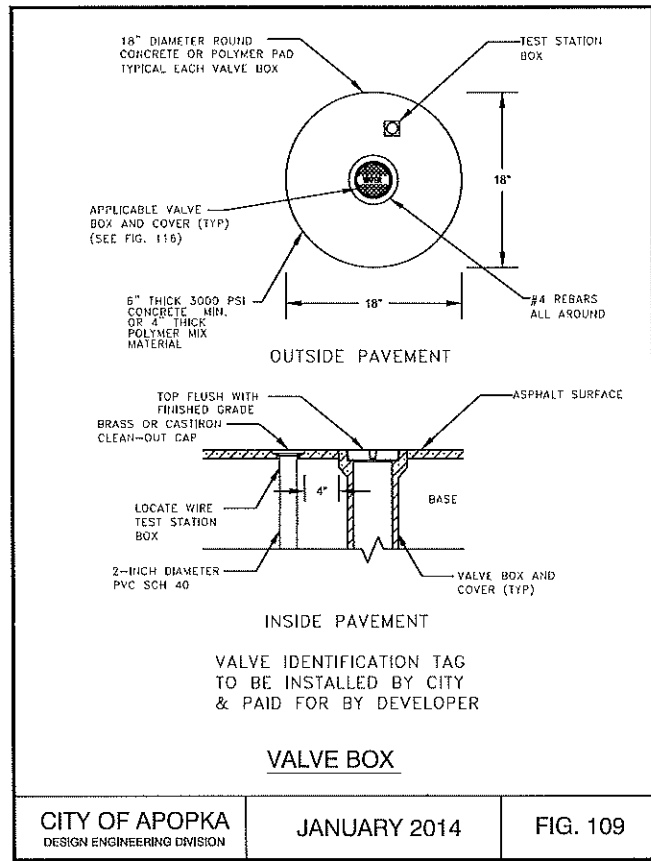
CITY OF APOPKA
 WATER DETAILS
 #100, 101, 102,
 105 AND 106

RAMIREZ
 CAR SALES
 PARCEL ID #08-21-28-6778-00-090
 2312 HOME AGAIN ROAD
 APOPKA, FLORIDA 32712

DRAWING NO.
 8
 JOB NO. 011718



CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 107



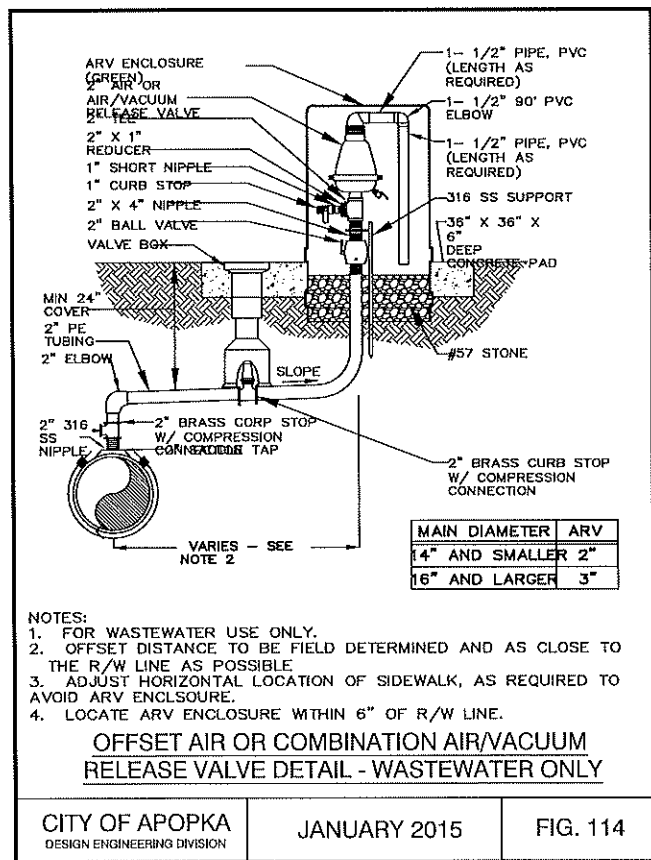
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 109

PIPE AND APPURTENANCES PRESSURE RATING

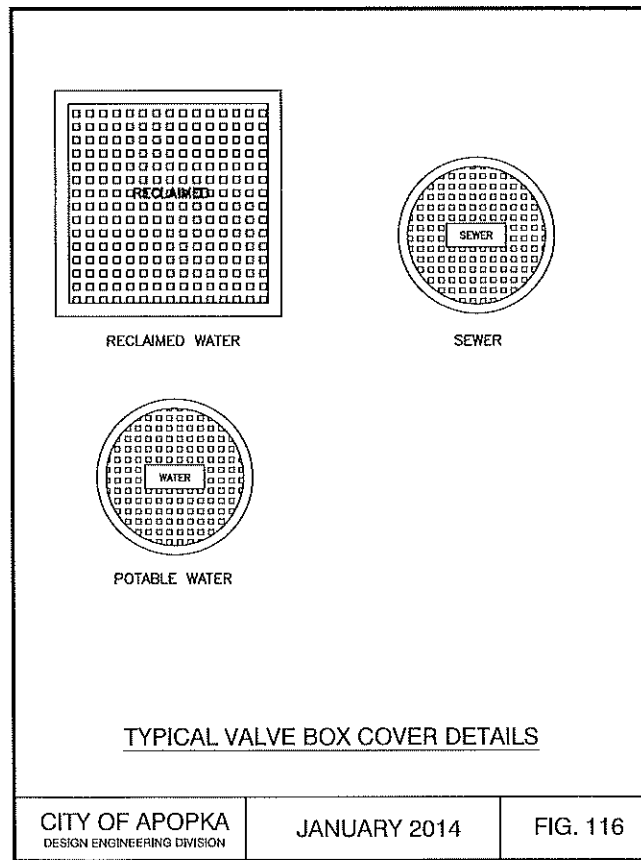
PSI	MINIMUM PRESSURE RATING							
	DI FITTINGS		PIPE MATERIAL*		GATE VALVE**		FORCEMAIN*	
	≤24"	>24"	PVC	DI HDPE	≤12"	>12"	PVC	HDPE
100								
150			•	•		•		•
200					•			
250	•			•				
350	•							

* PVC SHALL HAVE A MAXIMUM DIMENSION RATIO (DR) OF 18 AND HDPE SHALL BE MAX DR11. FORCEMAIN: PVC SHALL BE MAX DR18 UNLESS DESIGN REQUIRES OTHERWISE AND HDPE SHALL BE MAX DR17.
 ** BUTTERFLY VALVES SHALL BE CLASS 150B

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 110



CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 114



CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 116

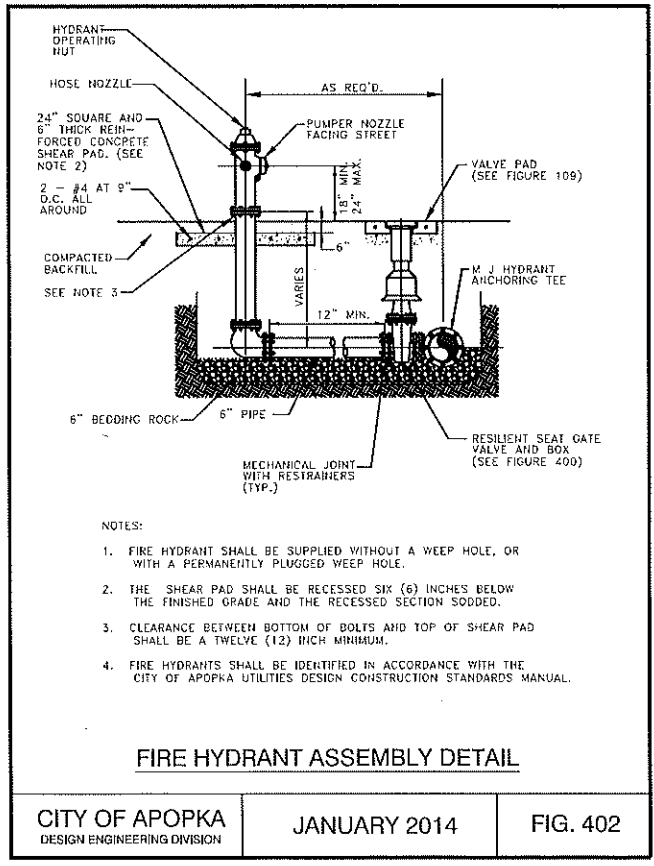
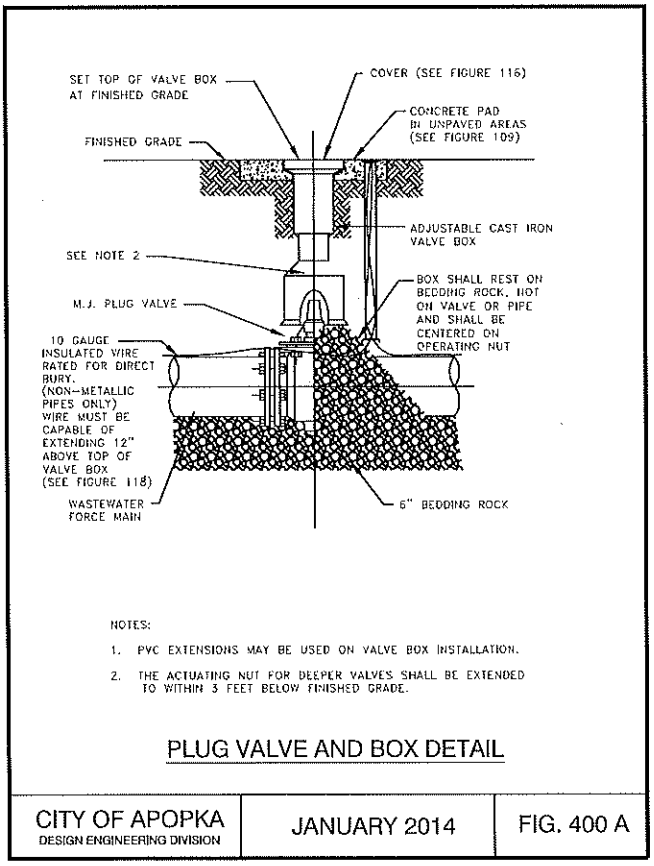
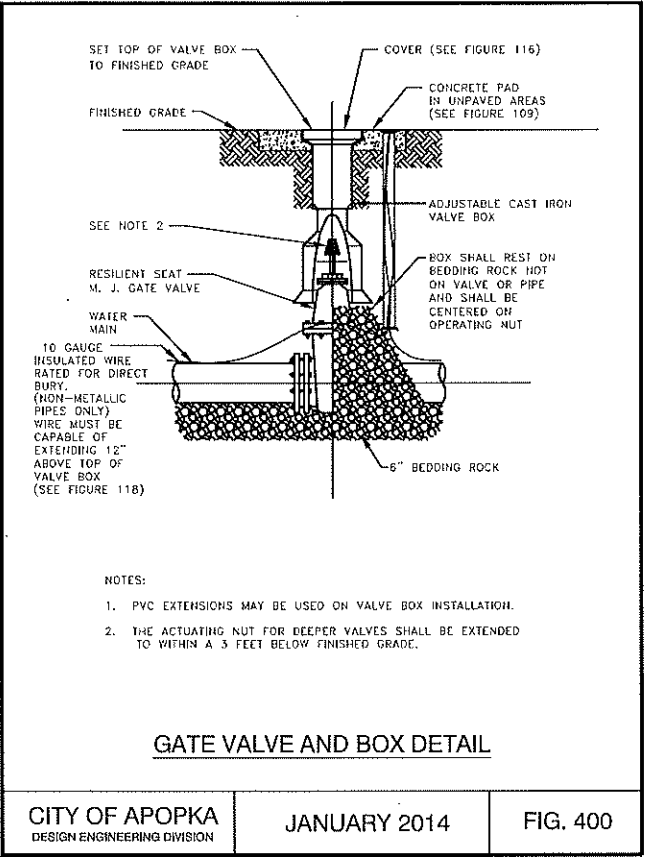
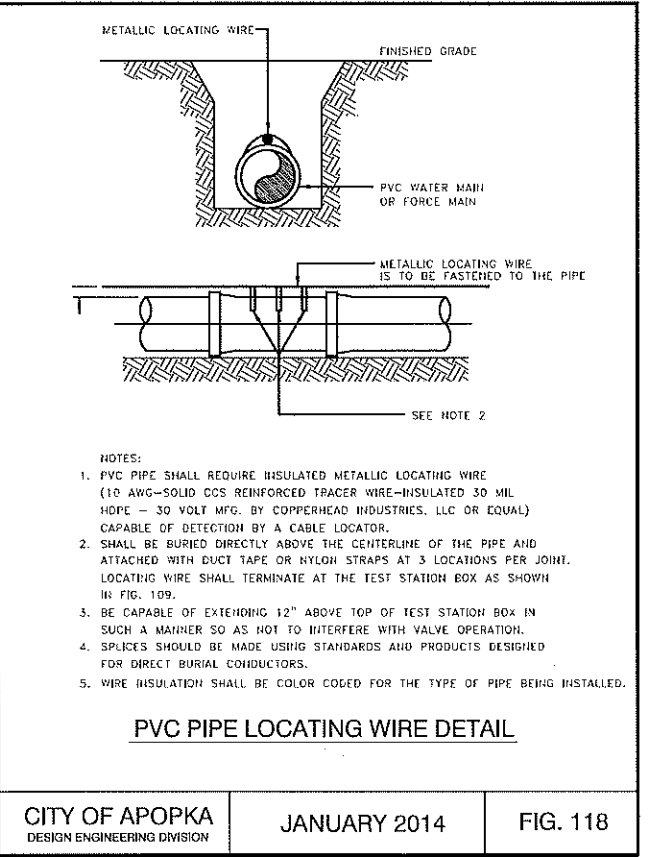
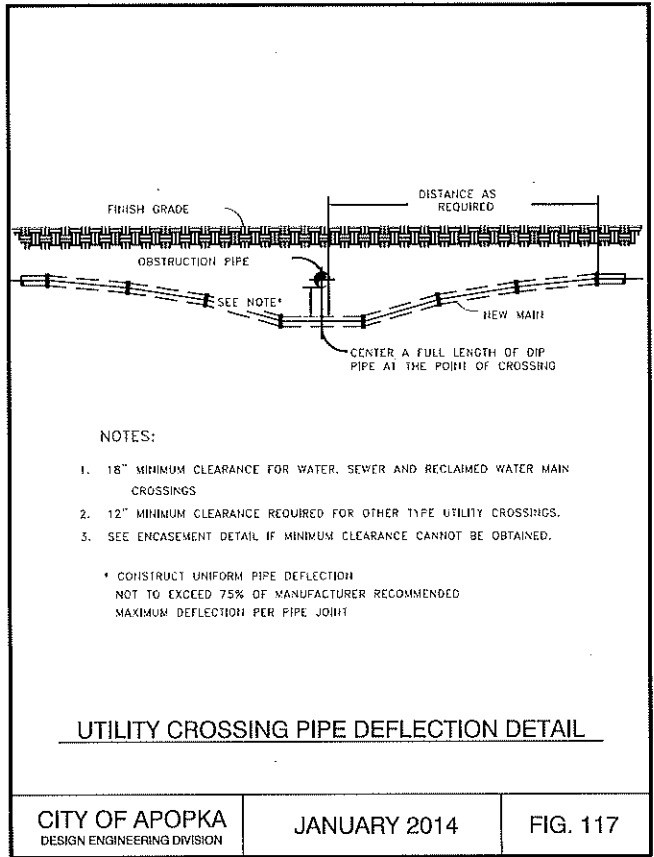
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KENNETH H. EHLERS, P.E.
 CONSULTING ENGINEER
 6034 FALCONBRIDGE PLACE
 MOUNT DORA, FLORIDA 32757
 TEL: 1-407-448-3412
 FAX: 1-352-383-2537

CITY OF APOPKA
 WATER DETAILS
 #107, 109, 110,
 114 AND 116

RAMIREZ
 CAR SALES
 PARCEL ID #09-21-28-6778-00-090
 2312 HOME AGAIN ROAD
 APOPKA, FLORIDA 32712

DRAWING NO.
 9
 JOB NO. 011718



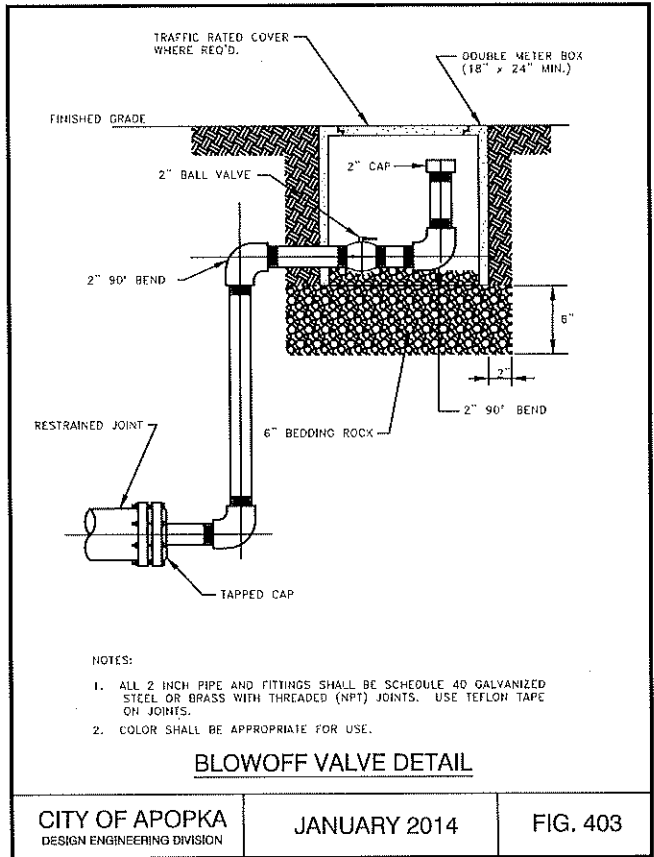
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KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL. 1-407-448-3412
FAX 1-352-383-2537

CITY OF APOPKA
WATER DETAILS
#117, 118, 400,
400 A AND 402

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

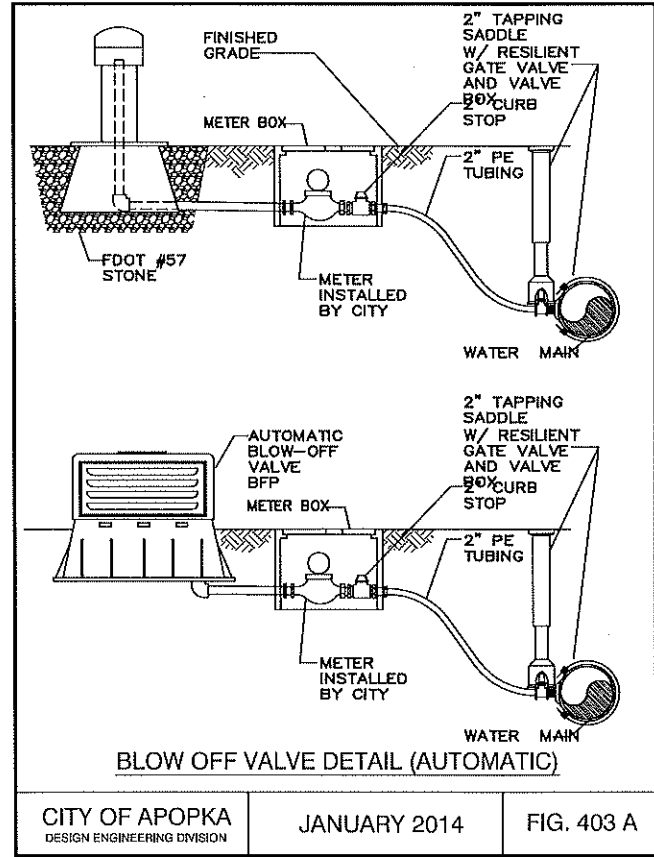
DRAWING NO.
10
JOB NO. 011718



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

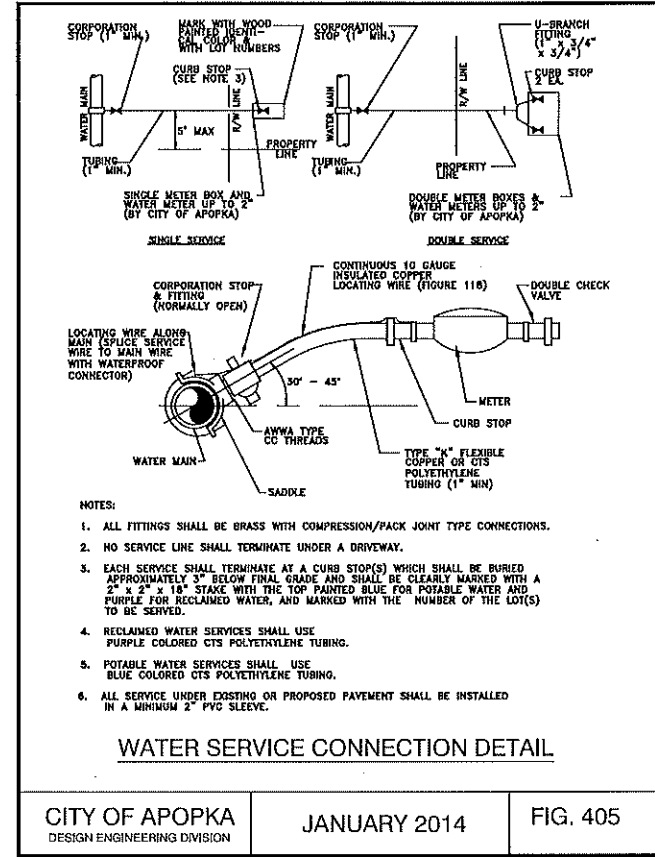
FIG. 403



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

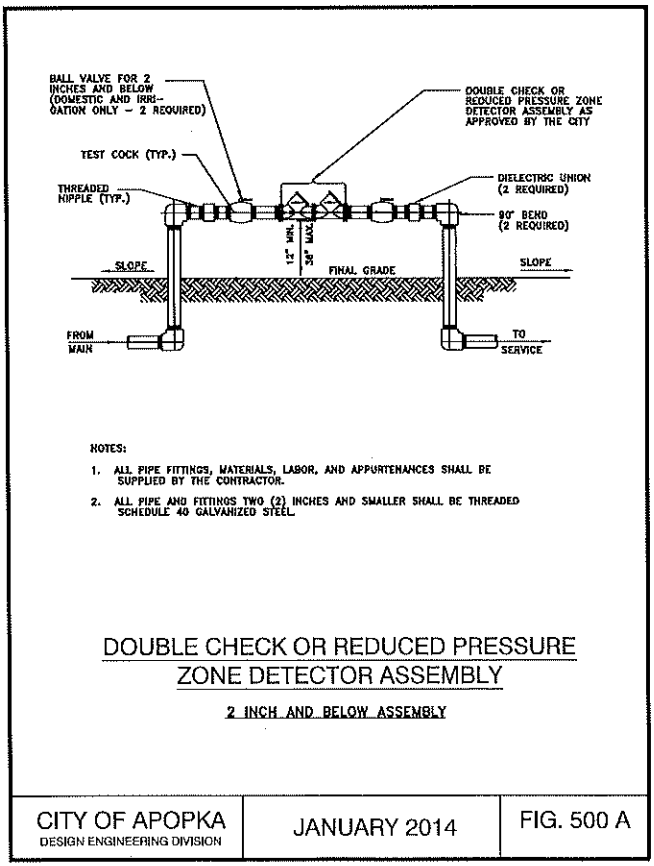
FIG. 403 A



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

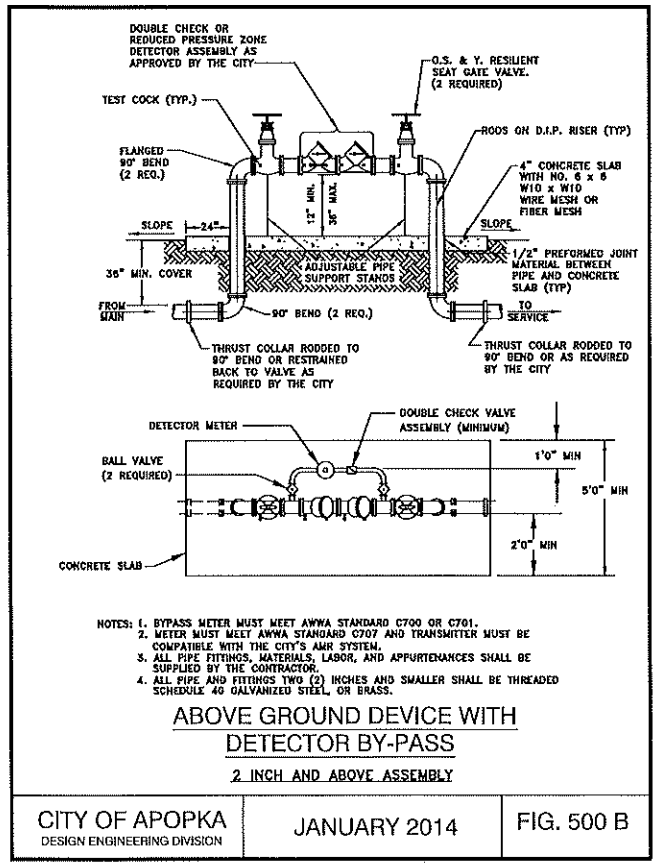
FIG. 405



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 500 A



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 500 B

NO.	REVISION	DATE
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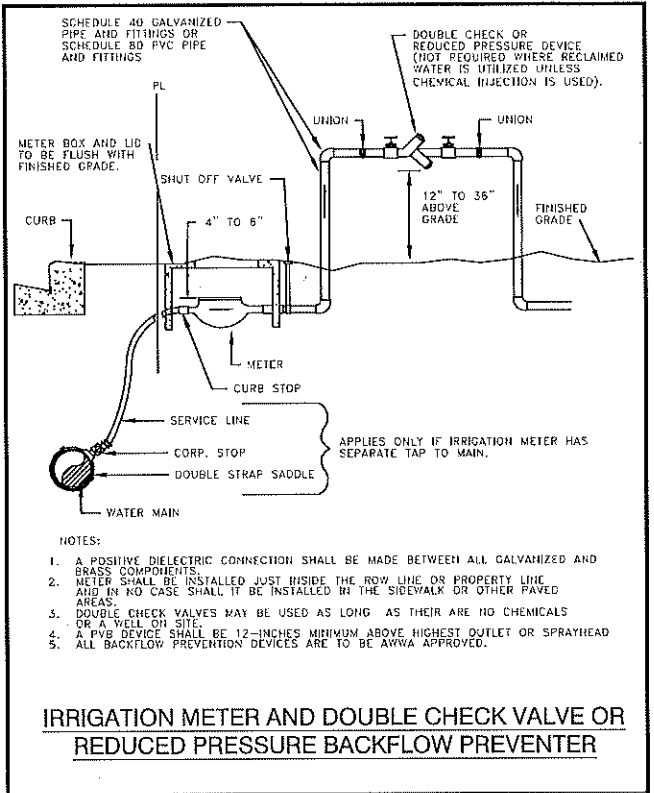
KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-407-448-9412
Fax 1-352-383-2537

CITY OF APOPKA
WATER DETAILS
#403, 403 A, 405,
500 A AND 500 B

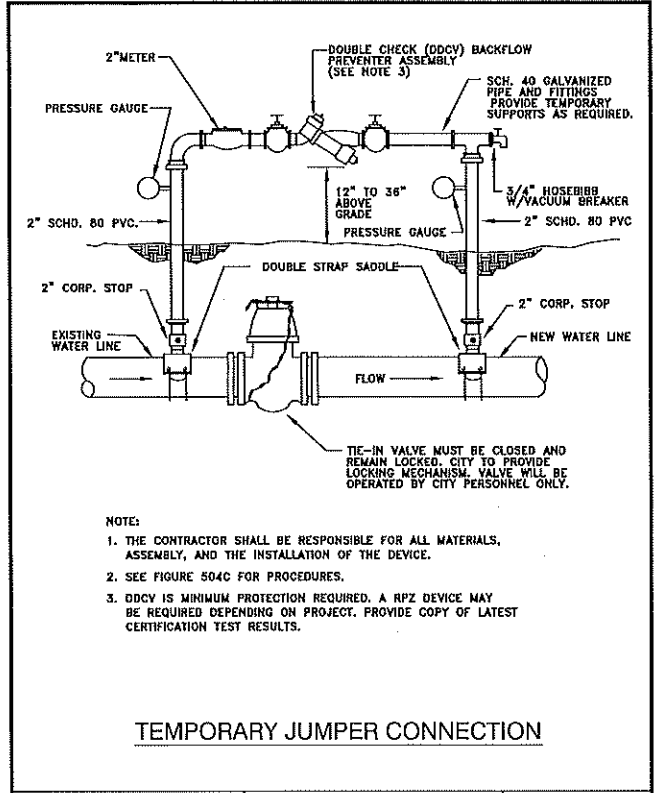
RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
11
JOB NO. 011718

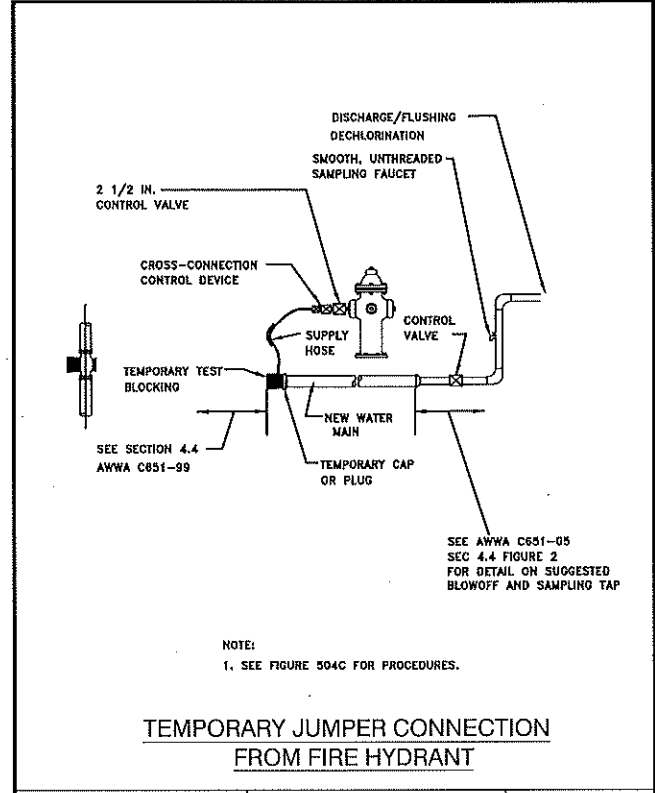
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CITY OF AOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 502



CITY OF AOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 504 A



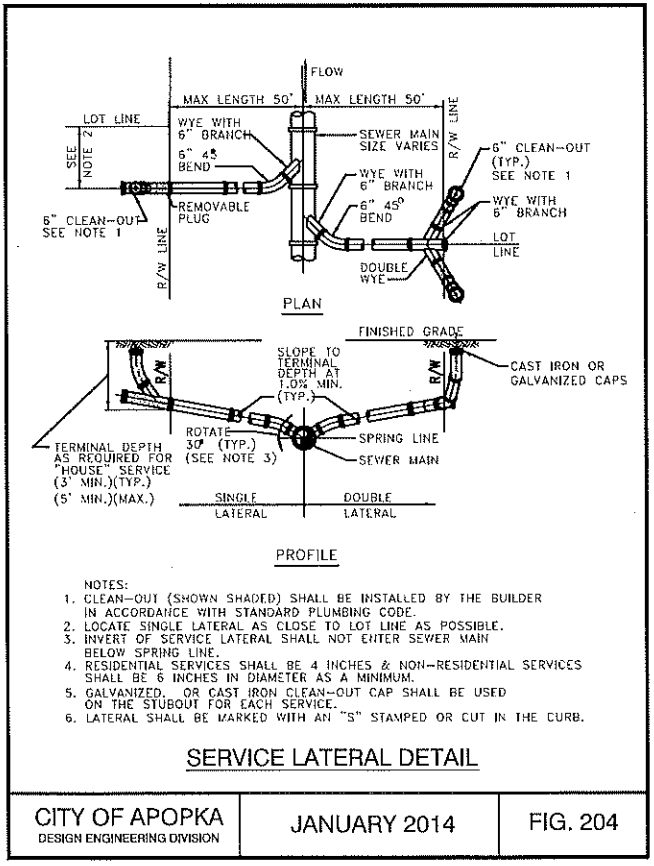
CITY OF AOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 504 B

TEMPORARY JUMPER CONNECTION NOTES:

- A temporary jumper connection is required of all connections between existing water mains and proposed new water main improvements.
- Figures 504 A and 504 B to be used for filling any new water main of any size from existing water mains and for flushing of new mains up to 8 inches in diameter (2.5 FPS minimum velocity) and for pulling bacteriological samples from any new water main of any size. The jumper connection shall be maintained until after flushing, testing and disinfection of the new main has been successfully completed and cleared for use from the Florida Department of Environmental Protection (FDEP) and other pertinent agencies have been received. The jumper connection shall also be used to maintain a minimum pressure of 20 psi in the new main after disinfection and until the FDEP clearance letter is obtained. The tie-in valve and/or restriction shall be provided temporarily, as required. Pipe and fittings used for connecting the new pipe to the existing pipe shall be disinfected prior to installation in accordance with AWWA C851, 2008 edition. The tapping sleeve and the exterior of the main to be tapped shall be disinfected by spraying or swabbing per section 4 of AWWA C851-05.
- Flushing of 10 inches in diameter and larger water mains may be done through the tie-in valve under very controlled conditions. The following procedures shall be followed:
 - The tie-in valves shall be operated and pressure tested in the presence of the City engineer to verify water tightness prior to tie-in. Valves which are not water tight shall be replaced with a new valve installed immediately adjacent to the existing valve.
 - The temporary jumper connection shall be constructed as detailed. The jumper connection shall be used to fill the new water main and for providing water for bacteriological sampling of the new main as required by the FDEP permit.
 - Flushing shall not be attempted during peak demand hours of the existing water mains.
 - All downstream valves in the system must be open prior to opening the tie-in valve.
 - Provide for and monitor the pressure in the tie-in point. The pressure in the existing main must not drop below 35 psi.
 - The tie-in valve shall be opened a few turns only, ensuring a pressure drop across the valve is greater than 10 psi.
 - The tie-in valve shall be locked closed by the City personnel until flushing begins.
 - The tie-in valve shall be opened only for flushing of the new main. The procedure shall be directed by the City and observed by the engineer.
 - After flushing, the tie-in valve shall be closed and locked in the closed position by the City personnel.
- The contractor shall provide documentation demonstrating that the double check backflow prevention device has been tested and is in good working order at the time of installation.
- Except as required to flush lines of greater than 8 inches in diameter, the tie-in valve shall remain closed and shall be locked in the closed position by the City. The tie-in valve shall remain locked closed until the new system has been cleared for use by FDEP and all other pertinent agencies.
- Upon receipt of clearance for use from FDEP and all other pertinent agencies, the contractor shall remove the temporary jumper connection. The corporation stops are to be closed and plugged with 2 inch brass plugs.
- All installation and maintenance of the temporary jumper connection and associated backflow prevention devices, fittings, valves, etc. shall be the responsibility of the contractor.

PROCEDURES FOR TEMPORARY JUMPER CONNECTION

CITY OF AOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 504 C



CITY OF AOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 204

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-407-448-3412
FAX 1-352-383-2537

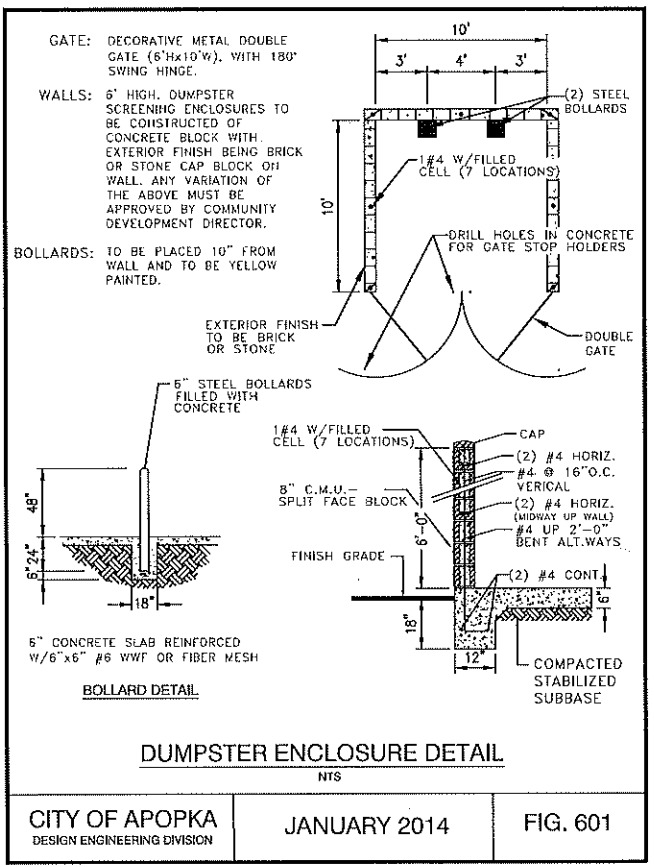
CITY OF AOPKA
WATER AND SEWER DETAILS
#502, 504 A, 504 B
504 C AND 204

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
AOPKA, FLORIDA 32712

DRAWING NO.
12
JOB NO. 011718

NO.	REVISION	DATE
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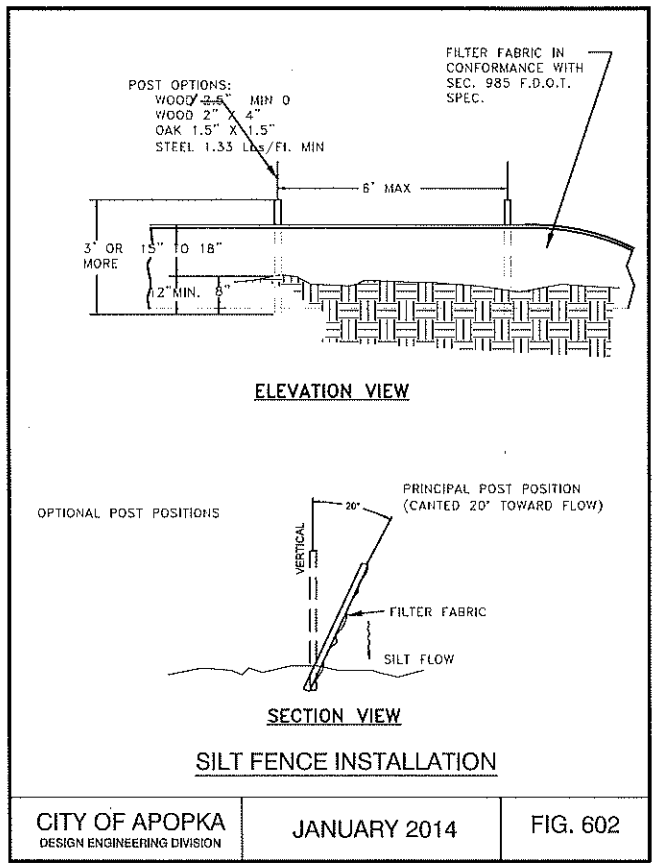
KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-407-448-3412
FAX 1-352-383-2537



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

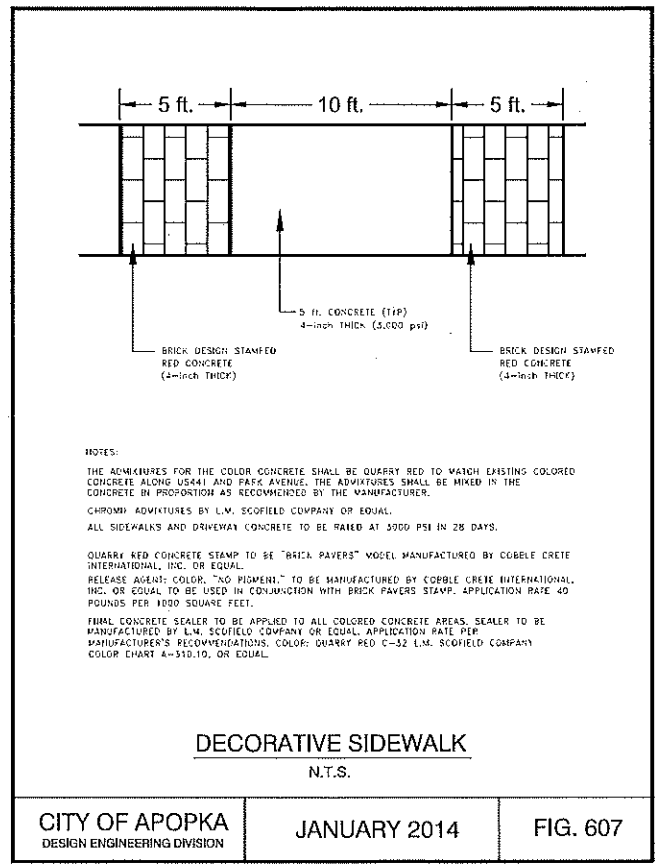
FIG. 601



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 602



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 607

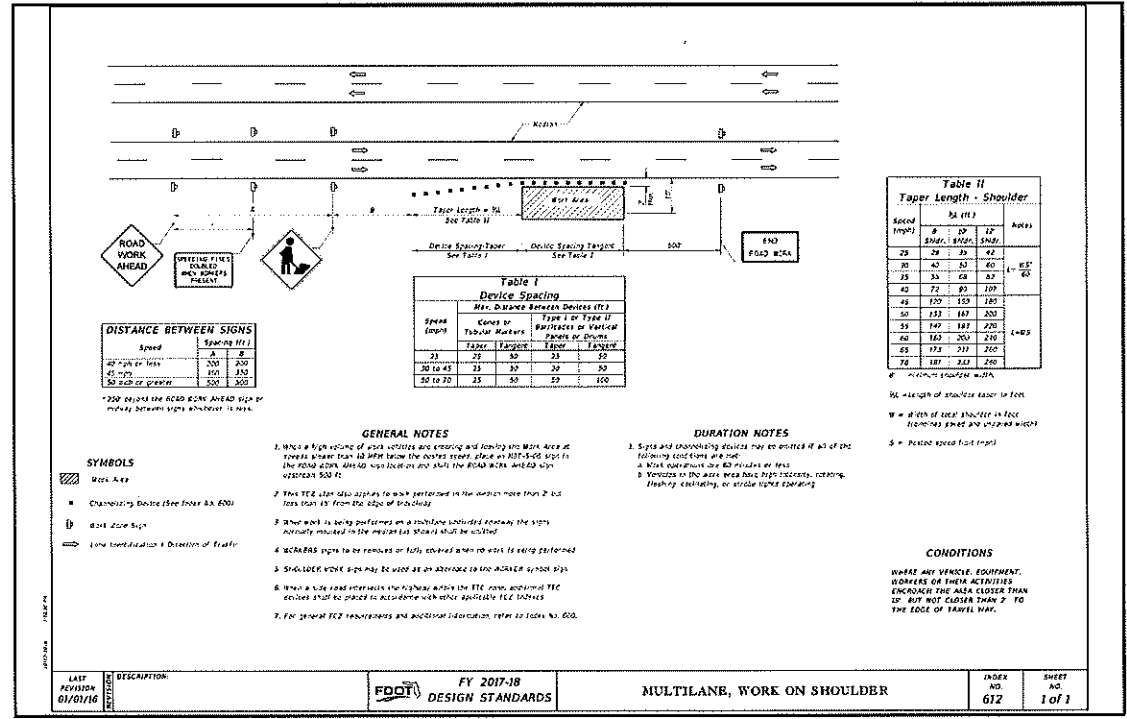
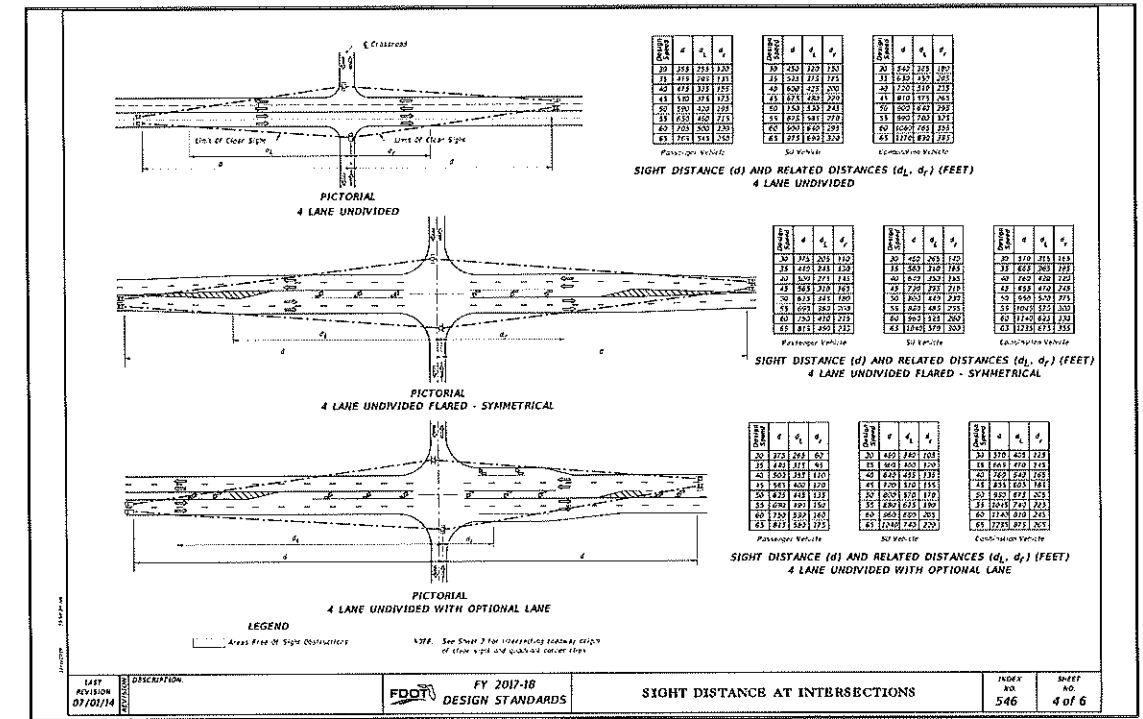
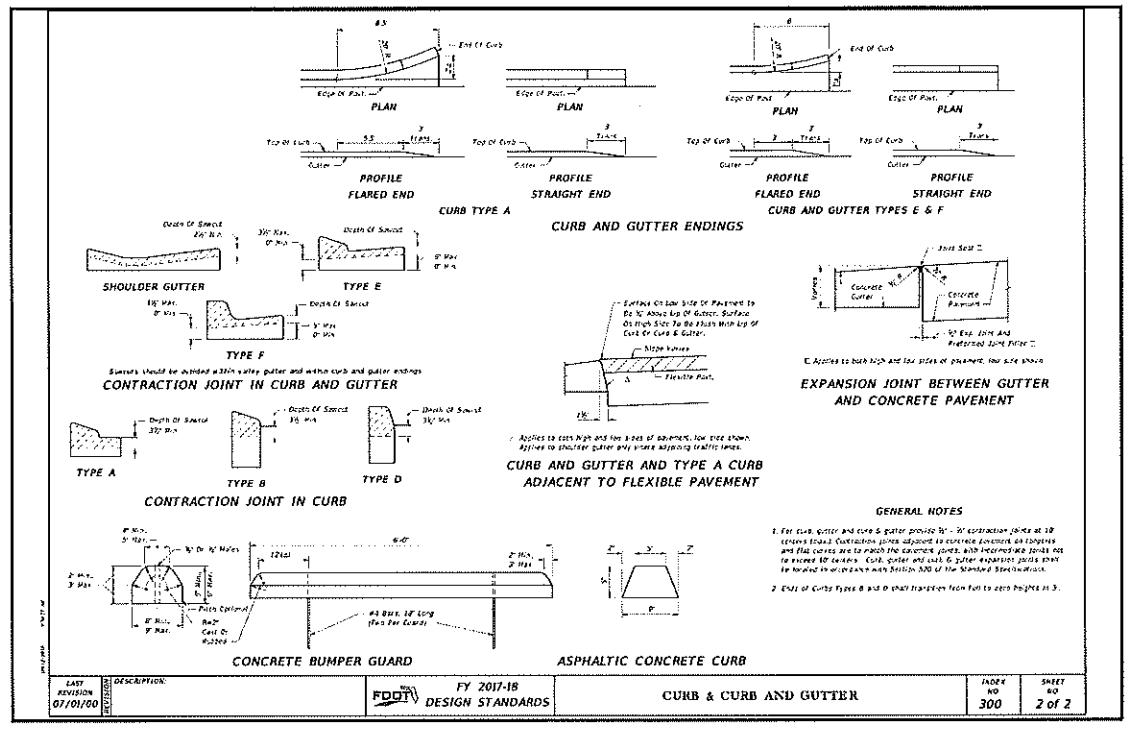
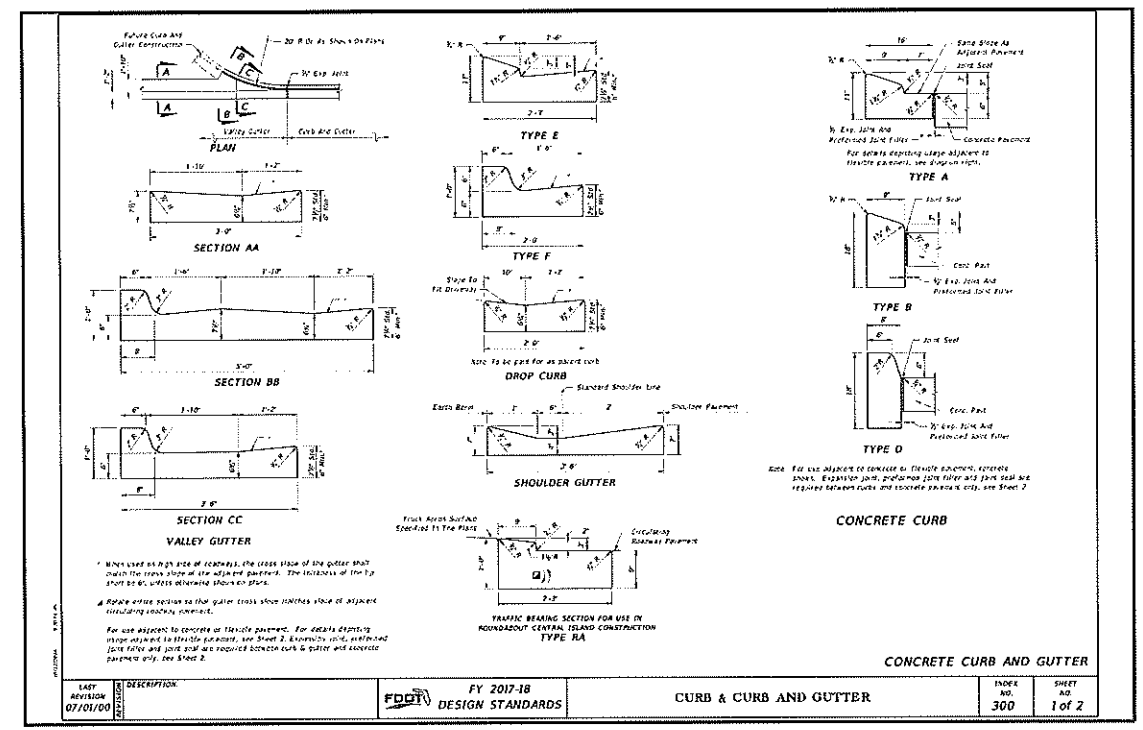
CITY OF APOPKA
GENERAL DETAILS
#601, 602 AND 607

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
13
JOB NO. 011718

NO.	REVISION	DATE

KENNETH H. EHLERS, P.E.
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MOUNT DORA, FLORIDA 32757
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FAX 1-352-383-2537



FDOT STANDARD INDEX
#300, 546 AND 612

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

NO.	REVISION	DATE
1		
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KENNETH H. EHLERS, P.E.
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FDOT STANDARD INDEX
#17355 AND 17346

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
15
JOB NO. 011718

 17P-11-06 16" x 24" Sign 1/2" Thick, 1/4" Border 1/4" Thick, 1/4" Border 1/4" Thick, 1/4" Border 1/4" Thick, 1/4" Border White Background White Legend and Border	 17P-11-06 16" x 24" Sign 1/2" Thick, 1/4" Border 1/4" Thick, 1/4" Border 1/4" Thick, 1/4" Border 1/4" Thick, 1/4" Border White Background White Legend and Border	 17P-11-06 16" x 24" Sign 1/2" Thick, 1/4" Border 1/4" Thick, 1/4" Border 1/4" Thick, 1/4" Border 1/4" Thick, 1/4" Border White Background White Legend and Border	 17P-11-06 16" x 24" Sign 1/2" Thick, 1/4" Border 1/4" Thick, 1/4" Border 1/4" Thick, 1/4" Border 1/4" Thick, 1/4" Border White Background White Legend and Border
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LAST REVISION: 07/01/18
 DESCRIPTION: FY 2017-18 DESIGN STANDARDS
 INDEX NO. 17355
 SHEET NO. 2 of 11
 SPECIAL SIGN DETAILS

 11P-11-06 11" x 31"	 11P-11-06 11" x 31"	 11P-11-06 11" x 31"	 11P-11-06 11" x 31"	 11P-11-06 11" x 31"
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LAST REVISION: 11/01/18
 DESCRIPTION: PAVEMENT MARKINGS
 INDEX NO. 17346
 SHEET NO. 1 of 17
 PAVEMENT MARKINGS

LAST REVISION: 11/01/18
 DESCRIPTION: PAVEMENT MARKINGS
 INDEX NO. 17346
 SHEET NO. 15 of 17
 PAVEMENT MARKINGS

GENERAL NOTES (Signalized & Non-signalized)
 1. For use on a 20' wide street, the counterstream restriction may be reduced to 20'.
 2. Parking shall not be allowed within 20' of a crosswalk.
 3. All parking signs shall be placed on the curb.
 4. Parking time shall be broken in increments of 15 minutes.
 5. Refer to Chapter 316, F.S. for details on time restrictions on parking signs.
 6. Signs shall be placed on the curb and shall be placed on the curb and shall be placed on the curb and shall be placed on the curb.

MINIMUM PARKING RESTRICTION FOR NONSIGNALIZED INTERSECTIONS

TYPE	MINIMUM PARKING RESTRICTION
TYPE I	No Parking Zone - 20' from curb
TYPE II	No Parking Zone - 20' from curb
TYPE III	No Parking Zone - 20' from curb

MINIMUM PARKING RESTRICTION FOR SIGNALIZED INTERSECTION

SPEED LIMIT (MPH)	SIGNALIZED INTERSECTIONS	DISTANCE FROM CURB (MINIMUM)
0-30	20'	20'
35	20'	20'

UNIVERSAL SYMBOL OF ACCESSIBILITY
 1. Size of character is 18" high in accessible parking spaces.

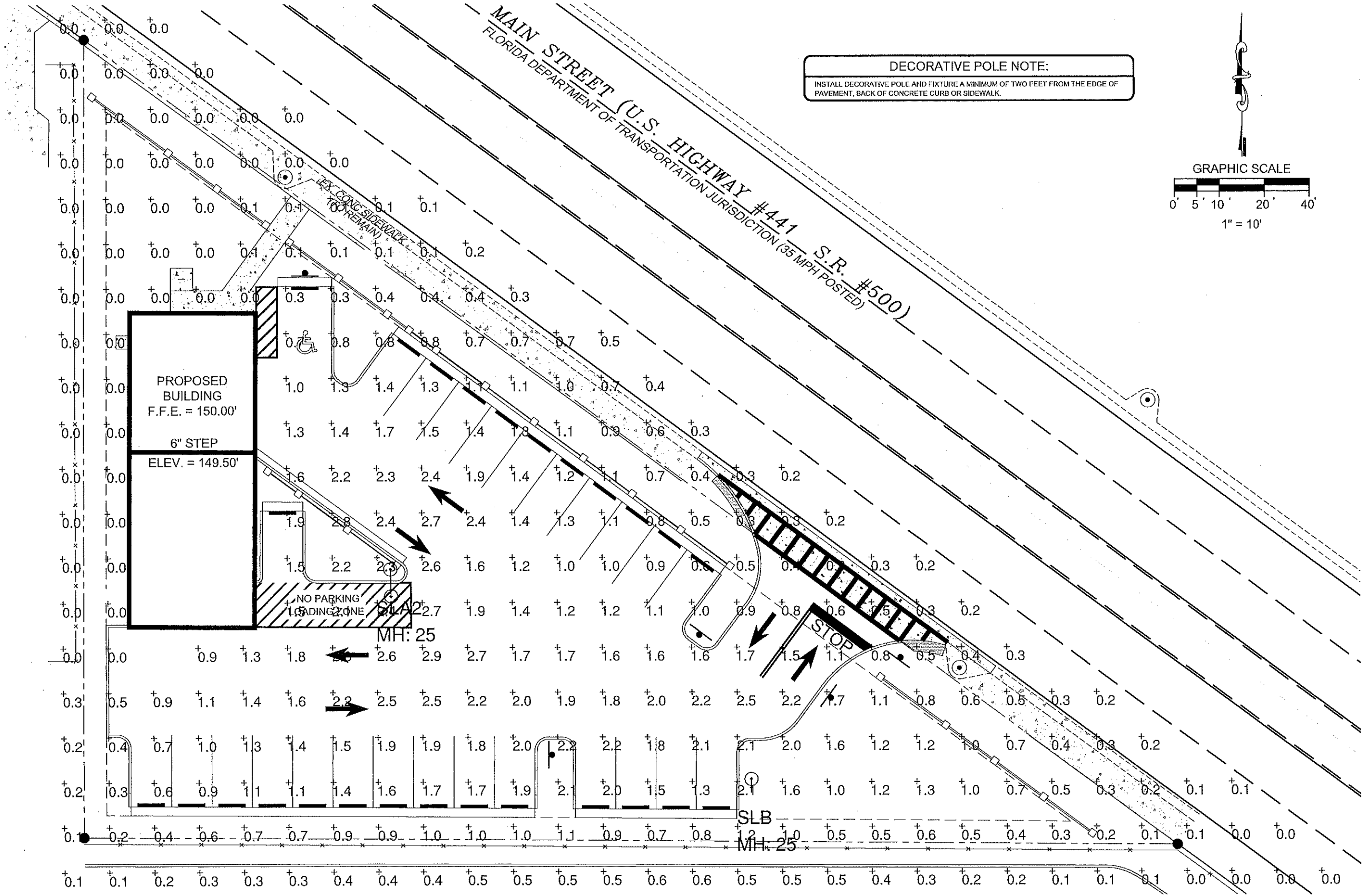
NO.	REVISION	DATE

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
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FAX 1-352-363-2537

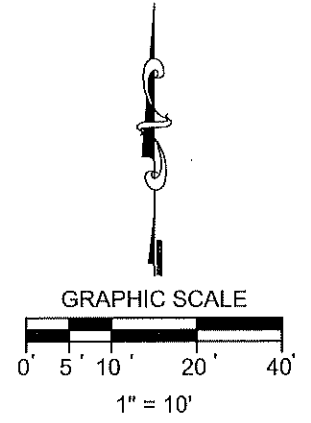
PHOTOMETRIC PLAN

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2312 HOME AGAIN ROAD
APOPKA, FLORIDA 32712

DRAWING NO.
16
JOB NO. 011718



DECORATIVE POLE NOTE:
INSTALL DECORATIVE POLE AND FIXTURE A MINIMUM OF TWO FEET FROM THE EDGE OF PAVEMENT, BACK OF CONCRETE CURB OR SIDEWALK.



Landreth Lighting Luminaire Schedule						LLF	Lum. Watts	Lum. Lumens	BUG Rating
Symbol	[MANUFAC]	Qty	Label	Arrangement	Description				
⊙	Sternberg Lighting	1	SLA2	BACK-BACK	2A-1527LED-R-8ARC 45 T4 MDL03 FG EZ OE XX; MOUNTED @ 25' AFG ON A ROUND TAPERED DIRECT BURY ALUMINUM POLE	1.000	125.8	10511	B2-U0-G2
⊙	Sternberg Lighting	1	SLB	SINGLE	1A-1527LED-R-8ARC 45 T3 MDL03 FG EZ OE XX; MOUNTED @ 25' AFG ON A ROUND TAPERED DIRECT BURY ALUMINUM POLE	1.000	124.1	10243	B3-U0-G3

Landreth Lighting Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking Lot	Illuminance	Fc	1.66	2.9	0.6	2.77
						4.83

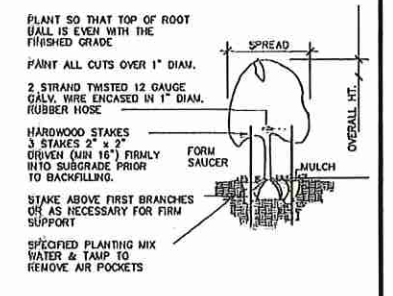
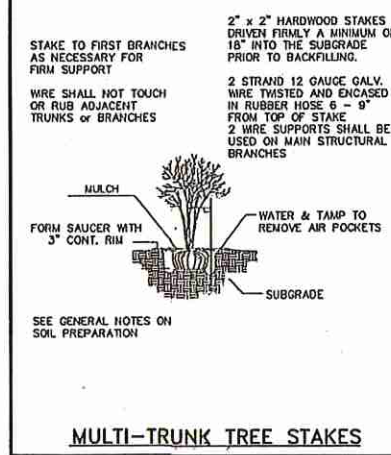
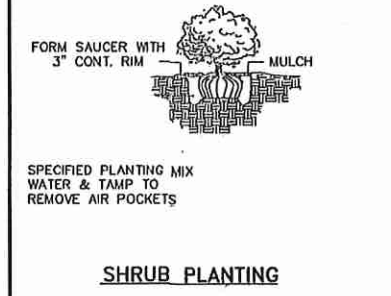
NO.	REVISION	DATE
1	CITY COMMENTS	11-28-16
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3		
4		
5		
6		
7		

RICK ABT, L.A.
CONSULTING LANDSCAPE ARCHITECT
5349 HUGH HOWELL RD.
STONE MOUNTAIN, GA 30087
TEL 1-404-909-2796
RICKABT@BELLSOUTH.NET

LANDSCAPE PLAN

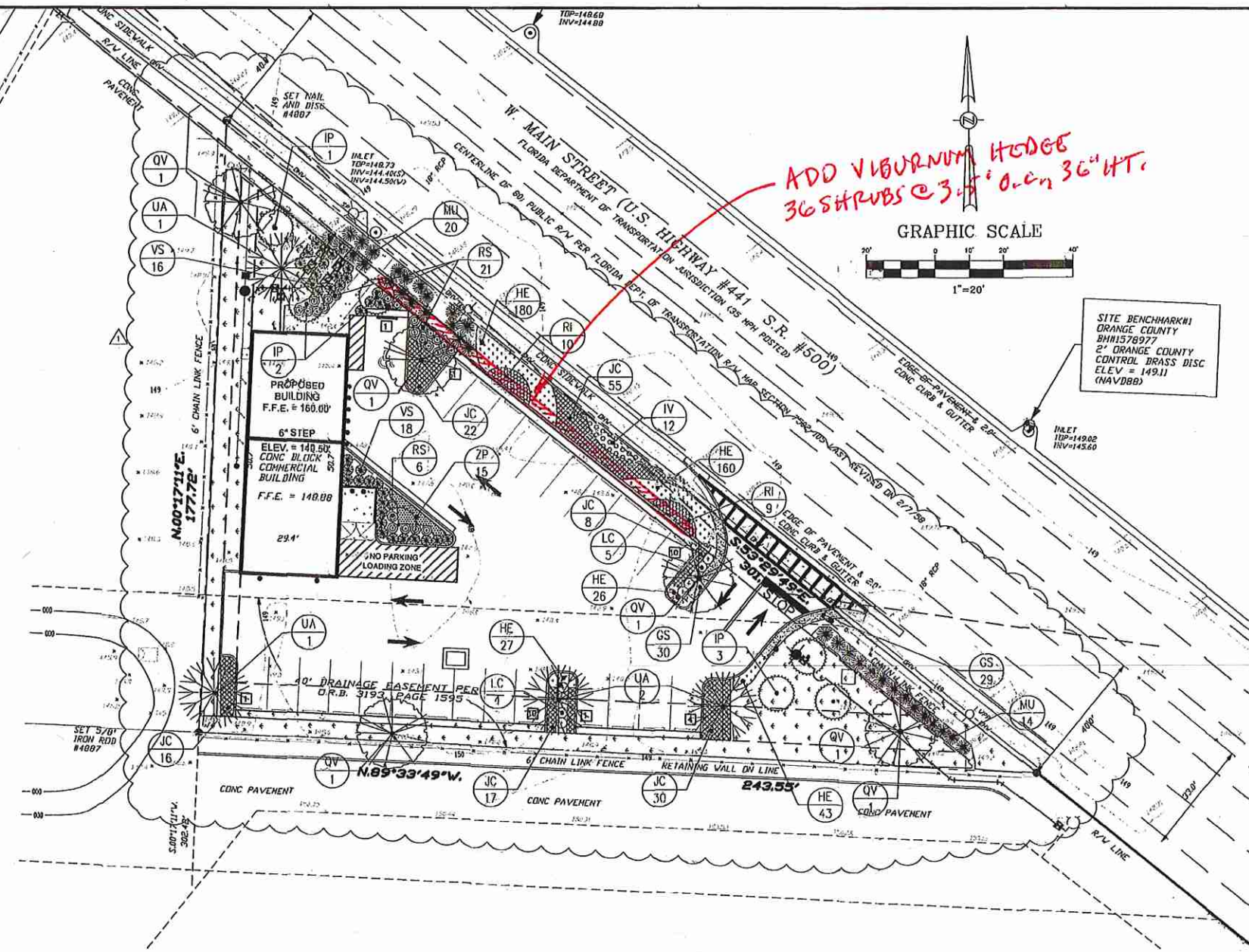
RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2351 HOME AGAIN ROAD
APOPKA, FLORIDA 32703

DRAWING NO.
L-1
SHEET 22 OF 24
JOB NO. 18-100



LANDSCAPE NOTES

- SHADE TREE REQUIREMENTS SHALL COMPLY WITH CITY OF APOPKA CODE WHEREBY ALL TREES PLANTED MUST MEET OR EXCEED FLORIDA NO. 1, AS ESTABLISHED IN THE LATEST PUBLICATION BY THE STATE OF FLORIDA DEPT. OF AGRICULTURE, GRADES AND STANDARDS FOR NURSERY PLANT MATERIAL.
- IRRIGATION (100% COVERAGE) SHALL BE PROVIDED IN ALL NEWLY PROPOSED PLANTING AREAS IN ACCORDANCE WITH CITY OF APOPKA LAND DEVELOPMENT CODE.
- IN THE EVENT OF DISCREPANCY BETWEEN THE PLANT LIST AND ACTUAL NUMBER OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ISSUANCE OF BIDS.
- ALL PLANTING BEDS AND TREE SAUCERS TO HAVE ORGANIC MULCH TO A DEPTH OF 3" MIN.
- A TWELVE MONTH WARRANTY IS TO BE PROVIDED FOR ALL NEW PLANT MATERIAL STARTING FROM TIME OF FINAL ACCEPTANCE BY OWNER. REPLACEMENT OF DEAD OR UNHEALTHY MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR WITHIN THIRTY DAYS OF NOTIFICATION IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- CALIPER OF TREES SHALL BE MEASURED AT 54" DBH ABOVE BASE OF TREE. ALL TREES SHALL BE INSTALLED IN AN UPRIGHT POSITION. CALIPER OF TREES SHALL TAKE PRECEDENCE OVER HEIGHT OR SPREAD.
- ALL DISTURBED AREAS WITHIN PROJECT LIMITS SHALL BE FULLY SODDED ASIDE FROM DEFINED PLANTING BEDS. SOD SHALL BE FREE OF WEEDS AND NOXIOUS PESTS OR DISEASES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.
- LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN COMPLIANCE WITH LOCAL LANDSCAPING ORDINANCE.
- GRADE, DRESS, AND SOD AREAS THAT HAVE BEEN DISTURBED AS SOON AS POSSIBLE TO PREVENT EROSION.
- PLANT MIX OF 8" SHALL BE TILLED INTO EXISTING SOIL TO A DEPTH OF 24". REFER TO SHRUB AND TREE PLANTING DETAIL FOR EXTENT OF PLANT MIX TO BE PROVIDED. PLANT MIX SHALL CONSIST OF 1/3 PEAT MOSS AND 2/3 EXISTING SOIL.
- ALL PLANT MATERIALS SHALL RECEIVE A SLOW RELEASE FERTILIZER IN QUANTITIES AS DIRECTED BY THE MANUFACTURER.
- ALL PLANT MATERIAL SHALL BE SET BACK 2 FEET FROM THE BACK OF CURBS OR PAVEMENT. SET TREES 3 FEET BACK FROM CURB.
- PIN ALL SOD ON 3:1 OR GREATER SLOPES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF THERE ARE ANY INVASIVE OR EXOTIC TREES LOCATED ON THE SITE AND IS REQUIRED TO REMOVE ALL INVASIVE SPECIES PER THE LOCAL JURISDICTION INVASIVE SPECIES LIST LOCATED IN THEIR CODE OF ORDINANCES.
- PLANT SIZES SHOWN ON THE PLANT LIST ARE ABSOLUTE MINIMUMS. WHEN MORE THAN ONE SIZE CRITERIA ARE LISTED THEN THE PLANT MATERIAL SHALL COMPLY WITH EACH OF THE CRITERIA, NOT JUST ONE. THESE ARE GENERALLY MINIMUMS DICTATED BY THE JURISDICTION. DIFFERENT PLANTS GROW AT DIFFERENT RATES BUT ALL MINIMUMS MUST BE MET.
- WHEN THERE ARE EXISTING TREES OR VEGETATION TO REMAIN, CONTRACTOR SHALL EMPLOY A CERTIFIED TREE SURGEON TO PRUNE AND TRIM ALL EXISTING PLANT MATERIALS TO PROVIDE A BALANCED APPEARANCE WHILE ALSO ELIMINATING ANY INTERFERENCE WITH NEW CONSTRUCTION.
- ALL EQUIPMENT (INCLUDING ROOF TOP) AND UTILITY BOXES MUST BE FULLY SCREENED (INCLUDING THE BACK OF THE BUILDING).
- LANDSCAPE INSTALLER TO INSURE THAT ALL EQUIPMENT IS SCREENED AS REQUIRED BUT ALSO INSURE THAT ALL CLEANOUTS AND TEST PORTS HAVE UNOBSTRUCTED ACCESS.



LANDSCAPE SCHEDULE						
TREES						
SYMBOL	ABR.	COMMON NAME	BOTANICAL NAME	MINIMUM SIZE	QUANTITY	REMARKS
QV		QUERCUS VIRGINICA 'HIGH RISE'	HIGH RISE LIVE OAK	1 1/2" HT. 3" DBH	5	SINGLE STRAIGHT TRUNK
UA		ULMUS ALATA	WINGED ELM	1 1/2" HT. 3" DBH	4	SINGLE STRAIGHT TRUNK
IP		ILEX VOMITORIA 'PENDULA'	WEeping YAWPON HOLLY	8"-10" HT. 3" DBH	7	
VS		VIBURNUM SUSPENSUM	SANDWICH VIBURNUM	36" HT. 30" O.C.	20	FULL
LC		LORPETALEUM CHINENSE	LORPETALEUM	3 CAL. 24" HT. 30" O.C.	9	FULL
MU		MULLENBERGIA CAPILLARS	PINK MUHLY GRASS	3 CAL. 30" HT. 30" O.C.	27	

*CALIPER OF NEW TREES SHALL BE MEASURED AT 54" DBH ABOVE BASE OF TREE.

RS	RHOODOCHORON KURUME	KURUME AZALEA	3 CAL. 24"-30" 30" O.C.	27	FULL
HE	HEPEROCALLIS SPP.	DAYLILY	1 CAL. 12" O.C.	321	
RI	RAPHIOLEPIS INDICA ALEXA	INDIAN HAWTHORN	3 CAL. 12 X 15" 30" O.C.	8	
JC	JUNIPERUS CHINENSIS	PARSONS JUNIPER	3 CAL. 24" O.C.	10	FULL
ZP	ZAWA PLUMEA	COGONIE	3 CAL. 24" O.C.	15	FULL
GS	GELSIDIUM SEMPERVIRENS	YELLOW JASMINE	1 CAL. 18" O.C.	59	
IV	ILEX VOMITORIA	SCHELLINGS DWARF	3 CAL. 12 X 15" 30" O.C.	12	
S00	BARIA HYBRID			BY GC	

TREE PRESERVATION NOTE:
THERE ARE NO EXISTING TREES SHOWN TO BE PRESERVED ON SITE.

THE MONUMENT SIGN SHOULD PARTIALLY EXTEND BEYOND THE LANDSCAPE AREA TO PROMOTE VISIBILITY, AND CAN BE PLACED AS CLOSE AS TWO FEET FROM THE SIDEWALK.

LANDSCAPING IS TO BE DESIGNED TO CREATE A VIEW CORRIDOR FOR THE SIGN

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

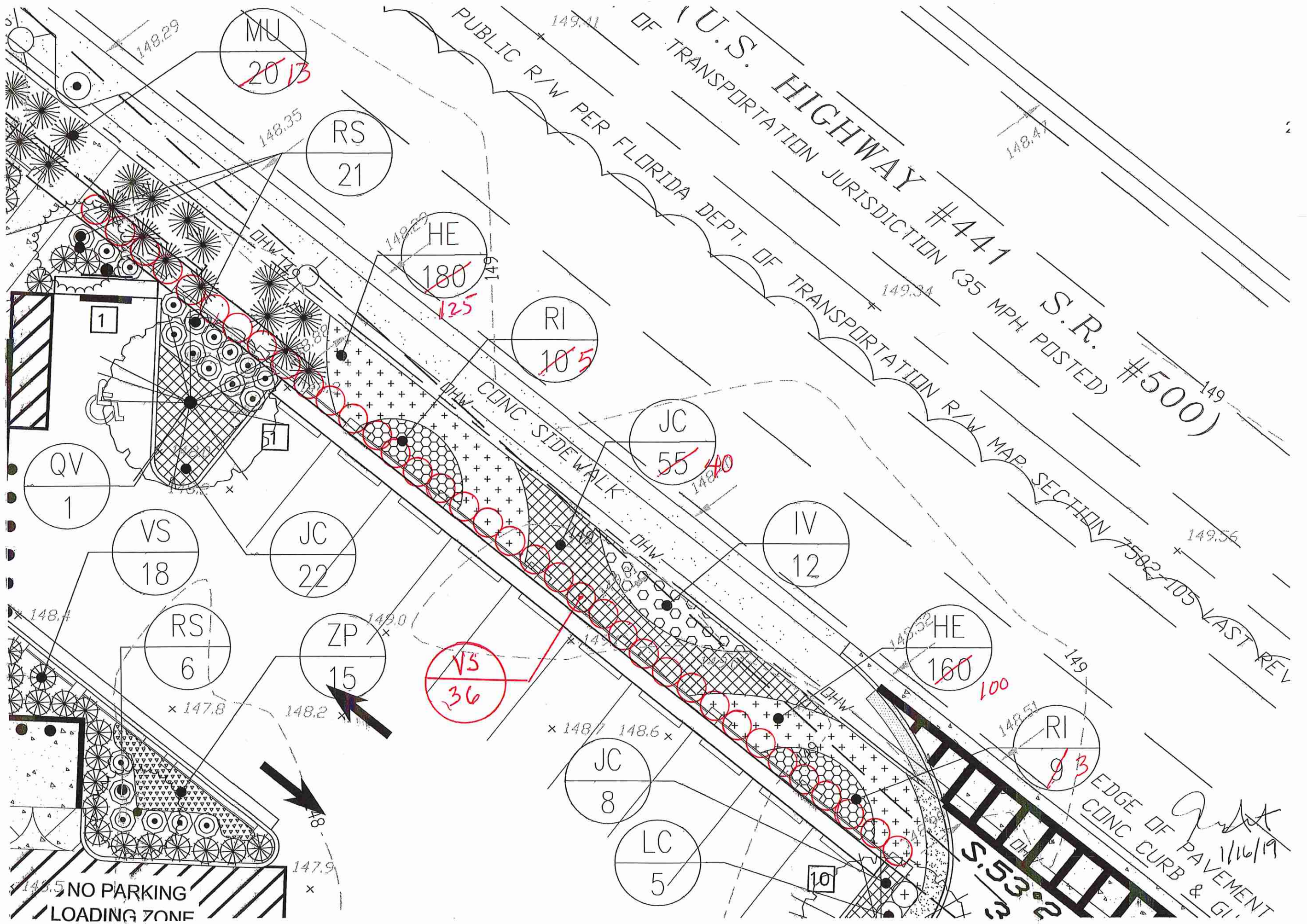
36" HT.
42" O.C.

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009, ADOPTED MAY 21, 2008, WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE: *[Signature]* REG. NO. DATE: 1/16/19

[Signature]
RICK ABT, L.A. #1321

PROJECT UPDATE: 04/25/18



MU
20/13

RS
21

HE
180
125

RI
105

JC
55
140

IV
12

VS
18

JC
22

RS
6

ZP
15

VS
36

JC
8

LC
5

HE
160
100

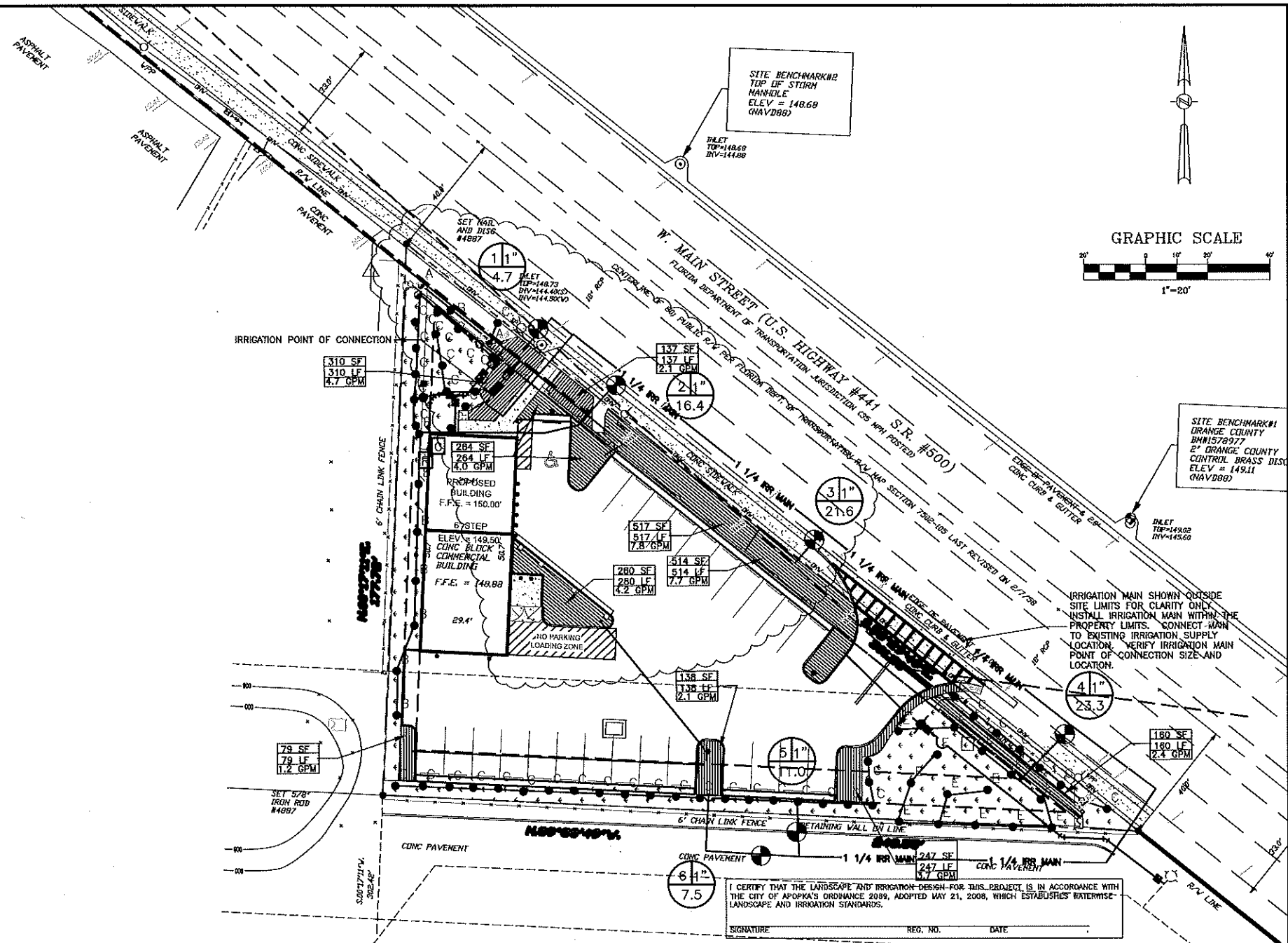
RI
3

NO PARKING
LOADING ZONE

1/16/19

IRRIGATION NOTES:

1. SPRINKLER LINES & HEAD LOCATIONS SHOWN ARE ESSENTIALLY DIAGRAMMATIC. THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED WITHIN THE PROPERTY BOUNDARIES.
2. CONTRACTOR SHALL INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES 100% COVERAGE OF ALL PLANTED & GRASSED AREAS. HEAD SPACING IS TO BE EQUAL TO THE RADIUS OF THE GIVEN SPRINKLER HEADS. PROVIDE ALL PIPING, VALVES, VALVE BOXES, SPRINKLER HEADS & WIRING AS REQUIRED FOR A COMPLETE & OPERATIONAL IRRIGATION SYSTEM.
3. ADJUST SPRINKLER HEAD RADIUS & PATTERN (WHERE APPLICABLE) TO OBTAIN MAX. COVERAGE FOR TURF & SHRUBS ELIMINATING ANY OVERTHROW ONTO SIDEWALKS, PAVEMENT, OR BUILDING STRUCTURE.
4. NOT USED
5. ALL IRRIGATION PIPING WHICH IS LOCATED UNDER PAVEMENT SHALL BE ENCASED IN A SLEEVE TWO SIZES LARGER THAN THE IRRIGATION LINE.
6. CONTRACTOR TO PROVIDE A DOUBLE DETECTOR CHECK VALVE AT THE POINT OF WATER SERVICE IN ADDITION TO AN IRRIGATION METER. COORDINATE LOCATION WITH OTHER UTILITIES & GENERAL CONTRACTOR.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY & ALL PERMITS REQUIRED FOR THE INSTALLATION OR CONSTRUCTION OF THE WORK INCLUDED IN THIS CONTRACT.
8. COORDINATE LOCATION OF IRRIGATION CONTROLLER WITH OWNER & GENERAL CONTRACTOR.
9. PROVIDE A RAIN SWITCH EQUIVALENT TO TORO RAIN SWITCH #850-74. MOUNT ON BUILDING IN AN INCONSPICUOUS LOCATION EXPOSED TO NORMAL RAINFALL & PER MFRS. SUGGESTIONS.
10. OBTAIN INSPECTION & APPROVAL OF ALL BURIED PIPING PRIOR TO BACKFILLING.
11. SPRINKLER HEAD MODEL NUMBERS SHOWN REFLECT TORO SPRINKLERS. ANY SPRINKLERS OF EQUAL QUALITY MAY BE USED WITH THE APPROVAL OF THE OWNER.
12. ADJUST DESIGN OF SYSTEM WHERE NECESSARY TO AVOID CONFLICTS IN THE FIELD WITH LANDSCAPING OR UTILITY LINES.
13. IRRIGATION CONTROLLER SHALL BE HUNTER EXTERIOR MOUNT CONTROLLER TO OWNER'S APPROVAL. VERIFY CONTROLLER OPTIONS WITH OWNER. COORDINATE POWER REQUIREMENTS WITH GENERAL CONTRACTOR.
14. PROGRAM IRRIGATION CONTROLLER TO PROVIDE 0.5 INCH OF WATER PER WEEK. SCHEDULE HEADS TO OPERATE DURING MORNING HOURS.
15. ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
16. ALL POP-UP ROTORS & SPRAYS SHALL BE INSTALLED USING AN 18" FVC FLEX PIPE CONNECTION. DO NOT USE FUMNY PIPE.
17. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
18. NOT USED
19. ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS & SEALANT.
20. THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL IRRIGATION INSTALLATIONS. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE IRRIGATION ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL VALVES & MAINLINES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES OR STRUCTURES.
21. ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE AN IRRIGATION AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY & INSIDE THE IRRIGATION AREAS.
22. NOT USED
23. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT & WORKMANSHIP.
24. ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION BY OTHERS.
25. ALL IRRIGATION SLEEVES ARE TO HAVE BEEN INSTALLED BY GENERAL CONTRACTOR AT TIME OF UTILITY CONSTRUCTION.



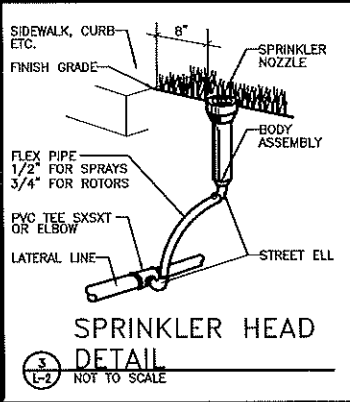
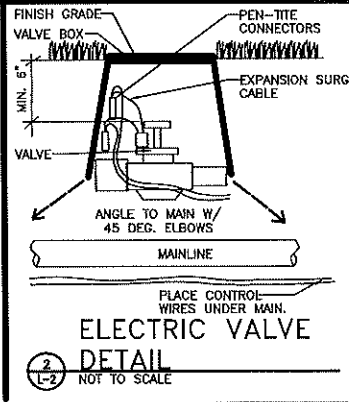
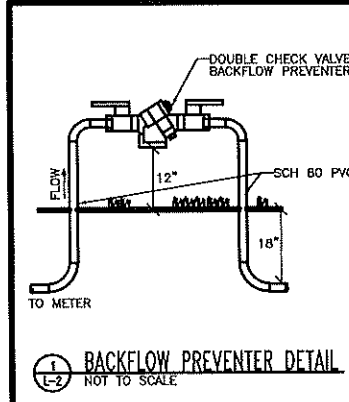
NO.	REVISION	DATE
1	CITY COMMENTS	1-28-18
2		
3		
4		
5		
6		
7		

RICK ABT, L.A.
CONSULTING LANDSCAPE ARCHITECT
5349 HUGH HOWELL RD.
STONE MOUNTAIN, GA 30087
TEL: 1-404-809-2736
RICKABT@BELL-SOUTH.NET

IRRIGATION PLAN

RAMIREZ
CAR SALES
PARCEL ID #09-21-28-6778-00-090
2351 HOME AGAIN ROAD
APOPKA, FLORIDA 32703

DRAWING NO.
L-2
SHEET 23 OF 24
JOB NO. 18-100



IRRIGATION LEGEND

- 6" POP-UP SPRAY HEAD
- DRIP ZONE AREA
- PLASTIC SPRAY VALVE
- CONTROLLER
- RAIN SENSOR
- PVC SLEEVE--2 SIZES LARGER

VALVE ZONE NO. **1** VALVE SIZE **3/4"** VALVE GPM **18.0**

SPRINKLER HEADS

SYMBOL	MODEL NO.	GPM	RADIUS
A	570-4EST	.45	4'x15'
B	570-4SST	.80	4'x30'
C	570-8F	1.00	8'
D	570-10F	1.50	10'
E	570-12F	2.20	12'
F	570-15F	3.80	15'
⊙	254-08-03	3/4" VALVES	
⊙	254-08-04	1" VALVES	
⊙	252-26-06	1-1/2" VALVES	

NOTE: MODEL NUMBERS SHOWN REFLECT TORO SPRINKLER HEADS. ANY HEADS OF EQUAL QUALITY MAY BE USED WITH THE APPROVAL OF THE OWNER.

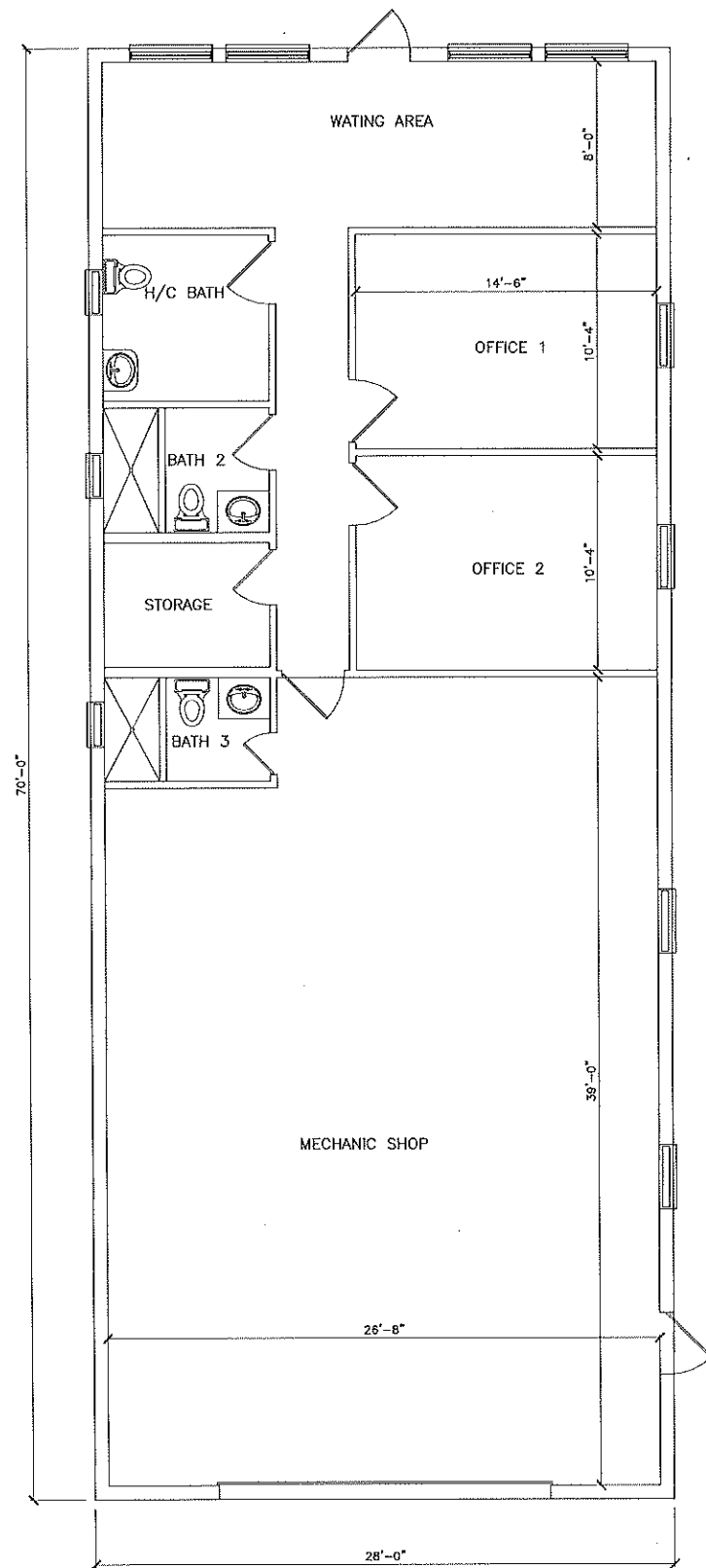
NO IRRIGATION RISERS ARE ALLOWED.

ALL SHRUB & GROUND COVER AREAS ARE TO BE IRRIGATED ON SEPARATE ZONES FROM GRASS/SOD.

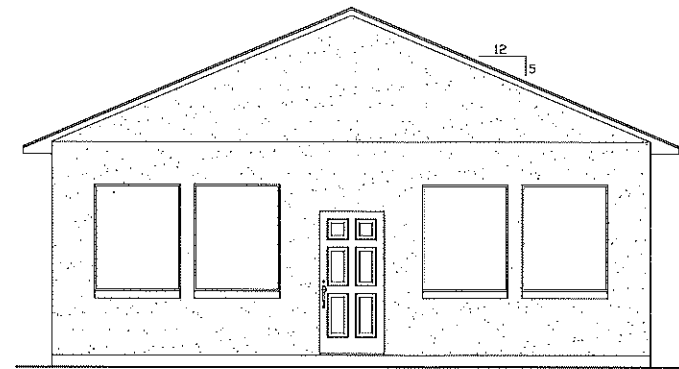
48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

RICK ABT, L.A. #1321

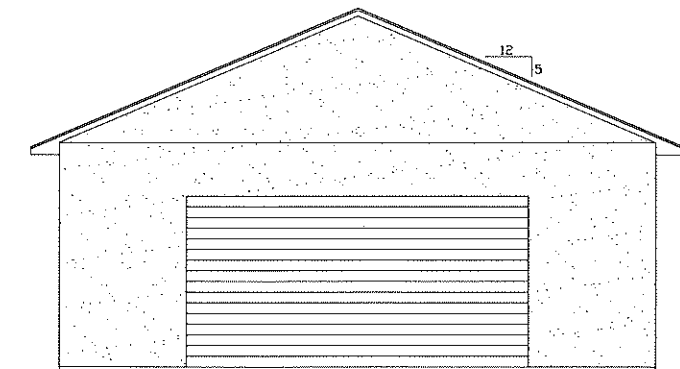
PROJECT UPDATE: 04/25/18



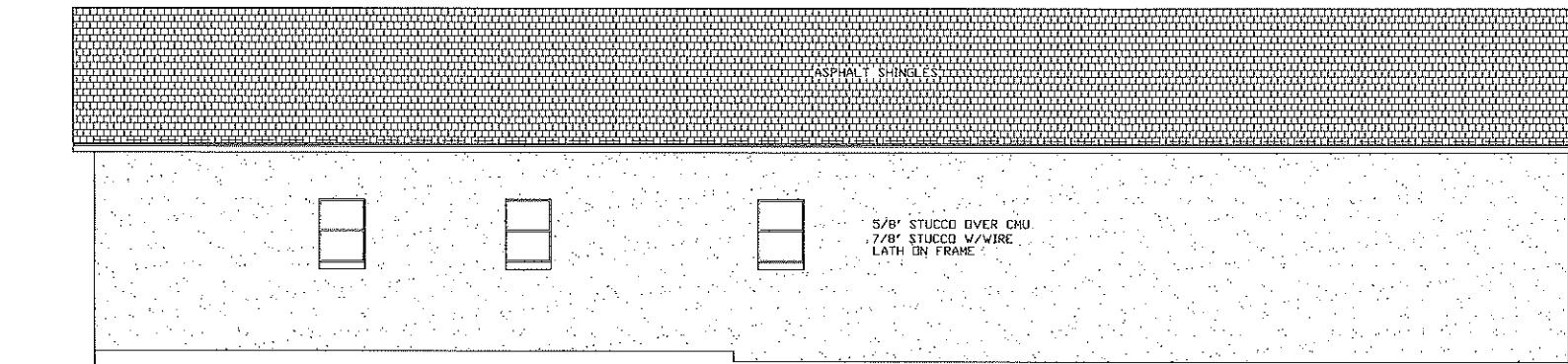
FLOOR PLAN



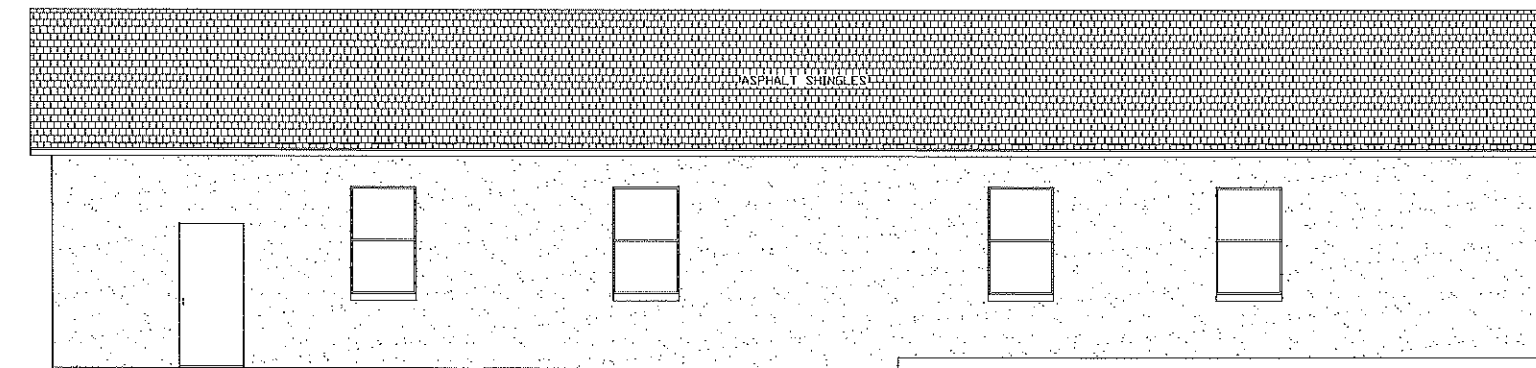
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

REVISIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

KEN EHLERS P.E.
ENG. SEAL No 18243

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL. 1-352-383-2537
FAX 1-352-383-8650

PROJECT
RAMIREZ CAR SALES
PARCEL ID #09-21-28-6778-00-090
807 PINE STREET
ORLANDO, FLORIDA 32824

DESIGN BY:
Nestor Ayala Drafting
1001 ARMADA COURT
OCFEE, FLORIDA 34761
OFFICE # (407) 866-5053
CELL # (321) 468-7338
E-MAIL: nestorayaladrafting@yahoo.com

DRAWN: N.A.
REVISED: K.E.
SCALE: 1/4" = 1'-0"
DATE: 06-30-18
SHEET: 1 of 1





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Final Development Plan

MEETING OF: February 12, 2019
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Final Development Plan

SUBJECT: ZAXBY'S RESTAURANT – FINAL DEVELOPMENT PLAN

REQUEST: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR ZAXBY'S RESTAURANT

SUMMARY:

OWNER/APPLICANT: Fletcher MCO, LLC, c/o Kevin Pomet
ENGINEER: CHW, Inc., c/o Travis Hastay, P.E.
LOCATION: 920, 928, and 936 East Semoran Boulevard
PARCEL ID NUMBERS: 11-21-28-0750-00-050; 11-21-28-0750-00-060; 11-21-28-0750-00-070
FUTURE LAND USE: Commercial
ZONING: C-1 (Retail Commercial District)
EXISTING USE: Vacant
PROPOSED USE: Restaurant
TRACT SIZE: 1.26 +/- acres; 54,143 +/- square feet
BUILDING SIZE: 3,113 square feet
FLOOR AREA RATIO Proposed 0.06; Maximum 0.25

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North	Public Right-of-Way (ROW)	ROW	S.R. 436/Semoran Boulevard
East (City)	Commercial	C-2 (General Commercial District)	Auto Repair
South (City)	Commercial	C-2	Surface Parking
West	ROW	ROW	Sheeler Road

PROJECT SUMMARY: The Zaxby's Restaurant Final Development Plan is a site plan proposing a building for restaurant use that is 3,113 square feet in size on a total of 1.26 acres. The site layout is designed to accommodate a single drive-through lane that can stack of up to 17 cars, which is higher than the number of cars that can be stacked per the Code minimum drive-through aisle length of 120 feet (accommodating up to eight cars). Applicant requested a longer drive-through aisle to avoid cars lining up within the Semoran Boulevard. However, to accommodate additional stacking, the drive-through window has to face Semoran Boulevard. With the Development Design Guidelines discouraging drive-through windows at the front of the building, additional landscaping has been placed within the front buffer yard to provide additional screening of the drive-aisle and service window. Also, a canopy covers the drive-through window to augment the architectural appearance of the building.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front	50' from Centerline of ROW/ 10' from the property line
Side	10'
Rear	10'

PARKING: A total of 29 parking spaces are proposed and as required by Code including two ADA-compliant spaces.

ACCESS:

Full access to the site will be provided on S.R. 436/Semoran Boulevard. As part of their efforts to support connectivity, a cross access easement has been produced that allows access between the project parcels, as well as, the western and southern parcels. The cross access easement allows for a secondary access on and from Sheeler Road.

TRANSPORTATION IMPACTS: A transportation impact analysis (TIA) was conducted for this project to assess its impacts on the surrounding roadway segments and intersections within a one-mile radius of the project per the City's adopted TIA methodology. Included in the analysis were segments of U.S. 441, S.R. 436, CR 424 (Alabama Avenue/Apopka Boulevard), Sheeler Avenue, Roger Williams Road, Thompson Road, and Votaw Road. The intersection of S.R. 436 and Sheeler Road and the site entrances located on S.R. 436 and Sheeler Avenue were also included in the study.

The project will generate 1,460 daily trips and 50 P.M. Peak Hour net new trips. The analysis demonstrates sufficient capacity exists on the study roadways segments and study intersections to accommodate the addition of trips generated by this project. All study roadway segments and intersections will continue to operate at or above the City's adopted Level of Service.

STORMWATER: The stormwater management system includes an on-site underground retention area to the east of the building. The stormwater pond design meets the City's Land Development.

LANDSCAPING/BUFFER: Live oaks are planted on each landscaped Parking Island and the building entrance. Sabal Palms are sprinkled around the building. The landscaped area intended to screen the drive-through window also includes Sabal Palms and Viburnum hedges that shall be at least 36 inches in height at the time of planting. A landscaped island shall be provided around the base of the monument sign at least ten feet in width to include shrubs three feet on center and at least 36 inches tall at time of planting.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the site plan review for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

February 12, 2019 - Planning Commission, 5:30 p.m.

March 6, 2019 - City Council, 1:30 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Zaxby's Restaurant Final Development Plan subject to the findings of this staff report.

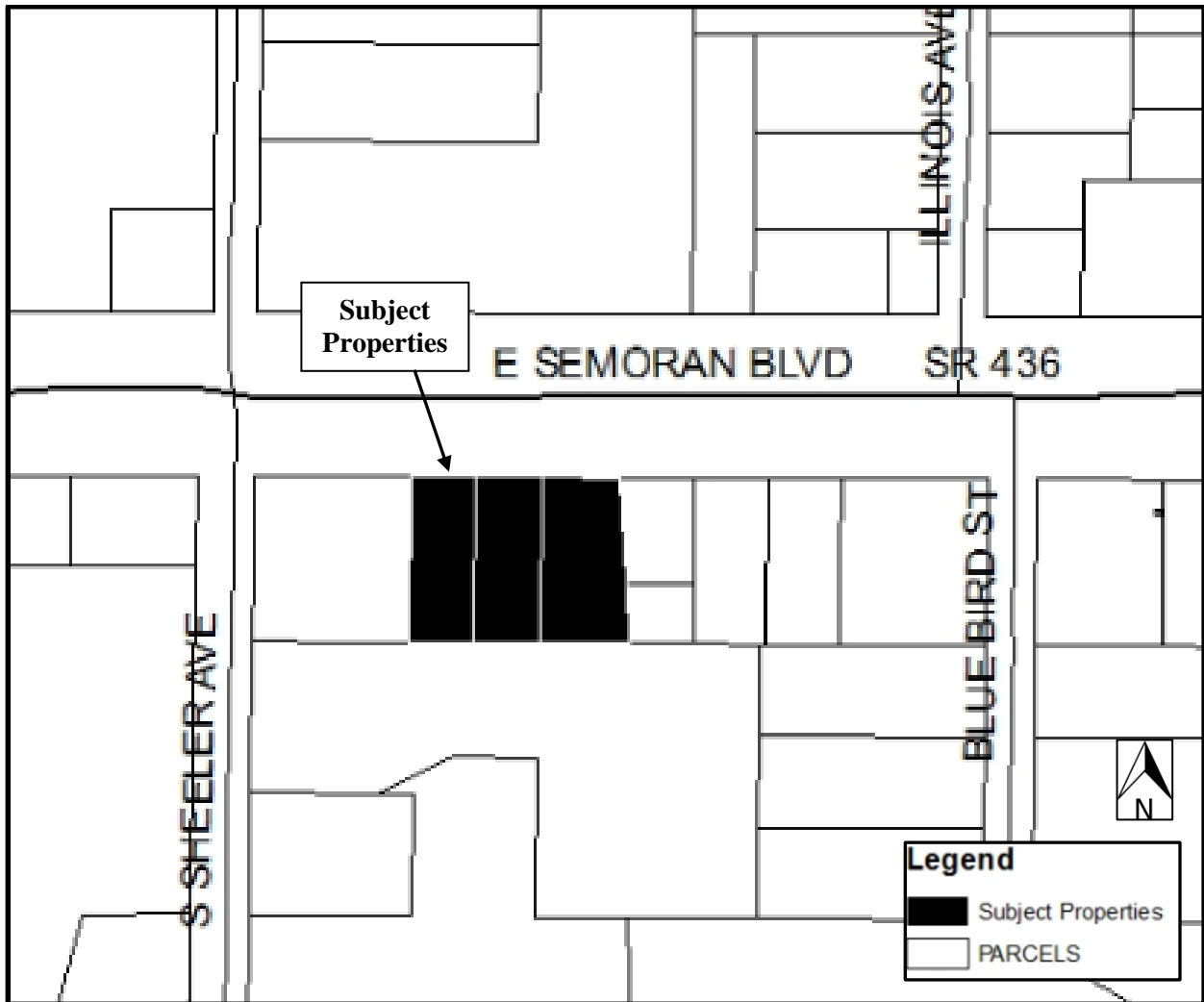
Planning Commission: Find the Zaxby's Restaurant Final Development Plan consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Final Development Plan, subject to the findings of this staff report.

Planning Commission Role: To advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project Name: Zaxby's Restaurant FDP
Owner: Fletcher MCO, LLC c/o Kevin Pomet
Engineer: CHW, Inc. c/o Travis Hastay, P.E.
Parcel I.D. Nos.: 11-21-28-0750-00-050, 11-21-28-0750-00-060 and 11-21-28-0750-00-070
Addresses: 920, 928, and 936 East Sermoran Boulevard
Total Acreage: 1.26 +/- acres

VICINITY MAP



AERIAL MAP



FINAL DEVELOPMENT PLANS

FOR

ZAXBY'S - APOPKA CITY OF APOPKA, FLORIDA

SECTION 11, TOWNSHIP 21 SOUTH, RANGE 28 EAST

SUBMITTED TO

CITY OF APOPKA ORANGE COUNTY

ST. JOHNS RIVER WATER MANAGEMENT DISTRICT FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

DEVELOPER

BLAKE FLETCHER, MANAGER
FLETCHER MCO, LLC
4510 NW 5TH PLACE, 3RD FLOOR
GAINESVILLE, FL 32607
(352) 224-6400

OWNERS

11-21-28-0750-00-050,
11-21-28-0750-00-060 &
11-21-28-0750-00-070

ROGERS, WILLIAM H. JR., CEO
303 PEACHTREE ST. NE, ATLANTA, GA 30308

FITZSIMMONS, ELLEN, CORPORATE SECRETARY
303 PEACHTREE ST. NE, ATLANTA, GA 30308

SUNTRUST BANK
936 E SEMORAN BLVD
APOPKA, FL 32703

SURVEYOR OF RECORD

AARON H. HICKMAN, P.S.M.
CHW
11801 RESEARCH DRIVE
ALACHUA, FL 32615
(352) 331-1976

ENGINEER OF RECORD

TRAVIS J. HASTAY, P.E.
CHW
11801 RESEARCH DRIVE
ALACHUA, FL 32615
(352) 331-1976

LANDSCAPE ARCHITECT

BOJACK, KATHRYN B.
5816 EGLESTON AVE.
ORLANDO, FL 32810

SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE, LLC.
P.O. BOX 948383
MAITLAND, FL 32794
(407) 376-1423

PHOTOMETRIC CONSULTANT

KEN HUNTER
HUNGER DESIGN AND CONSULTING, INC.
735 ARLINGTON AVE. NORTH, SUITE 308
ST. PETERSBURG, FL 33701
(352) 238-6366

SITE DATA TABLE

PARCEL ID NUMBER	11-21-28-0750-00-050, 11-21-28-0750-00-060 & 11-21-28-0750-00-070		
FUTURE LAND USE	COMMERCIAL (COMM)		
ZONING	COMMERCIAL RETAIL (C-1)		
ADJACENT FUTURE LAND USE	NORTH: COMMERCIAL	SOUTH: COMM	EAST: COMM
ADJACENT ZONING	NORTH: COMMERCIAL	SOUTH: C-1	EAST: C-1
ACREAGE/SQUARE FOOTAGE	1.24 AC. / 54,143 S.F.		
BUILDING HEIGHT	PROPOSED: <24'	MAX: 35'	
FLOOR AREA RATIO	PROPOSED: 0.06	MAX: 0.25	
BUILDING SETBACKS	PROPOSED: FRONT: 10' SIDE: 10' REAR: 10' CORNER: N/A	REQUIRED: FRONT: 10' SIDE: 10' REAR: 10' CORNER: 15'	
PARKING SPACES	PROVIDED: 29	REQUIRED: 56 SEATS/4 SEATS + 502 SF / 75 SF = 14 + 7 = 21 SPACES	
NUMBER OF EMPLOYEES	~15		
WAIVER REQUEST	YES: NO: NONE REQUESTED		
VARIANCE REQUEST	YES: NO: NONE REQUESTED		

DEVELOPMENT DATA

	ON-SITE	1.24 AC
DEVELOPMENT AREA:	54,143 S.F.	1.24 AC
BUILDING AREA:	3,113 S.F.	5.7%
ROADS/CURB/CONCRETE:	31,620 S.F.	58.4%
IMPERVIOUS AREA:	34,733 S.F.	64.2%
OPEN SPACE:	19,410 S.F.	35.8%
PARKING SPACES:	29	
MAX BUILDING HEIGHT:	24'	
PARCEL ID:	11-21-28-0750-00-050, 11-21-28-0750-00-060 & 11-21-28-0750-00-070	

NOTE: SITE INSPECTIONS WITH THE COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION REQUIRE A MINIMUM SEVEN DAY NOTICE.

INDEX

C0.00	COVER SHEET AND INDEX
1 OF 1	BOUNDARY AND TOPOGRAPHIC SURVEY
C0.10	GENERAL NOTES
C0.11	LEGEND
C0.20	STORMWATER POLLUTION PREVENTION NOTES
C0.21	STORMWATER POLLUTION PREVENTION PLAN
C0.30 - C0.31	DEMOLITION PLAN
C1.10 - C1.11	DETAILED HORIZONTAL CONTROL AND SITE PLAN
C1.12	SITE EASEMENTS PLAN
C1.20	ACCESSIBILITY SITE PLAN
C2.10 - C2.11	DETAILED GRADING AND DRAINAGE PLAN
C2.20-C2.23	SMF DESIGN AND DETAILS
C2.30	CONSTRUCTION DETAILS
C3.10	DETAILED UTILITY PLAN
C3.11 - C3.12	CITY STANDARD DETAILS
L-1	TREE MITIGATION PLAN
L-2	LANDSCAPE PLAN
L-3	IRRIGATION PLAN
L-4	IRRIGATION NOTES & DETAILS
E-1 - E-2	SITE LIGHTING PLAN
A105 - A106	ARCHITECTURAL ELEVATIONS
A118	DUMPSTER ENCLOSURE DETAILS

BEFORE YOU DIG!
CALL SUNSHINE STATE ONE CALL OF FLORIDA
AT LEAST TWO FULL BUSINESS DAYS BEFORE
DIGGING OR DISTURBING EARTH!




Know what's below.
Call before you dig.

1-800-432-4770

TRAFFIC STATEMENT:

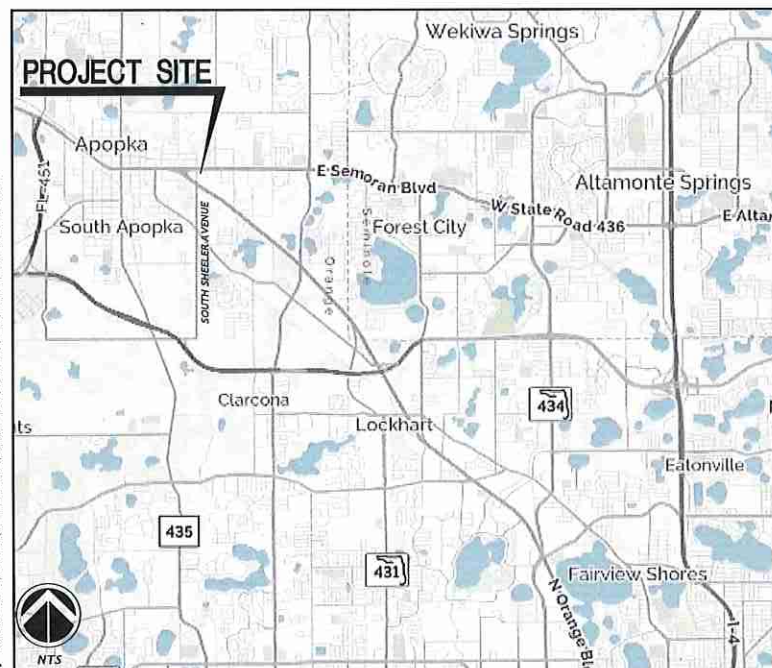
PROPOSED LAND USE	ITE LU	VARIABLE (1000 SF GFA)	RATE	AADT	PM PEAK
FAST FOOD RESTAURANT WITH DRIVE-THROUGH WINDOW	(934)	3.1	470.95	1460	101
PASS-BY TRIPS (PM=50K)	(934)	3.1	470.95	730	51
NET NEW TRIPS	(934)	3.1	470.95	730	50

1.) BASED ON ITE TRIP GENERATION MANUAL, 10TH EDITION.

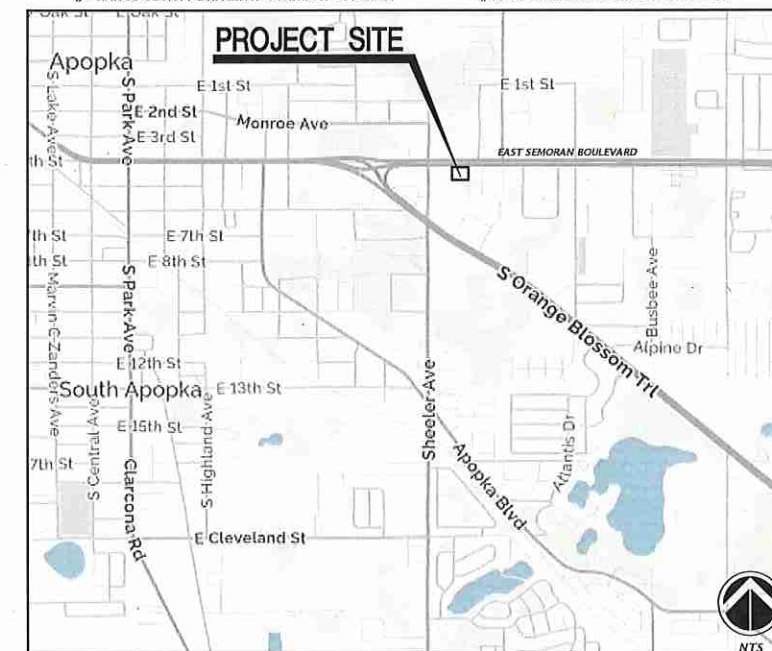
LEGAL DESCRIPTION:
(REFER TO SURVEY)

PROJECT PERMITS:

- 0 CITY OF APOPKA
- 0 SJRWMD '10-2' SELF CERTIFICATION
- 0 CITY OF APOPKA BUILDING PERMIT (BY CONTRACTOR)
- 0 ORANGE COUNTY ROW USE PERMIT
- 0 ORANGE COUNTY DRIVEWAY CONNECTION PERMIT
- 0 FDEP WASTEWATER EXTENSION PERMIT
- 0 FDEP NOI (NPDES)
- 0 FDOT DRIVEWAY CONNECTION PERMIT
- 0 FDOT DRAINAGE CONNECTION PERMIT



VICINITY MAP



LOCATION MAP

11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chw-inc.com

CHW
Professional Consultants

SCALE
N/A
UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND INCHES. ADJUST DIMENSIONS TO MATCH ADJACENT SHEETS.

CONSTRUCTION (BY RECORD)

07/27/18 CITY OF APOPKA, SJRWMD, ORANGE COUNTY & FDOT
11/26/18 CITY OF APOPKA, SJRWMD, ORANGE COUNTY & FDOT
02/20/19 FDOT
01/21/19 CITY OF APOPKA, SJRWMD & ORANGE COUNTY
02/01/19 CITY OF APOPKA, SJRWMD & ORANGE COUNTY

CLIENT: FLETCHER DEVELOPMENT, LLC
PROJECT: ZAXBY'S APOPKA
SHEET TITLE: COVER SHEET AND INDEX

DESIGNER: T.J. HASTAY, P.E.
CHECKER: M. HEATHCOCK, P.E.
PROJECT NUMBER: 17-0497

FL PE No. 84295

SHEET NO.: C0.00

DESCRIPTION: (PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, COMMITMENT NUMBER 504744, DATED OCTOBER 20, 2017)
 LOT 5, BLUE BIRD PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK X, PAGE 58, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE NORTH 82 FEET FOR ROAD RIGHT OF WAY.
 LOT 6, BLUE BIRD PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK X, PAGE 58, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE NORTH 82 FEET FOR ROAD RIGHT OF WAY.
 LOT 7, BLUE BIRD PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK X, PAGE 58, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE NORTH 82 FEET FOR ROAD RIGHT OF WAY AS TAKEN PER ORDER OF TAKING RECORDED IN O.R. BOOK 1934, PAGE 971.

BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN SECTION 11, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
 ORANGE COUNTY, FLORIDA



SURVEYOR'S NOTES:

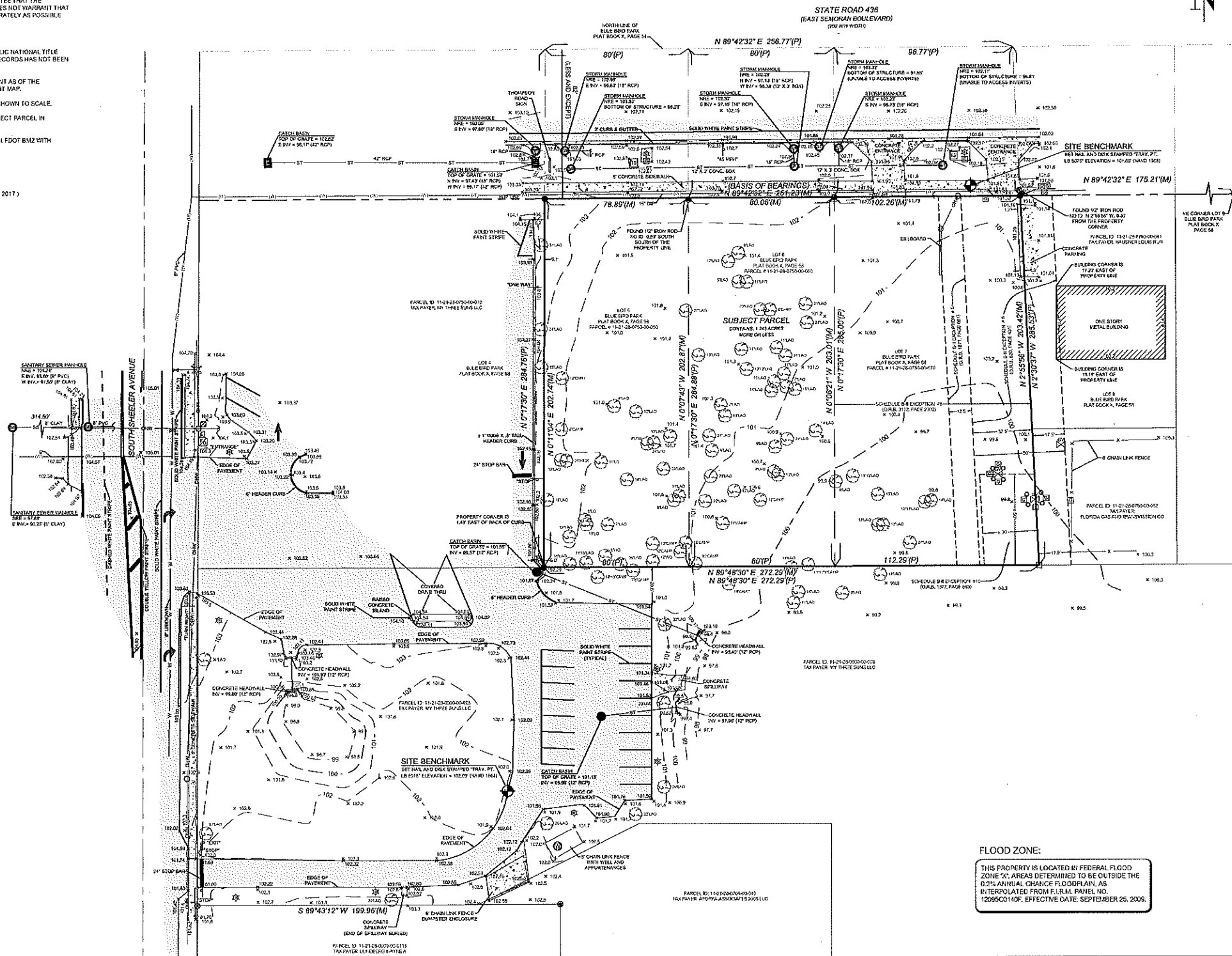
- BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 89°42'32" E FOR THE NORTH LINE OF SUBJECT PARCEL.
- NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
- INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, COMMITMENT NUMBER 504744, DATED OCTOBER 20, 2017. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS, SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). VERTICAL DATUM BASED ON FDOT BMZ WITH PUBLISHED ELEVATION = 102.617. (BGVD 25) DATUM CONVERTED USING CORPSCON SOFTWARE. CONVERSION FACTOR OF -0.34.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE NODE* AND Z* LAYERS IN THE SUPPLIED DIGITAL FILE.

SCHEDULE B-II EXCEPTIONS:

- (PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, COMMITMENT NUMBER 504744, DATED OCTOBER 20, 2017)
- ITEM # 5: THIS PARCEL IS SUBJECT TO THE EASEMENTS GRANTED TO HOUSTON TEXAS GAS AND OIL CORPORATION IN O.R. BOOK 520, PAGE 431 AND GRANTED TO FLORIDA GAS TRANSMISSION COMPANY IN O.R. BOOK 1877, PAGE 861, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. (GRAPHICALLY SHOWN HEREON)
 - ITEM # 6: THIS PARCEL IS SUBJECT TO THE ORDINANCE NO. 24 RECORDED IN O.R. BOOK 3102, PAGE 2302, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. (AS TO LOT 7, GRAPHICALLY SHOWN HEREON)
 - ITEM # 8: THIS PARCEL IS SUBJECT TO ALL MATTERS CONTAINED ON THE PLAT OF BLUE BIRD PARK, AS RECORDED IN PLAT BOOK X, PAGE 58. (BLANKET IN NATURE, NOT GRAPHICALLY SHOWN HEREON)
 - ITEM # 10: THIS PARCEL IS SUBJECT TO THE GATE VALVE PERMIT GRANTED TO FLORIDA GAS TRANSMISSION COMPANY IN O.R. BOOK 1877, PAGE 883, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. (GRAPHICALLY SHOWN HEREON)

LEGEND:

- = BENCHMARK
- = FOUND 5/8" STEEL REBAR & CAP MARKED "S 7057"
- = FOUND 4X4" CONCRETE MONUMENT NOID
- = FOUND 1" IRON PIPE NOID
- = FOUND 1/2" IRON ROD NOID
- = SET 5/8" STEEL REBAR AND CAP MARKED "CHW ITC LB 5075"
- = GAS LINE MARKER
- = GAS METER
- = GAS VALVE
- = GUY ANCHOR
- = SIGN
- = TREE (SIZE AND TYPE AS NOTED)
- = SANITARY SEWER MANHOLE
- = STORM SEWER MANHOLE
- = METAL LIGHT POLE
- = WELL
- = CIRCULAR STORM INLET
- = RECTANGULAR STORM INLET
- = BOLLARD
- = CABLE TELEVISION BOX
- = ELECTRIC BOX
- = FIBER OPTIC BOX
- = GAS VALVE
- = TRAFFIC SIGNAL BOX
- (D) = DATA BASED ON DESCRIPTION
- (P) = DATA BASED ON PLAT OF RECORD
- (M) = DATA BASED ON FIELD MEASUREMENTS
- O.L.B. = OFFICIAL RECORDS BOOK
- R.W. = RIGHT OF WAY
- M.P.H. = MILES PER HOUR
- L.O. = LIVE OAK
- L.A.O. = LAUREL OAK
- W.O. = WATER OAK
- HICK = HICKORY
- CHRY = CHERRY LAUREL
- CAMP = CAMPHOR
- INV = INVERT
- ROP = REINFORCED CONCRETE PIPE
- PVC = POLYVINYL CHLORIDE
- ID = IDENTIFICATION
- NRE = NORTH RIM ELEVATION
- SRE = SOUTH RIM ELEVATION
- FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
- FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION
- NGVD = NATIONAL GEODETTIC VERTICAL DATUM
- NAVD = NORTH AMERICAN VERTICAL DATUM
- F.I.R.M. = FLOOD INSURANCE RATE MAP
- CONC. = CONCRETE
- X 101.5 = SPOT ELEVATION (PREVIOUS SURFACE)
- X 101.75 = SPOT ELEVATION (OVERHEAD WIRE)
- = OVERHEAD WIRE
- = SANITARY SEWER LINE
- = UNDERGROUND WATER LINE
- = FENCE (SIZE AND TYPE AS NOTED)
- = STORM SEWER LINE
- = UNDERGROUND WATER LINE
- = CONTOUR LINE
- = END OF FEATURE NOT DETERMINED
- = ASPHALT SURFACE
- = CONCRETE SURFACE
- = ROADWAY PAVEMENT MARKINGS



FLOOD ZONE:
 THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM F.I.R.M. PANEL NO. 12095C0140P. EFFECTIVE DATE: SEPTEMBER 25, 2005.

11801 Research Drive
 Alachua, FL 32320-3371
 www.chw-fl.com
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 CA-5075

CHW
 Professional Consultants

SCALE: 1" = 30'
 ANY SCALE MAP OR ORIGINAL DRAWING SHALL BE USED TO DETERMINE THE TRUE SIZE AND LOCATION OF ANY OBJECTS SHOWN ON THIS MAP. SCALE ACCURACY.

LETICHER, LLC
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 ROMANA M. CHANCE

DATE: 2-20-2018
 TIME: 11:00 AM
 DRAWN BY: TIBBATHURAB
 CHECKED BY: RICHARD A. BERRY
 PROJECT NUMBER: 17-0497

THEODORE
 JOHN
 RICHARD A. BERRY
 Professional Surveyor & Mapper, Fla. License No. 7045

This map prepared by:
 Certificate of Authorization No. L.E. 5075
 NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

GENERAL NOTES

1. THE TOPOGRAPHIC AND EXISTING INFORMATION SHOWN HEREON WERE TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY CHW, AND DATED FEBRUARY 28, 2018.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED BY THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED. NOTE THAT FDOT FACILITIES SUCH AS STORM SEWER, LIGHTING, AND TRAFFIC SIGNAL CABLES WILL REQUIRE PERMIT PLAN APPROVAL.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-432-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" 48 HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION. NOTE THAT FDOT FACILITIES SUCH AS STORM SEWER, LIGHTING, AND TRAFFIC SIGNAL CABLES ARE NOT LOCATED BY FDOT AND MUST INSTEAD BE LOCATED BY THE PERMITTEE OR HIS CONTRACTOR.
5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
11. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
13. INSTALL SILT FENCE PRIOR TO SITE DEMOLITION OR NEW SITE CONSTRUCTION. INSTALL SILT FENCE PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL AND PROVIDE TOE-IN. THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT SILT FENCE SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
14. ALL TREE BARRICADES AND SILT FENCING SHALL BE INSTALLED AND INSPECTED BY CITY OF APOPKA PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.
15. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
16. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE AREAS.
17. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SOGGED, SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
19. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
20. THE GOVERNING STANDARDS AND SPECIFICATIONS, UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS (FY 2018-19 ROAD CONSTRUCTION), AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JULY 2018, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FDOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FDOT APPROVED SOURCE.
21. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
22. ALL STRIPING WITHIN THE FDOT RIGHT OF WAY ON NEW PAVEMENT SHALL BE PLACED FIRST AS TEMPORARY STRIPING FOLLOWED BY APPLICATION OF THERMOPLASTIC STRIPING 30 DAYS LATER. FOR EX. PAVEMENT, THE PERMANENT STRIPING SHOULD BE APPLIED IMMEDIATELY.
23. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON-SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTOR'S EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
24. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITIES ACT.
25. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD, AND THE OWNER SHALL MEET WITH THE CITY OF APOPKA DEPARTMENT PRIOR TO INITIATION OF SITE CONSTRUCTION.
26. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD.
27. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NEEDED THROUGHOUT ALL CONSTRUCTION ACTIVITIES COVERED BY THESE PLANS. DEWATERING SHALL BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, 2018 EDITION, SECTION 120.
28. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COST OF ALL CLEARING AND GRUBBING AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR ORDERED BY THE ENGINEER TO BE REMOVED, OR WHERE REQUIRED BECAUSE OF THE CONSTRUCTION OPERATIONS, IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED PIPING, STRUCTURES, UTILITIES, PAVING, CURBING, ETC.).
29. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS-BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.

MAINTENANCE OF TRAFFIC (MOT) NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY A REGISTERED PROFESSIONAL ENGINEER WHO IS CERTIFIED TO DO SO BY THE FDOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FDOT STANDARDS PLANS AND FDOT STANDARD SPECIFICATIONS REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY THE FDOT AND ORANGE COUNTY.
2. THE CONTRACTOR SHALL SUBMIT THE MOT TO THE APPROPRIATE REGULATORY AUTHORITY PRIOR TO WORK REQUIRING THE MOT FOR APPROVAL. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT IS APPROVED.

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.
2. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.
3. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION.
4. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
5. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITH SOIL BY THE END OF THE WORKING DAY.
6. ALL ASPHALT AND LIMESTONE WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMESTONE, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMESTONE, LARGE STONES, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.

PAVING, GRADING, AND DRAINAGE GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:
 - A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SOD SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.
 - NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.
 - B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FDOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
 - C. EXCAVATED STORMWATER FACILITIES SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION. THE FACILITIES SHALL BE ROUGH GRADED TO THE DESIGN ELEVATIONS. AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, THE FACILITY BOTTOM SHALL BE OVER-EXCAVATED BY SIX INCHES, SCARIFIED, BACKFILLED WITH ARCHER FILL (HAVING NO MORE THAN 5% PASSING NO. 200 SIEVE), AND GRADED TO FINAL DESIGN GRADES. EXCESS AND UNSUITABLE SOILS SHALL BE REMOVED FROM THE BASIN (REMOVE ALL ACCUMULATED SILTS, CLAYS, ORGANIC, AND DEBRIS). FINALLY, SCARIFY AND RAKE BOTTOM AND VEGETATE.
 - D. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.
 - E. ALL SLOPES 1:3 OR STEEPER REQUIRE LAPPED OR PEGGED SOD.
 - F. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED, WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.
 - G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.
3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
5. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.
7. CONTRACTOR IS TO SUBMIT FDOT APPROVED ASPHALT DESIGN MIXES TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 3% DEGREE. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.
8. AS DETERMINED NECESSARY AND DIRECTED BY CITY OF APOPKA OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW PROPOSED LIMESTONE BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FDOT INDEX NO. 120-001 AND 120-002.
9. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
10. RAMPS SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN. CURB RAMPS ARE NOT REQUIRED TO HAVE LANDINGS. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
 - B. ALL LANDINGS ON RAMPS SHALL BE NOT LESS THAN 60" CLEAR, AND THE BOTTOM OF EACH RAMP SHALL HAVE NOT LESS THAN 72" OF STRAIGHT AND LEVEL CLEARANCE.
 - C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60"x60". IF A RAMP RUN HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72" THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. HANDRAILS SHALL BE SHOWN ON THE SITE PLAN.
11. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS AS NOTED IN NOTE #29 UNDER SITE GENERAL NOTES.
13. ALL CONCRETE USED SHALL BE 2,500 PSI MINIMUM.
14. ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.
15. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT.
16. SOD SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY FDOT INDEX 524-001 AND FDOT INDEX 425- AND 430- SERIES AS APPROPRIATE. ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
17. ALL STORM SEWER CURB AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FDOT INDEX. ALL DRAINAGE STRUCTURES WITH GRATES THAT ARE LOCATED IN GRASSED AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.
18. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 3/4" AND CLASS 1 SURFACE FINISH.
19. ALL HDPE FITTINGS AND CONNECTORS SHALL BE WATER TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.
20. COMPACTION OF ALL MATERIALS SHALL BE LIMITED TO STATIC MODE ONLY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
21. ALL RCP PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION SECTION 430.

WATER AND WASTEWATER GENERAL NOTES

1. MATERIALS AND CONSTRUCTION METHODS FOR WATER AND WASTEWATER SYSTEMS SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL UTILITY EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY UTILITY FIELD LOCATION AND RELOCATION AS REQUIRED.
4. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
5. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES US THE CONTRACTOR'S RESPONSIBILITY.
6. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
7. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
8. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN SIX FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND GRAVITY OR PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN THREE FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND VACUUM WASTEWATER MAINS. A HORIZONTAL SEPARATION OF THREE FEET SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND STORM SEWERS, STORMWATER FORCE MAINS, AND RECLAIMED WATER MAINS REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
9. WHEN POTABLE WATER MAINS CROSS OTHER PIPES, THE TWO PIPES SHALL HAVE JOINTS A MINIMUM OF SIX FEET FROM THE CROSSING. WHEN POTABLE WATER MAINS CROSS UNDERNEATH OTHER PIPES, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE GRAVITY AND VACUUM WASTEWATER MAINS, STORM SEWERS, AND STORMWATER FORCE MAINS, THE PREFERRED VERTICAL SEPARATION IS TWELVE INCHES AND THE MINIMUM VERTICAL SEPARATION IS SIX INCHES.
10. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
11. RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH AWWA STANDARDS.
12. ALL PVC WATER SERVICE LINES SHALL BE SCH 40 PVC.
13. THE SITE WORK CONTRACTOR SHALL ENGAGE THE SERVICES OF A LICENSED UNDERGROUND UTILITY AND EXCAVATION CONTRACTOR TO INSTALL THE NEW WATER SERVICE LINE.
14. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC SDR 35 OR 6" PVC SDR 35 WITH A CLEAN-OUT LOCATED PER THE PLANS. MINIMUM SLOPE FOR 4" LATERALS SHALL BE .10% AND A MINIMUM CLEANOUT SPACING OF 75 FEET ON-CENTER AND MINIMUM SLOPE FOR 6" LATERALS SHALL BE 0.8% AND A MINIMUM CLEANOUT SPACING OF 100 FEET ON-CENTER.
15. PUBLIC UTILITY EASEMENTS WILL BE PROVIDED AS REQUIRED FOR ALL UTILITIES SHOWN HEREON BY METES AND BOUND DESCRIPTION AND IN ACCORDANCE WITH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.

ELECTRIC SERVICE GENERAL NOTES

1. ALL ELECTRICAL UTILITIES AND INFORMATION SHOWN ON THE CIVIL PLANS ARE FOR LOCATION AND COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS BY OTHERS FOR THE ELECTRICAL DESIGN AND DETAILS.

FDOT GENERAL NOTES

1. ALL WORK PERFORMED WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE FOLLOWING:
 - A. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (JULY 2018).
 - B. FDOT STANDARD PLANS (FY 2018-19 ROAD CONSTRUCTION)
 - C. FDOT DESIGN MANUAL (2018)
 - D. FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
 - E. 2017 UTILITY ACCOMMODATION MANUAL
- SHOULD A CONFLICT ARISE BETWEEN THE DETAILS SHOWN IN THE PLANS AND THE DEPARTMENT OF TRANSPORTATION STANDARDS THE ENGINEER/PERMITTEE SHALL IMMEDIATELY CONFER WITH THE DEPARTMENT'S ENGINEER IN ORDER TO RESOLVE THE DISCREPANCY. IN NO CASE WILL ANYTHING LESS THAN THE DEPARTMENT'S MINIMUM STANDARD BE ALLOWED.
- IF THE DEPARTMENT DETERMINS THAT AS-BUILT CONDITIONS VARY SIGNIFICANTLY FROM THE APPROVED PLANS, THE PERMITTEE SHALL PROVIDE AS-BUILT PLANS, ALONG WITH A RECORD DRAWINGS REPORT BY THE PERMITTEE'S PROFESSIONAL ENGINEER, FORM 830-040-19, WITHIN 30 DAYS OF COMPLETING CONSTRUCTION.
- IT WILL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGE TO FDOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT.
- TEST RESULTS OF ANY TESTS TAKEN FOR OR DURING CONSTRUCTION OF THE PERMITTED WORK SHALL BE PROVIDED TO THE FDOT UPON REQUEST.
- ALL CONCRETE TO BE REMOVED SHALL BE SAWCUT TO THE NEAREST JOINT IN GOOD CONDITION, SO AS TO PRODUCE A CONNECTION WITH NEW CONCRETE THAT IS FREE OF CRACKS, DEFORMITY IN SHAPE, NOTICEABLE VOIDS, SURFACE IRREGULARITIES, AND OTHER DEFECTS. CONCRETE GUTTER SHALL BE SAWCUT BETWEEN ASPHALT AND GUTTER BEFORE REMOVAL.
- ALL CONCRETE SHALL BE AN APPROVED FDOT MIX DESIGN OF 3000 PSI.
- ALL SIDEWALKS AND HANDICAP RAMPS ARE ADA COMPLAINT.
- ALL MATERIALS INSTALLED WITHIN FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THOSE ON THE FDOT'S QUALIFIED PRODUCTS LIST OR APPROVED PRODUCT LIST OF TRAFFIC CONTROL SIGNALS AND DEVICES.
- ALL DRAINAGE ON STATE RIGHT OF WAY SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF PROPOSED DEVELOPMENT.

11801 Research Drive
Arlington, Florida 32615
(352) 331-1976
www.chw-inc.com
CHW INC. FLORIDA
CA-5075
est. 1988

CHW
Professional Consultants

SCALE: N/A
UNITS: SHALL BE AS SHOWN ON DRAWING
1" = 10'-0" HORIZONTAL
1" = 1'-0" VERTICAL
THIS SHEET USE WITH ALL OTHER SHEETS FOR THIS PROJECT

CONTRACTOR (BY NUMBER):
SUBAREA:
DATE: 01/27/18
CITY OF APOPKA, SURVIMD, ORANGE COUNTY & FRUIT
11/26/18 CITY OF APOPKA, SURVIMD, ORANGE COUNTY & FDOT
01/17/18 FDOT
01/17/18 FDOT
01/17/18 CITY OF APOPKA, SURVIMD & ORANGE COUNTY
02/07/18 CITY OF APOPKA, SURVIMD & ORANGE CO

CLIENT:
PROJECT:
SHEET TITLE:
PROJECT NUMBER:
17-0497

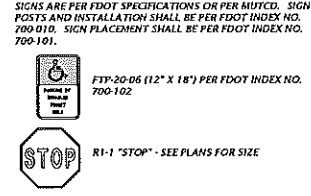
DESIGNER:
CHECKER:
DATE:
PROJECT NUMBER:
17-0497

FL PE No. 84295
SHEET NO.
C0.10

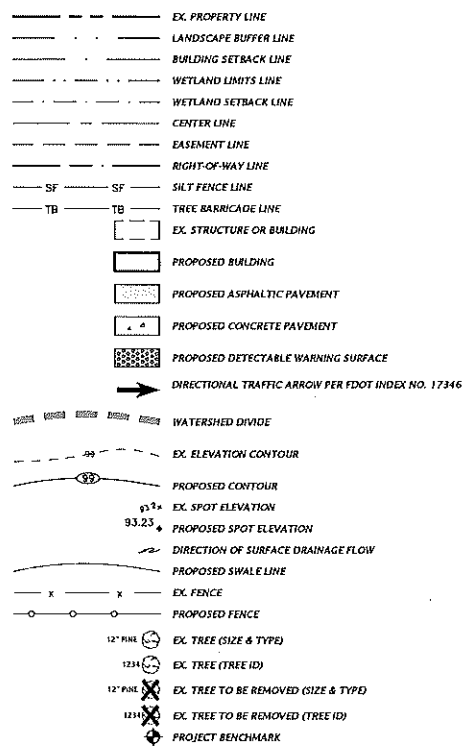
ABBREVIATIONS

SYMBOLS FEET (WHEN USED WITH LENGTHS) DEGREES MINUTES (WHEN USED WITH ANGLED) SECONDS PERCENT AT	N NORTH N/E NORTHING - EASTING N/A NOT APPLICABLE NAVD NORTH AMERICAN VERTICAL DATUM OF 1988 NGVD NATIONAL GEODETIC VERTICAL DATUM OF 1988 NO NUMBER NPDES NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NTS NOT TO SCALE
A ASSHTO ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS AC ACRES ADA AMERICAN WITH DISABILITIES ACT ANSI AMERICAN NATIONAL STANDARDS INSTITUTE ARCH ARCHITECT ARV AIR RELEASE VALVE ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS AWWA AMERICAN WATER WORKS ASSOCIATION	OC ON CENTER OHW OPENING OF HOLE ORB OFFICIAL RECORDS BOOK OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION P PAVEMENT PC POINT OF CURVATURE PCC POINT OF COMPOUND CURVE PERF PERFORATED PROP PROPOSED PT POINT OF TANGENCY POLYH POLYETHYLENE CHLORIDE PVC POINT OF VERTICAL INTERSECTION PAYT PAVEMENT
B BACK OF CURB BFP BACKFLOW PREVENTER BLOG BUILDING BM BENCHMARK BMP BEST MANAGEMENT PRACTICE BOC BACK OF CURB BVCS BEGIN VERTICAL CURVE STATION BVCE BEGIN VERTICAL CURVE ELEVATION BW BOTTOM OF WALL BSL BUILDING SETBACK LINE	R RADIUS RCP REINFORCED CONCRETE PIPE RPM RAISED REFLECTIVE PAVEMENT MARKER RPZ REDUCED PRESSURE ZONE RT RIGHT RWM RECLAIMED WATER MAIN R/W RIGHT-OF-WAY S SOUTH SAN SANITARY SHWE SEASONAL HIGH WATER ELEVATION SL SLOPE SP SUPERPAVE SR STATE ROAD SS SANITARY SEWER ST STORM STA STATION STD STANDARD
C CATV CABLE TELEVISION CI CURB INLET CIP CAST IRON PIPE CMP CORRUGATED METAL PIPE CO CLEANOUT CONC CONCRETE COORD COORDINATE CR COUNTY ROAD C/D CLEANOUT	TCE TEMPORARY CONSTRUCTION EASEMENT TEMP TEMPORARY TOB TOP OF BANK TV TELEVISION TW TOP OF WALL TYP TYPICAL U UNITED STATES BOUNDARY USGS UNITED STATES GEOLOGICAL SURVEY UTILITY UTL UTILITY V VERTICAL VC VERTICAL CURVE VCP VITRIFIED CLAY PIPE
D DIAMETER AT BREAST HEIGHT DE DRAINAGE EASEMENT DEG DEGREE DM DIAMETER DIP DIPPLE IRON PIPE DWG DRAWING	W WEST W WATER W/ WITH WM WATER MAIN WW WASTEWATER WWF WELDED WIRE FABRIC
E RATE OF ELEVATION E EAST EA EACH EL ELEVATION ELEV ELEVATION EOP EDGE OF PAVEMENT EOR ENGINEER OF RECORD ERCP ELLIPTICAL REINFORCED CONCRETE PIPE EVC END VERTICAL CURVE STATION EVC END VERTICAL CURVE ELEVATION EX EXISTING	F FLORIDA ADMINISTRATIVE CODE FBR FLORIDA BEARING RATIO FC FRICTION COEFFICIENT FDEP FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FDOT FLORIDA DEPARTMENT OF TRANSPORTATION FFE FINISHED FLOOR ELEVATION FH FIRE HYDRANT FHWA FLORIDA HIGHWAY ADMINISTRATION FIG FIGURE FM FORCE MAIN FOC FACE OF CURB FS FLORIDA STATUTES FT FEET
F FLORIDA ADMINISTRATIVE CODE FBR FLORIDA BEARING RATIO FC FRICTION COEFFICIENT FDEP FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FDOT FLORIDA DEPARTMENT OF TRANSPORTATION FFE FINISHED FLOOR ELEVATION FH FIRE HYDRANT FHWA FLORIDA HIGHWAY ADMINISTRATION FIG FIGURE FM FORCE MAIN FOC FACE OF CURB FS FLORIDA STATUTES FT FEET	G GALV GALVANIZED GM GAS MAIN GV GATE VALVE
G GALVANIZED GM GAS MAIN GV GATE VALVE	H HIGH DENSITY POLYETHYLENE HP HIGH POINT
H HIGH DENSITY POLYETHYLENE HP HIGH POINT	I IDENTIFICATION INV INVERT INV EL INVERT ELEVATION IP IRON PIPE
I IDENTIFICATION INV INVERT INV EL INVERT ELEVATION IP IRON PIPE	K VERTICAL CURVE RATE OF CHANGE
K VERTICAL CURVE RATE OF CHANGE	L LENGTH LA LANDSCAPE ARCHITECT LBR LIMEROCK BEARING RATIO LDR LAND DEVELOPMENT REGULATION LFT LINEAR FEET LP LOW POINT LT LEFT
L LENGTH LA LANDSCAPE ARCHITECT LBR LIMEROCK BEARING RATIO LDR LAND DEVELOPMENT REGULATION LFT LINEAR FEET LP LOW POINT LT LEFT	M MAXIMUM ME MATCH EXISTING MH MANHOLE MSW MISCELLANEOUS MISC MISCELLANEOUS MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
M MAXIMUM ME MATCH EXISTING MH MANHOLE MSW MISCELLANEOUS MISC MISCELLANEOUS MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	

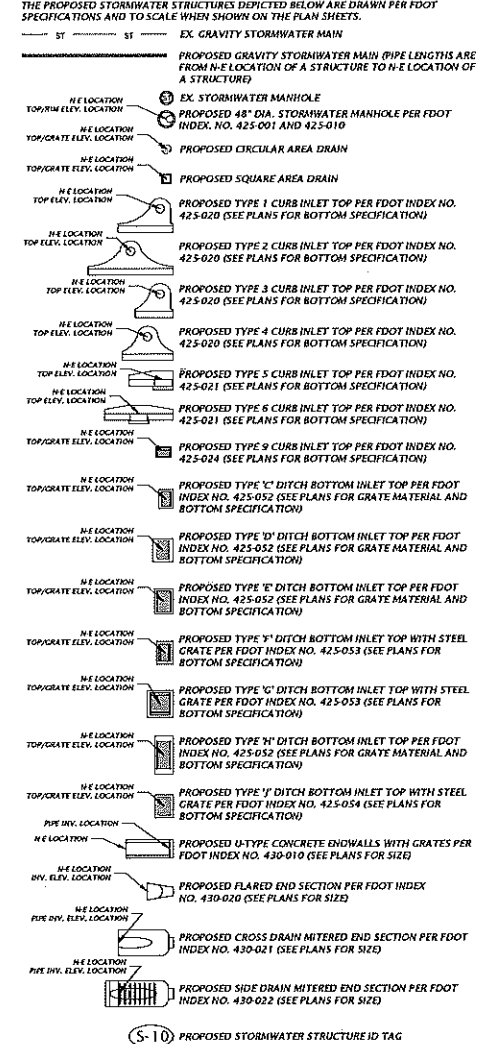
SIGNAGE



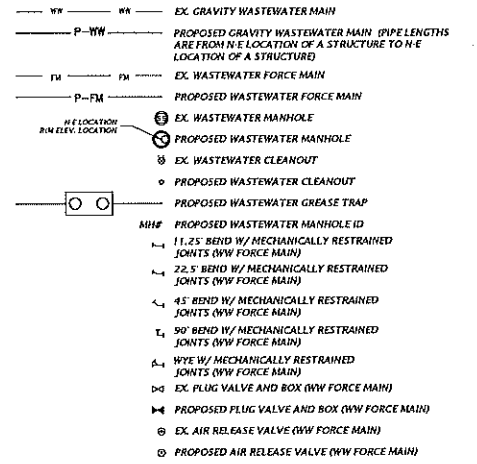
SITE INFORMATION



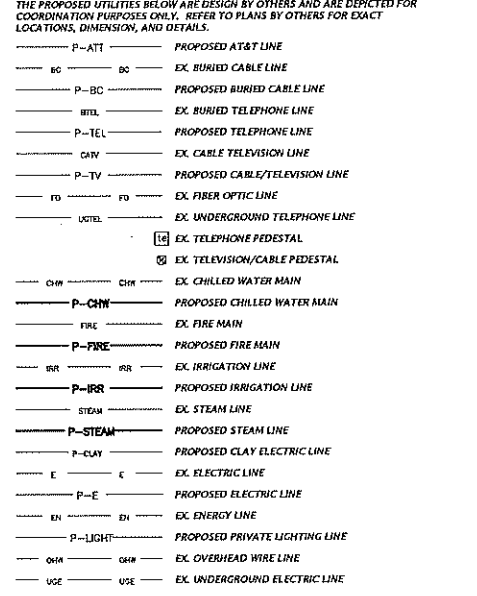
STORMWATER



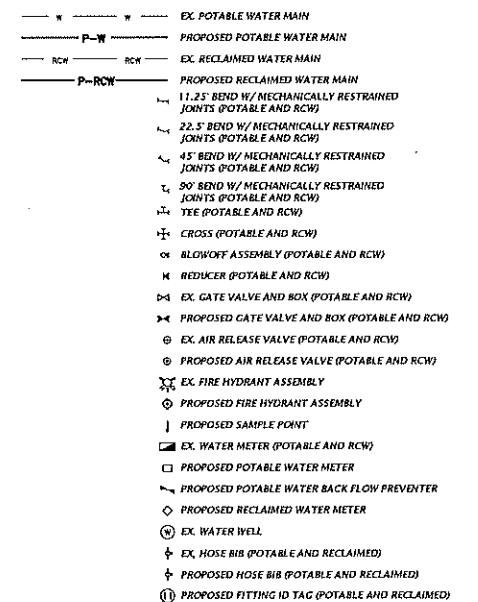
WASTEWATER



MISCELLANEOUS UTILITIES



POTABLE AND RECLAIMED WATER



NOTES:
1. THIS LEGEND IS ALL INCLUSIVE AND MAY INCLUDE ITEMS NOT A PART OF THIS PLAN SET.
2. SYMBOLS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS NOTED OTHERWISE, SYMBOLS IN THESE PLANS MAY NOT BE REPRESENTATIVE OF SIZE.

1801 Research Drive
Alpharetta, GA 30201
(770) 333-1876
www.chw-inc.com

FLORIDA
Professional Seal
Professional Engineer
No. 12118
Date: 08/07/18

SCALE: 1" = 10'-0"

REVISIONS:

NO.	DATE	DESCRIPTION
1	08/07/18	ISSUE FOR PERMIT

PROJECT: ZABRY'S APOPKA
SHEET TITLE: LEGEND
PROJECT NUMBER: 17-0497

FL PE No. 84295
SHEET NO. CO.11

I. INTRODUCTION

THIS DOCUMENT WAS PREPARED IN ORDER TO ILLUSTRATE COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES...

II. SITE DESCRIPTION

COUNTY: ORANGE COUNTY, FLORIDA
SECTION: SECTION 11, TOWNSHIP 21 SOUTH, RANGE 28 EAST
COUNTY PARCEL NO.: 11-21-28-0750-00-050, 11-21-28-0750-00-060, AND 11-21-28-0750-00-070

A. NATURE OF CONSTRUCTION ACTIVITY

THE PROPOSED DEVELOPMENT IS THE CONSTRUCTION OF #3,895 S.F. QUICK SERVICE RESTAURANT AND ASSOCIATED PAVEMENT FOR DRIVEWAYS AND PARKING, SIDEWALKS, UTILITIES, AND STORMWATER MANAGEMENT FACILITIES...

B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES - CONTRACTOR MUST FILL IN DAYS

FROM TO PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION FENCING SHALL BE INSTALLED AND ALL EXISTING STORM DRAINAGE SWALE AND INLETS SHALL BE PROTECTED IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013, AND THESE PLANS.

C. SITE DEVELOPMENT DATA:

Table with 2 columns: Description and Value. Includes TOTAL PROJECT SITE AREA (1.24 ACRES), TOTAL SITE AREA TO BE DISTURBED (1.24 ACRES), TOTAL IMPERVIOUS AREA (0.62 ACRES), TOTAL DETENTION VOLUME (0.35 ACRE-FOOT), and TOTAL OPEN AREA (0.62 ACRES).

D. SOIL CONDITIONS AND STORMWATER QUALITY

THE NRCS DATA FOR THE SITE REVEALS THAT THE SITE SOILS ARE COMPRISED OF TAVARES-MILHOFFEN COMPLEX AND TAVARES-URBAN LAND COMPLEX. GSE ENGINEERING & CONSULTING, INC. CONDUCTED A GEOTECHNICAL EXPLORATION OF THE PROPOSED STORMWATER MANAGEMENT FACILITY(S) LOCATION IN APRIL OF 2018...

Table with 2 columns: Parameter and Value. Includes DEPTH TO EFFECTIVE OR MOULDED AQUIFER (> 15 FEET), HORIZONTAL HYDRAULIC CONDUCTIVITY (40 FEET/DAY), UNSATURATED VERTICAL INFILTRATION (26 FEET/DAY), and SPECIFIC YIELD (25%).

Table with 7 columns: WATERSHED ID, POST DEVELOPMENT AREA (ACRES), POST DEVELOPMENT RUNOFF FACTOR (CN), POST DEVELOPMENT IMPERVIOUS AREA (ACRES), STORMWATER MANAGEMENT FACILITY TYPE, FACILITY DETENTION CAPACITY (ACRE-FOOT), and 100-YEAR FLOOD ELEVATION (FT). Rows include SMF-1 and SMF-2.

E. SITE MAP

PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS.

F. STORMWATER OUTFALL LOCATION AND RECEIVING WATER BODY

THE STORMWATER MANAGEMENT FACILITY #2 OUTFALL STRUCTURE IS LOCATED AT THE SOUTHWEST PORTION OF THE PROJECT (28-40°20' N, 81°29'31" W) AND THE ASSOCIATED RECEIVING WATER BODY IS THE WERRIA RIVER.

III. CONTROLS TO REDUCE POLLUTION

AS OUTLINED IN THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD) PERMIT, ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER AS TO NOT VIOLATE STATE WATER QUALITY STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE...

IV. EROSION AND SEDIMENT CONTROLS

A. STABILIZATION PRACTICES

EXISTING TREES AND NATURAL VEGETATION TO REMAIN ON-SITE SHALL BE PROTECTED BY TREE BARRICADE FENCING AS DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21). TYPE III SILT FENCING SHALL PROTECT ALL DRAINAGE STRUCTURES AND SHALL BUFFER AREAS WITH POTENTIAL TO CONTRIBUTE OFF-SITE RUNOFF...

B. STRUCTURE PRACTICES

AS DEPICTED IN THE STORMWATER POLLUTION PREVENTION PLAN (CO.21), A STORMWATER MANAGEMENT SYSTEM WILL BE CONSTRUCTED AND WILL BE COMPRISED OF A DRY RETENTION FACILITY AND A STORM PIPE CONVEYANCE SYSTEM. TO PREVENT EROSION DURING CONSTRUCTION, TYPE III SILT FENCING WILL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS...

C. DRAINAGE LOCATIONS THAT SERVE AREAS WITH LESS THAN 10 DISTURBED ACRES

AS SPECIFIED IN THE "SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES," THE SMF(S) WILL BE CONSTRUCTED PRIOR TO CLEARING AND GRUBBING OUTSIDE OF THE SMF(S) AREAS AND CONSTRUCTION OF THE PERMANENT PAVED AREAS. THE TOTAL CONTRIBUTING DRAINAGE AREA TO THE STORMWATER MANAGEMENT SYSTEM IS APPROXIMATELY 0.89 ACRES AND WILL CONSIST OF APPROXIMATELY 0.89 ACRES OF DISTURBED CONSTRUCTION AREA...

D. DRAINAGE LOCATIONS THAT SERVE AREAS WITH MORE THAN 10 DISTURBED ACRES

NOT APPLICABLE, SEE SECTION C, ABOVE.

V. STORMWATER MANAGEMENT

A. BEST MANAGEMENT PRACTICES

AFTER CONSTRUCTION, THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFIED STORMWATER MAINTENANCE NOTES IN THE INCLUDED CONSTRUCTION DRAWINGS AND/OR RESPECTIVE MAINTENANCE REPORTS. SPECIFICALLY, THE PROPOSED SMF(S) SHALL BE MAINTAINED REGULARLY IN THE SPECIFIED AREAS...

B. VEGETATED SWALES

WHEN VEGETATED SWALES ARE UTILIZED, SILT FENCING OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT ADEQUATE INTERVALS TO COLLECT SEDIMENT ALONG THE SWALE. THE SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES ONE-THIRD OF THE HEIGHT OF THE SILT FENCING...

C. VELOCITY DISSIPATION DEVICES AT DISCHARGE POINTS

WHEN DISCHARGE POINTS ARE NOT LOCATED UNDER WATER, RIP RAP PADS HAVE BEEN PROVIDED AT LOCATIONS WHERE NECESSARY DUE TO ANTICIPATED DISCHARGE VELOCITIES. PLEASE SEE THE CONSTRUCTION PLANS FOR DETAILS AND LOCATIONS, AS NEEDED.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS

A. WASTE DISPOSAL

THE CONTRACTOR SHALL PROVIDE LITTER COLLECTION CONTAINERS WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIALS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.

B. DUST CONTROL

TO PREVENT OFF-SITE VEHICULAR TRACKING OF SEDIMENTS AND DUST GENERATION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED BY THE SITE CONTRACTOR. PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS AND LOCATIONS.

C. EXISTING VERSUS PROPOSED POTABLE AND SANITARY SEWER SYSTEMS

IF TEMPORARY SANITARY SYSTEMS ARE UTILIZED DURING CONSTRUCTION, THE CONTRACTOR SHALL PROPERLY CONTROL AND DISCHARGE ANY SANITARY WASTE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

D. FERTILIZER & PESTICIDES

THE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES ON THE PROJECT SITE, WILL BE DIRECTED BY THE LANDSCAPE PLAN AND THE FOOT STANDARD SPECIFICATIONS SECTION 570, TO SUPPORT THE GROWTH OF THE PROPOSED VEGETATION. ESTABLISHING THIS VEGETATION WILL AID IN THE STABILIZATION OF THE PROJECT SITE AND REDUCE EROSION...

E. TOXIC MATERIAL

THE CONSTRUCTION SITE WILL BE IN FULL COMPLIANCE WITH STATE AND FEDERAL REQUIREMENTS. A PLASTIC MAT, TAR PAPER, OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED UNDER AREAS WHERE TOXIC LIQUIDS ARE TO BE OPENED AND STORED.

F. HAZARDOUS MATERIALS

ALL HAZARDOUS MATERIALS SHALL BE STORED IN A SECURE LOCATION, UNDER COVER, AND IN APPROPRIATE TIGHTLY SEALED CONTAINERS WHEN NOT IN USE. ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL...

ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH THE INSTRUCTIONS ON THE PRODUCT LABEL.

SUFFICIENT EQUIPMENT AND/OR MATERIALS SHALL BE KEPT ON-SITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.

CONTRACTOR TO CONTAIN AND CLEAN UP ANY SPILLS IMMEDIATELY AFTER THEY OCCUR. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA, STATE, OR LOCAL AGENCY REGULATIONS SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES.

ALL EXCESS, USED, OR SPILLED PRODUCTS, INCLUDING CONTAMINATED SOIL, SHALL BE DISPOSED OF BY THE CONTRACTOR IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND ALL APPLICABLE REGULATIONS.

VII. APPROVED STATE AND LOCAL PLANS

THE CONSTRUCTION DRAWINGS FOR THE PROJECT WERE APPROVED AND PERMITTED BY THE FOLLOWING AGENCIES:

- * CITY OF APOPKA
* ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
* FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

VIII. CONSTRUCTION ACTIVITY DISCHARGES

IN ACCORDANCE WITH THIS PLAN, THERE ARE NO ANTICIPATED DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

IX. CHANGES TO THE POLLUTION PREVENTION PLAN

THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED TO REFLECT ANY APPLICABLE CHANGE IN A STATE, REGIONAL, OR LOCAL PERMIT FOR WHICH THE PERMITTEE RECEIVES WRITTEN NOTICE. WHEN WRITTEN NOTICE IS RECEIVED, THE PERMITTEE SHALL PROVIDE A RE-CERTIFICATION OF THIS POLLUTION PREVENTION PLAN...

X. ALTERNATIVE PERMIT REQUIREMENTS

NO ALTERNATIVE PERMIT REQUIREMENTS ARE REQUESTED.

XI. MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR RENOVATING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE...

XII. INSPECTIONS

THE CONTRACTOR SHALL INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR ALL DISTURBED AREAS ON THE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. FOR POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN MSA, A QUALIFIED INSPECTOR PROVIDED BY THE OPERATOR SHALL PERFORM THE REQUIRED INSPECTIONS...

A. DISTURBED AREAS

ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY...

B. MAINTENANCE PERFORMANCE

BASED ON THE RESULTS OF THE INSPECTION, ALL MAINTENANCE OPERATIONS NEEDED TO ASSURE PROPER COMPLIANCE WITH THIS PLAN SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION.

C. REPORTING REQUIREMENTS

ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM, A COPY OF WHICH IS PROVIDED ON THIS SHEET. THIS FORM IS CREATED TO SUMMARIZE THE SCOPE OF THE INSPECTION, THE NAME(S) AND QUALIFICATION OF THE INSPECTOR(S), THE DATE OF INSPECTION, RAINFALL DATA, OBSERVATIONS, THE ACTIONS TAKEN TO CORRECT INCIDENTS OF NON-COMPLIANCE WITH THE PROVISIONS OF THIS PLAN...

XIII. NON-STORMWATER DISCHARGES

IN ADDITION TO STORMWATER RUNOFF, THIS PLAN APPLIES TO RUNOFF FROM IRRIGATION OPERATIONS AND CONSTRUCTION PRACTICES. THIS PLAN DOES NOT PERTAIN TO DISCHARGES FROM FIRE FIGHTING ACTIVITIES.

XIV. CONTRACTORS CERTIFICATION

THE CONTRACTOR OR SUB-CONTRACTORS SHALL PHOTOCOPY AND COMPLETE THE FORM ON THIS PAGE. IT SHALL BE PROVIDED TO THE OWNER AND KEPT ON FILE PURSUANT TO SECTION XV REGARDING PROJECT RECORDS.

XV. RETENTION OF RECORDS

THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

XVI. NOTICE OF TERMINATION

NOTICE OF TERMINATION:

- 1. WHERE A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES AUTHORIZED BY THIS PERMIT ARE ELIMINATED, THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (DEP FORM 62-621.300(6)), SIGNED IN ACCORDANCE WITH PART VII.C OF DEP DOCUMENT NO. 62-621.300(4)(a), WITHIN 14 DAYS OF FINAL STABILIZATION OF THE SITE TO TERMINATE COVERAGE UNDER THIS PERMIT.
2. ELIMINATION OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MEANS THAT ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME...

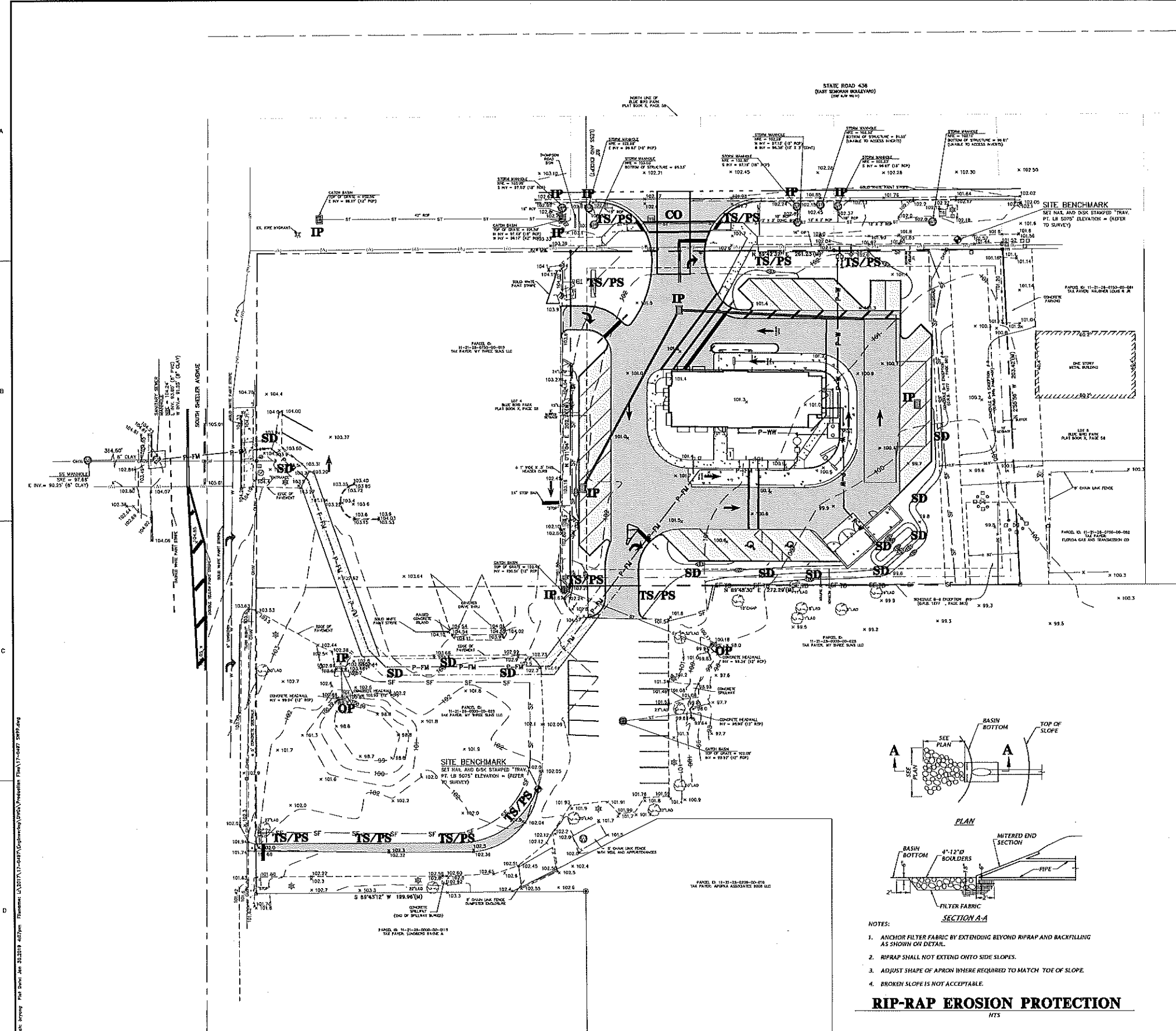
THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MSB 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

PROJECTS THAT DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL SUBMIT A COPY OF THE N.O.T. TO THE OPERATOR OF THE MS4.

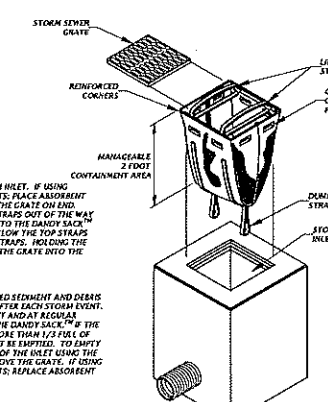
Contractor/Subcontractor Certification Statement
Stormwater Pollution Prevention Plan
Site Name: Zaub's Apopka
Site Location: Apopka, Florida
I, CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

Vertical sidebar containing CHW logo, project details, and permit information. Includes '1800 Research Drive, AUSTIN, TEXAS 78758' and 'FL PER No. 64295'.



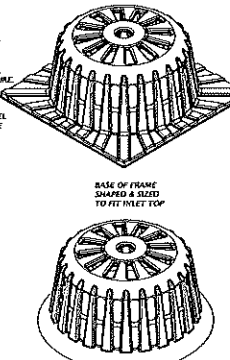
STORMWATER POLLUTION PREVENTION LEGEND

- TS = TEMPORARY SEEDING
- PS = PERMANENT SEEDING
- ML = MULCHING
- SD = SOD STABILIZATION
- SF = SILT BARRIER
- TB = TREE BARRIER
- IP = INLET PROTECTION
- OP = OUTLET PROTECTION
- CO = CONSTRUCTION ENTRANCE/EXIT

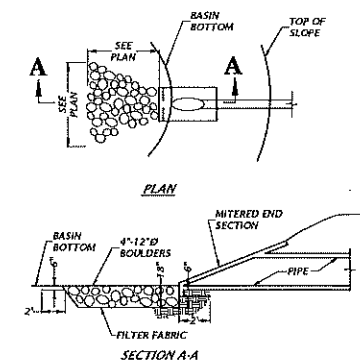


DANDY SACK™ DETAIL

- TYPICAL INSTALLATION SEQUENCE FOR SILT SAVER FRAME AND FILTER
1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
 2. PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
 3. SLIDE THE FILTER OVER THE FRAME.
 4. FILL THE FILTER POCKETS WITH SOIL, AS2 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE CROUD AND INLET STRUCTURE.
 5. BACK FILL AROUND THE FRAME AND FILTER ASSEMBLY. NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACK FILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.

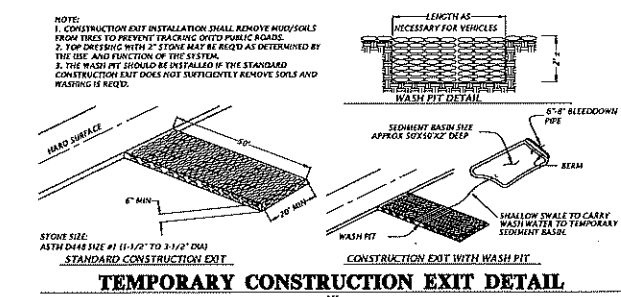


SILT SAVER® DETAIL



- NOTES:
1. ANCHOR FILTER FABRIC BY EXTENDING BEYOND RIPRAP AND BACKFILLING AS SHOWN ON DETAIL.
 2. RIPRAP SHALL NOT EXTEND ONTO SIDE SLOPES.
 3. ADJUST SHAPE OF APRON WHERE REQUIRED TO MATCH TOE OF SLOPE.
 4. BROKEN SLOPE IS NOT ACCEPTABLE.

RIP-RAP EROSION PROTECTION



TEMPORARY CONSTRUCTION EXIT DETAIL

Title: Stormwater Pollution Prevention Plan
 Date: 02/20/19
 Project: ZABY'S APOPKA
 Location: APOPKA, FLORIDA
 Client: ZABY'S APOPKA
 Designer: TRAVIS J. HASTAY
 Scale: 1" = 50'
 Drawing No.: 17-0497

Professional Consultants

11801 Research Drive
 Alachua, FL 32310-1976
 www.chx-inc.com
 est. 1988 FLORIDA
 CA-0575

1" = 50'

DATE: 02/20/19

DRAWN BY: TRAVIS J. HASTAY

CHECKED BY: M. HEATHCOCK, P.E.

SCALE: AS SHOWN

PROJECT: STORMWATER POLLUTION PREVENTION PLAN

SHEET NO.: 17-0497

CONTRACTOR: FLETCHER DEVELOPMENT, LLC
 SUBMITTAL: CITY OF APOPKA, SUBMITTAL RELEASE COUNTY & FOOT
 11/20/18 CITY OF APOPKA, SUBMITTAL RELEASE COUNTY & FOOT
 01/17/19 FOOT
 02/01/19 CITY OF APOPKA, SUBMITTAL RELEASE COUNTY & FOOT
 02/01/19 CITY OF APOPKA, SUBMITTAL RELEASE COUNTY & FOOT

FL PE No. 84285

SHEET NO. **C0.21**

STATE ROAD 436
(EAST SCHORAH BOULEVARD)
(200' R/W 400'00)



SITE BENCHMARK
SET NAIL AND DISK STAMPED "TRAV."
PT. LB 5075' ELEVATION = (REFER TO SURVEY)

TBOI Research Drive
Altamonte Springs, FL 32714
www.tbwi-inc.com
est. 1988 FLORIDA
CA-5075

CHW
Professional Consultants

SCALE
VERTICAL SCALE
HORIZONTAL SCALE
1" = 10'-0"
1" = 40'-0"
1" = 10'-0"
1" = 40'-0"
1" = 10'-0"
1" = 40'-0"

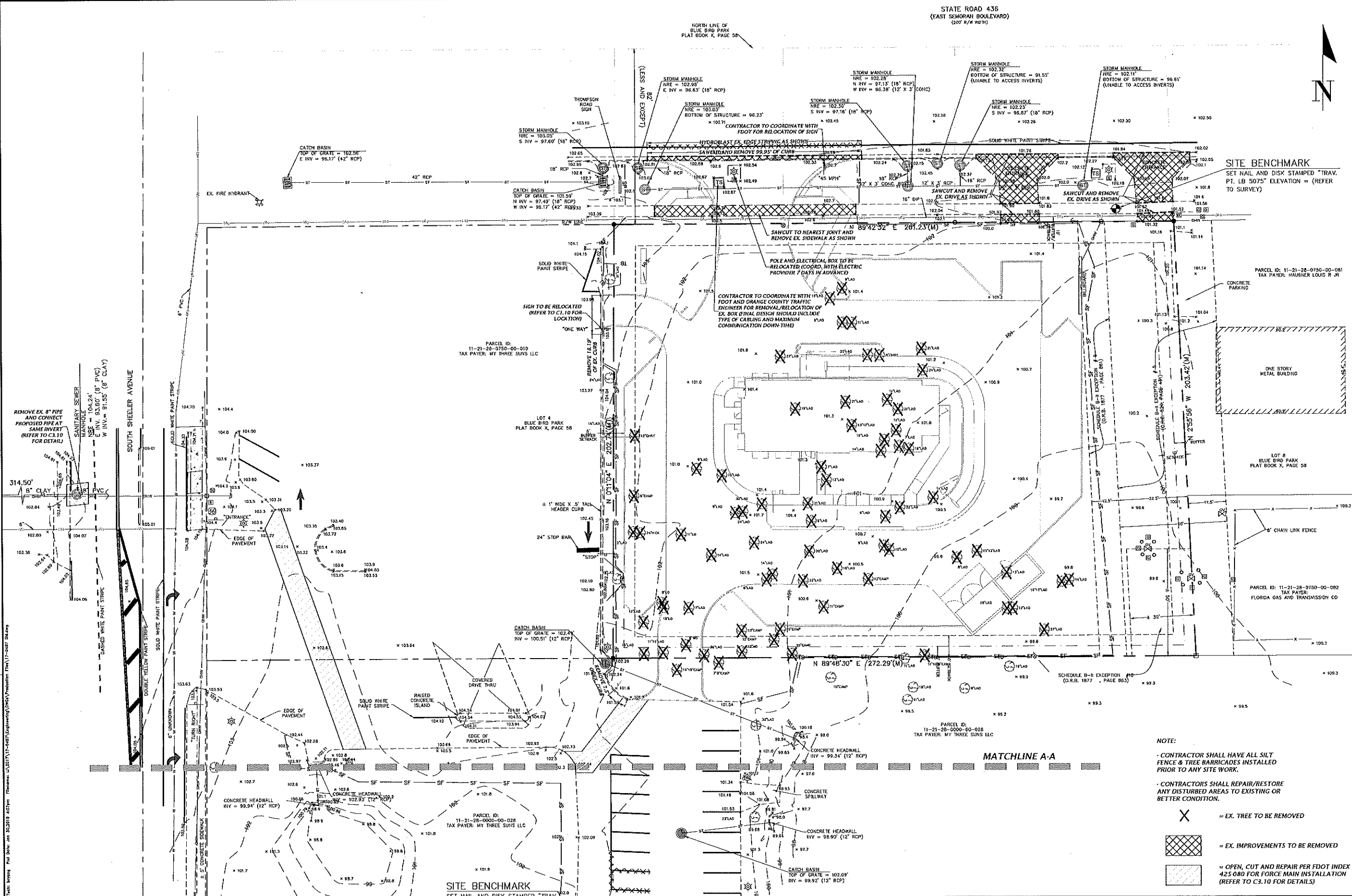
CONTRACTOR'S REVIEW

APPROVALS
CITY OF APOPKA, FLORIDA
11/20/18 FOOT
01/14/19 FOOT
02/01/19 CITY OF APOPKA, FLORIDA

CLIENT
FLETCHER DEVELOPMENT, LLC
PROJECT
ZABRY'S APOPKA
SHEET TITLE
DEMOLITION SITE PLAN

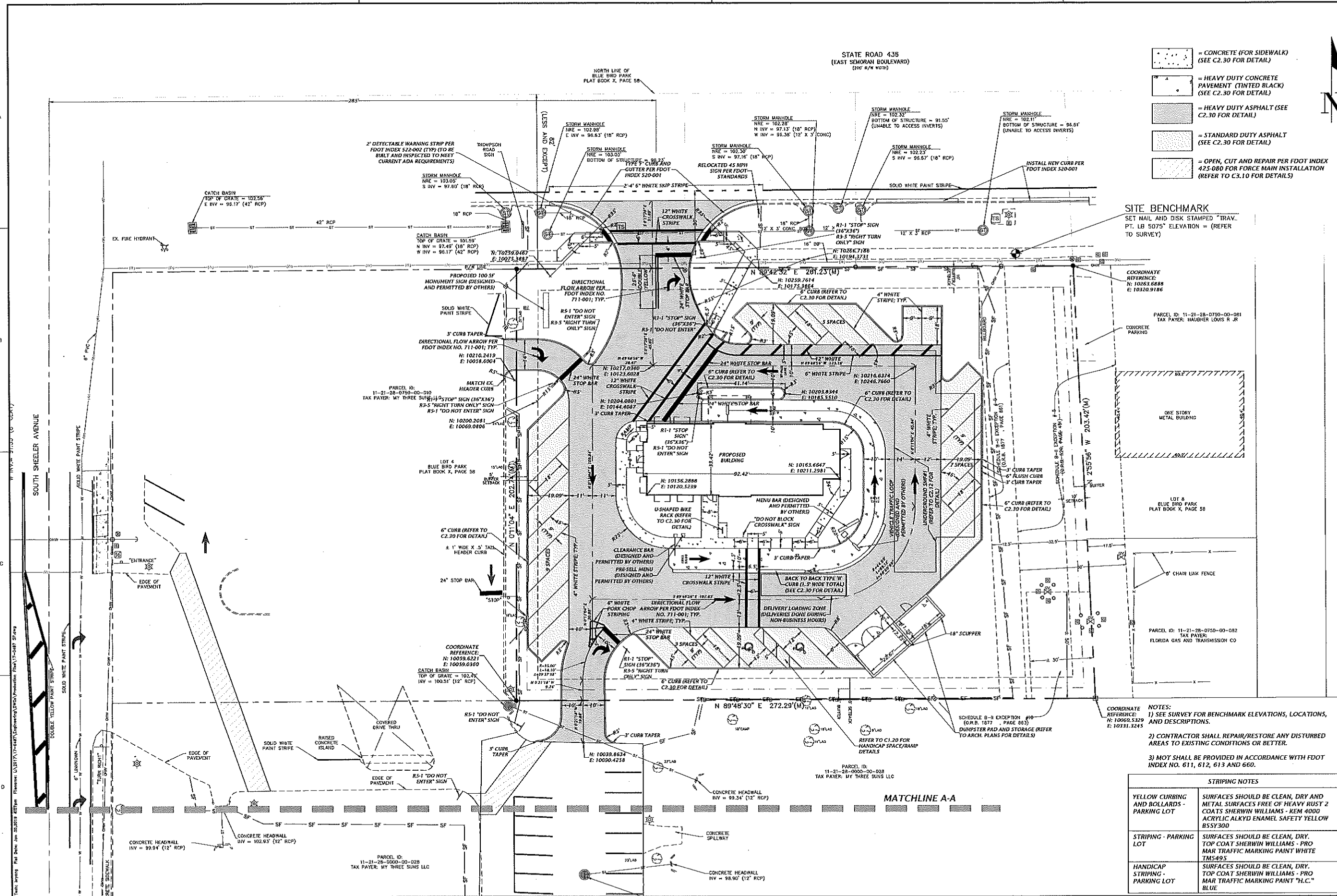
DESIGNER
T.E. COMBART
CHECKER
D.J. BRYAN, P.E.
D.J. BRYAN, P.E.
M. HEATHCOCK, P.E.
PROJECT NUMBER
17-0497

FL PE No. 84295
SHEET NO.
C0.30



- NOTE:**
- CONTRACTOR SHALL HAVE ALL SILT FENCE & TREE BARRICADES INSTALLED PRIOR TO ANY SITE WORK.
 - CONTRACTORS SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING OR BETTER CONDITION.
- X = EX. TREE TO BE REMOVED
 - [Cross-hatched box] = EX. IMPROVEMENTS TO BE REMOVED
 - [Dashed line box] = OPEN, CUT AND REPAIR PER FDOT INDEX 425.080 FOR FORCE MAIN INSTALLATION (REFER TO C3.10 FOR DETAILS)

Title Block
 File Date: 08/30/2019 4:57pm
 Filename: L:\2017\17-0497\Engineering\DWG\Proposed\Plan\17-0497.dwg
 User: TBOI



- = CONCRETE (FOR SIDEWALK) (SEE C2.30 FOR DETAIL)
- = HEAVY DUTY CONCRETE PAVEMENT (TINTED BLACK) (SEE C2.30 FOR DETAIL)
- = HEAVY DUTY ASPHALT (SEE C2.30 FOR DETAIL)
- = STANDARD DUTY ASPHALT (SEE C2.30 FOR DETAIL)
- = OPEN, CUT AND REPAIR PER FDOT INDEX 425-080 FOR FORCE MAIN INSTALLATION (REFER TO C3.10 FOR DETAILS)

SITE BENCHMARK
 SET NAIL AND DISK STAMPED "TRAV."
 PT. LB 5075' ELEVATION = (REFER TO SURVEY)

COORDINATE REFERENCE
 N: 10263.6888
 E: 10320.9186

COORDINATE REFERENCE
 N: 10059.6221
 E: 10059.0369

- NOTES:**
- SEE SURVEY FOR BENCHMARK ELEVATIONS, LOCATIONS, AND DESCRIPTIONS.
 - CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING CONDITIONS OR BETTER.
 - MOT SHALL BE PROVIDED IN ACCORDANCE WITH FDOT INDEX NO. 611, 612, 613 AND 660.

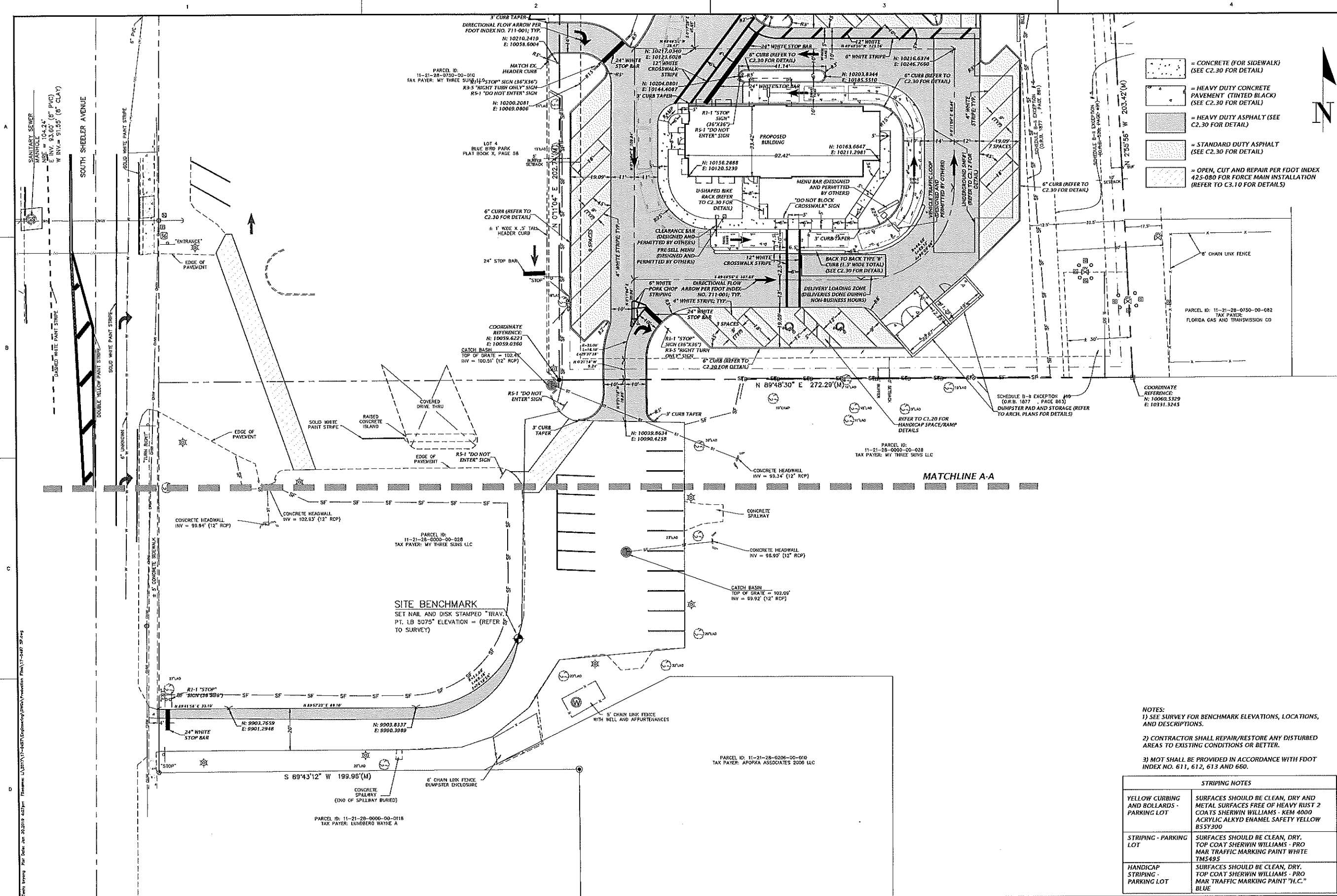
STRIPING NOTES	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B551300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT WHITE TMS495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE

11801 Research Dr., #415
 Auburn, Florida 32615
 (352) 331-1976
 www.chw-inc.com
 est. 1986
 CA-5075

CHW
 Professional Consultants

17-0497

FL PE No. 84295
 SHEET NO. **C1.10**



- = CONCRETE (FOR SIDEWALK) (SEE C2.30 FOR DETAIL)
- = HEAVY DUTY CONCRETE PAVEMENT (TINTED BLACK) (SEE C2.30 FOR DETAIL)
- = HEAVY DUTY ASPHALT (SEE C2.30 FOR DETAIL)
- = STANDARD DUTY ASPHALT (SEE C2.30 FOR DETAIL)
- = OPEN, CUT AND REPAIR PER FDOT INDEX 425-080 FOR FORCE MAIN INSTALLATION (REFER TO C3.10 FOR DETAILS)

- NOTES:
- SEE SURVEY FOR BENCHMARK ELEVATIONS, LOCATIONS, AND DESCRIPTIONS.
 - CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING CONDITIONS OR BETTER.
 - MOT SHALL BE PROVIDED IN ACCORDANCE WITH FDOT INDEX NO. 611, 612, 613 AND 660.

STRIPING NOTES	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW 8557300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT WHITE TMS495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE

1800 Research Drive
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CHW
Professional Consultants

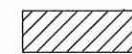

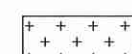
17-0497

FL PE No. 84295
SHEET NO. **CI.11**

Travis J. Hastay, P.E. Date: Jan. 31, 2017 4:02pm. Filename: L:\2017\17-0497\Engineering\DWG\Site\Plan\17-0497_SitePlan.dwg



SITE BENCHMARK
 SET NAIL AND DISK STAMPED "TRAV"
 PT. LB 5075' ELEVATION = (REFER TO SURVEY)

	==OFFSITE UTILITY EASEMENT
	==OFFSITE INGRESS EGRESS EASEMENT
	==ONSITE INGRESS EGRESS EASEMENT

314.50'
 8" CLAY
 SS MAINHOLE
 SRE = 97.68'
 E INV. = 90.25' (8" CLAY)

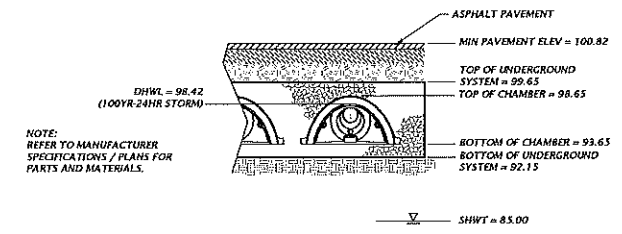
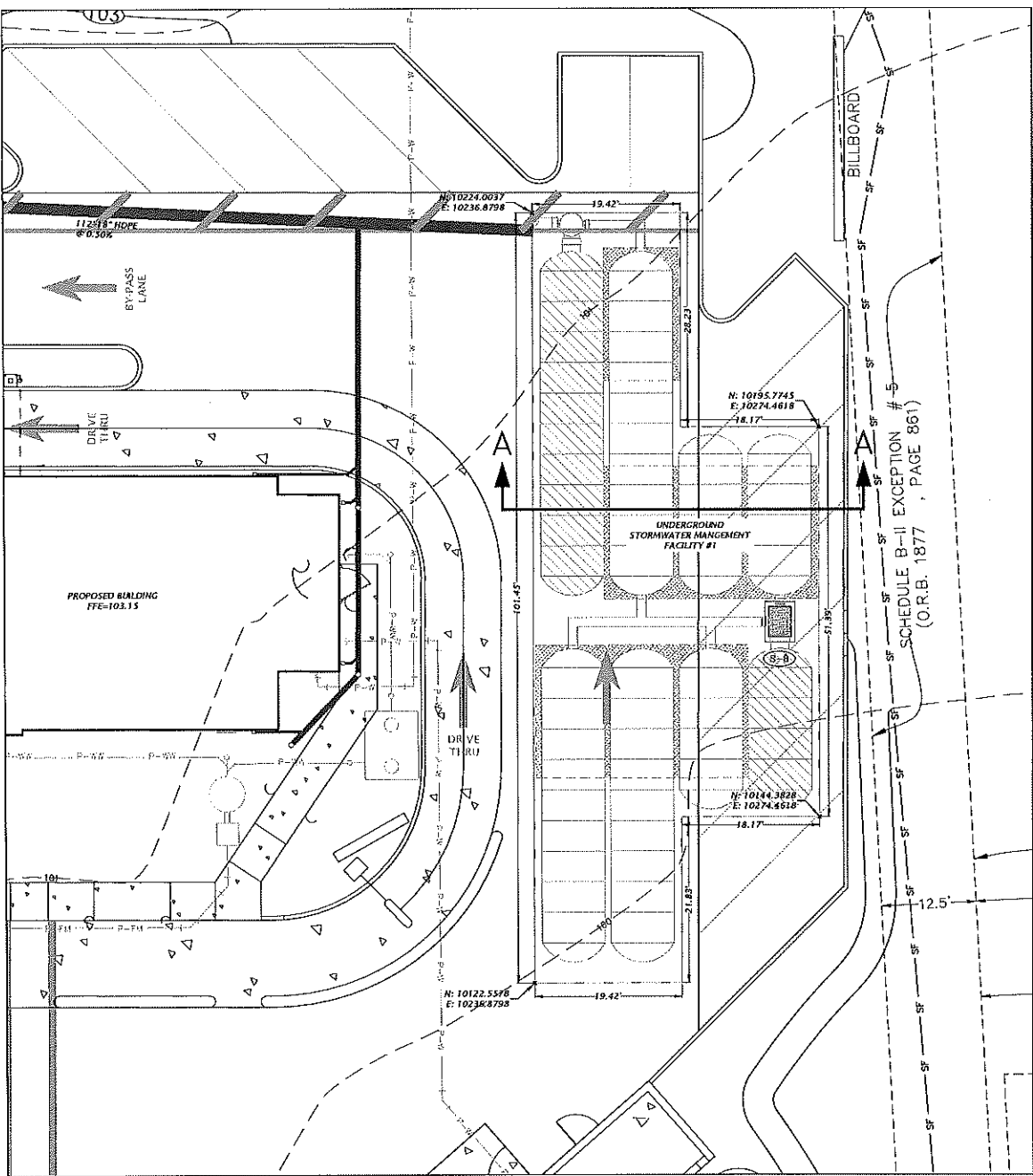
SANITARY SEWER
 MANHOLE
 E INV. = 93.60' (8" PVC)
 W INV. = 91.55' (8" CLAY)

SOUTH SHEELER AVENUE

SET NAIL
 PT. LB 50
 TO SURVEY

 CH2M Professional Consultants		17-0497 1" = 50' VERT. SCALE 1" = 10' HORIZ. SCALE 1" = 100' ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES DECIMALS UNLESS OTHERWISE SPECIFIED
CLIENT: FLETCHER DEVELOPMENT, LLC PROJECT: ZABRY'S APOPKA SHEET TITLE: SITE EASEMENTS PLAN PROJECT NUMBER: 17-0497		SUBMITTALS: CITY OF APOPKA, SURVING, ORANGE COUNTY & FOOT 11/22/18 CITY OF APOPKA, SURVING, ORANGE COUNTY & FOOT 12/22/18 CITY OF APOPKA, SURVING, ORANGE COUNTY & FOOT 01/18/19 CITY OF APOPKA, SURVING, ORANGE COUNTY & FOOT 02/01/19 CITY OF APOPKA, SURVING, ORANGE COUNTY & FOOT
FL PE No. B4295 SHEET NO.:		CL.12

Scale: byong Plot Date: Jan 20, 2011 4:09pm Title: L:\2011\17-0497\Engineering\17-0497\17-0497.dwg



- IF A CONTINUOUS LIMEROCK FORMATION IS ENCOUNTERED IN THE BASIN AREA CONTACT THE ENGINEER OF RECORD. THE LIMEROCK SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET BEYOND THE BASIN UNDERCUT LIMITS.
- IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER-PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.

STORMWATER MANAGEMENT FACILITY #1
SECTION A-A
 NTS



<p>1801 Research Drive Alachua, Florida 32615 (352) 331-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075</p>	
<p>CHW Professional Consultants</p>	
<p>SCALE: 1"=10' ALL DIMENSIONS ON THIS SHEET ARE TO BE BASED ON THE ORIGINAL DRAWING UNLESS NOTED OTHERWISE. THE SHEET SHALL BE ADJUSTED TO FIT THE ORIGINAL DRAWING.</p>	
<p>DATE: 02/27/18 CITY OF APOPKA, SIMMONS, ORANGE COUNTY & FOOT 11/26/18 CITY OF APOPKA, SIMMONS, ORANGE COUNTY & FOOT 12/20/18 FOOT 01/21/19 CITY OF APOPKA, SIMMONS & ORANGE COUNTY 02/01/19 CITY OF APOPKA, SIMMONS & ORANGE COUNTY</p>	
<p>CLIENT: FLETCHER DEVELOPMENT, LLC</p>	<p>PROJECT: ZABY'S APOPKA</p>
<p>RESPONSIBLE ENGINEER: T.J. HASTAY, P.E. QUALITY CONTROL: M. HEATHCOCK, P.E.</p>	<p>PROJECT NUMBER: 17-0497</p>
<p>FL PE No. 84295</p>	
<p>C2.20</p>	

PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER:	RYAN RAFFERTY 934-873-8372 RYAN.RAFFERTY@ADS-PIPE.COM
ADS SALES REP:	PHILIP LIVINGSTON 904-306-6217 PHILIP.LIVINGSTON@ADS-PIPE.COM
PROJECT NO:	510758



ZAXBY'S APOPKA

APOPKA, FL

STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-4500.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-400IFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2118-18, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.55 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET, THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2118 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-4500 CHAMBER SYSTEM

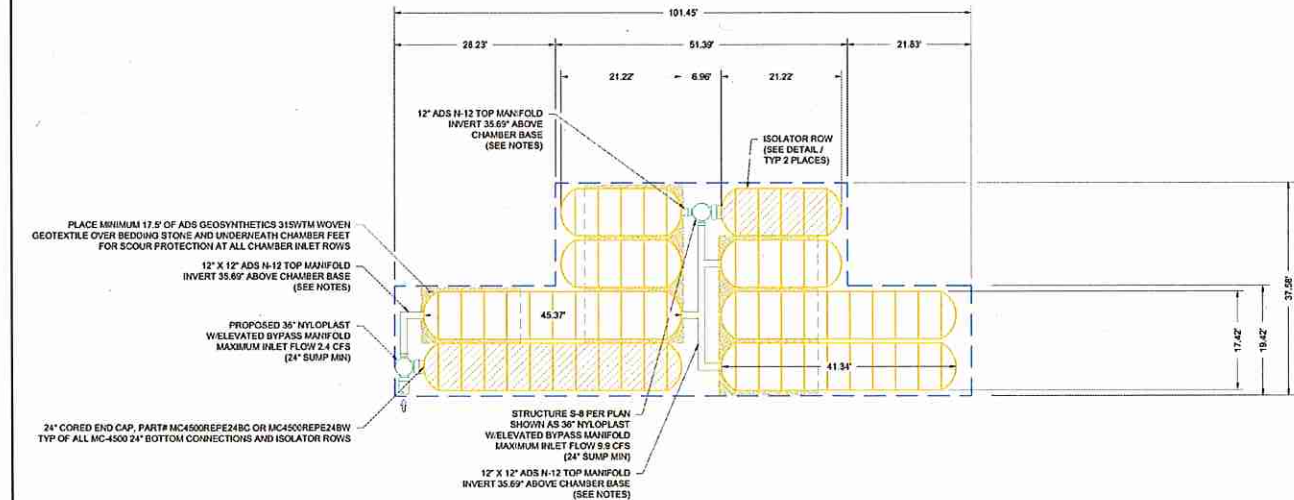
- STORMTECH MC-4500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-4500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M33 DESIGNATION OF #3 OR #4.
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER DIFFER BY MORE THAN 12" (300 mm) BETWEEN ADJACENT CHAMBER ROWS.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-4500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - THE USE OF EQUIPMENT OVER MC-4500 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - FULL 35" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-492-2664 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

CONCEPTUAL LAYOUT	
54	STORMTECH MC-4500 CHAMBERS
16	STORMTECH MC-4500 END CAPS
12	STONE ABOVE (ft)
18	STONE BELOW (ft)
40	% STONE VOID
12,563	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED)
2903	SYSTEM AREA (ft ²)
274	SYSTEM PERIMETER (ft)
CONCEPTUAL ELEVATIONS	
105.85	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)
101.15	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)
100.65	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)
100.65	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)
100.65	MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT)
99.65	TOP OF STONE
98.65	TOP OF MC-4500 CHAMBER
96.62	12" TOP MANFOLD / CONNECTION INVERT
93.64	24" ISOLATOR ROW CONNECTION INVERT
93.65	BOTTOM OF MC-4500 CHAMBER
92.15	BOTTOM OF STONE

- #### NOTES
- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH SHEET #7 FOR MANIFOLD SIZING GUIDANCE.
 - DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
 - THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
 - THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE IN-SITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
 - THE STORMTECH SYSTEM PROPOSED HAS BEEN PROVIDED AS AN EQUIVALENT LAYOUT TO THE CURRENT DESIGN PER THE SITE DESIGN ENGINEER'S PLAN. THE VOLUME, INVERTS, AND MANIFOLD CONNECTIONS WERE SIZED TO PROVIDE AN EQUIVALENT TO THE CURRENT DESIGN PER THE SITE DESIGN ENGINEER'S PLAN & MUST BE CONFIRMED/APPROVED BY THE SITE DESIGN ENGINEER.



		ZAXBY'S APOPKA APOPKA, FL	
DATE: 11/09/18 DRAWN: SLV CHECKER: RWD	PROJECT #: SHEET #: SHEET TOTAL:	CLIENT: FLETCHER DEVELOPMENT, LLC PROJECT: ZAXBY'S APOPKA SHEET TITLE: SMF DESIGN AND DETAILS	SHEET NO.: C2.21

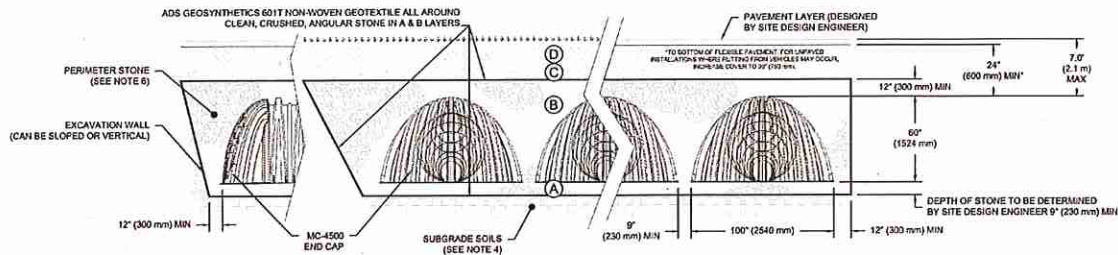
NOTE: THIS SHEET IS FOR REFERENCE AND COORDINATION PURPOSES ONLY

11801 Research Dr Alhambra, CA 91801 (626) 351-1676 www.ch2m-hill.com	est. 1988 FLORIDA CA-5073
PROFESSIONAL CONSULTANTS	
SCALE: 1"=20' VERT. SCALE: AS SHOWN HORIZ. SCALE: AS SHOWN THIS SHEET, ALTHOUGH IT MAY BE REFERRED TO AS A "SHEET," IS NOT A CONTRACT DOCUMENT.	CONSTRUCTION/DRG. REVISIONS:
SUBMITTAL CITY OF APOPKA, SIRMWD, ORANGE COUNTY & FOOT 11/22/18 CITY OF APOPKA, SIRMWD, ORANGE COUNTY & FOOT 12/22/18 FOOT 01/21/19 CITY OF APOPKA, SIRMWD & ORANGE COUNTY 02/01/19 CITY OF APOPKA, SIRMWD & ORANGE CO	

ACCEPTABLE FILL MATERIALS: STORMTECH MC-4500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M43 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 3.57, 4, 4.67, 5, 5.6, 5.7, 6, 6.7, 6.8, 7, 7.8, 8, 8.9, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

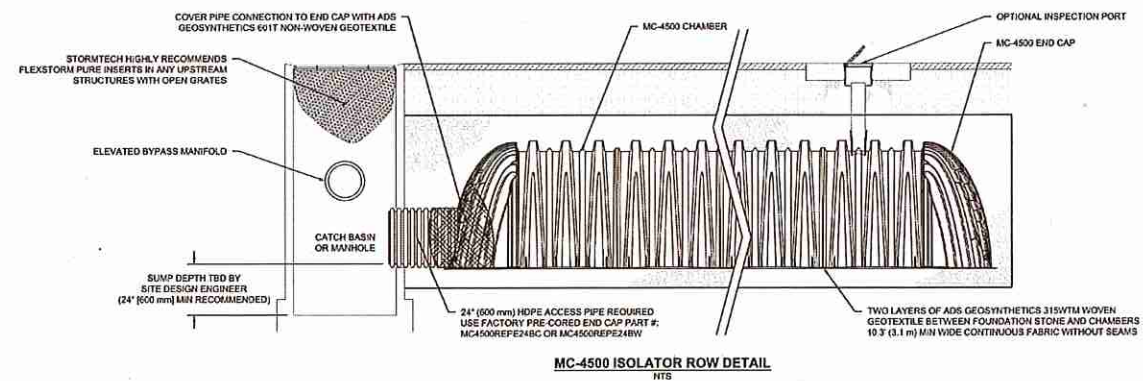
- MC-4500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- ONCE LAYER 'C' IS PLACED, ANY SOLID MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

ZABBY'S APOPKA
 APOPKA, FL
 DATE: 11/08/18 DRAWN: SLV
 PROJECT #: 310775 CHECKED: RWD

Stormtech
 4640 TRUBMAN BLVD
 HILLIAND, OH 43081

ADS
 4640 TRUBMAN BLVD
 HILLIAND, OH 43081

3 SHEET OF 6



INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT**
- A. INSPECTION PORTS (IF PRESENT)**
- REMOVE OPEN LID ON THE OLDEST IN-LINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIUM ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS**
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS OR POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS**
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.**
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.**

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

ZABBY'S APOPKA
 APOPKA, FL
 DATE: 11/08/18 DRAWN: SLV
 PROJECT #: 310775 CHECKED: RWD

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ADS
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 HILLIAND, OH 43081

4 SHEET OF 6

NOTE: THIS SHEET IS FOR REFERENCE AND COORDINATION PURPOSES ONLY

CH2M
 Professional Consultants

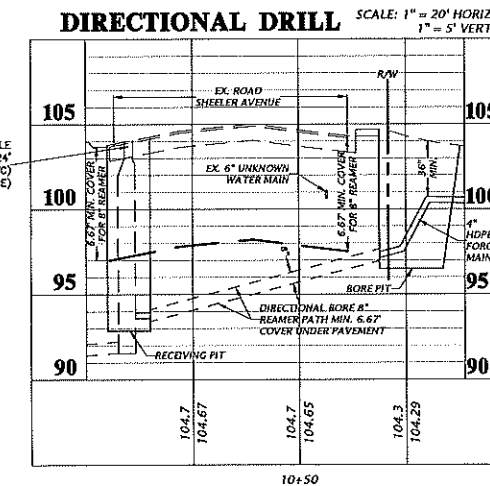
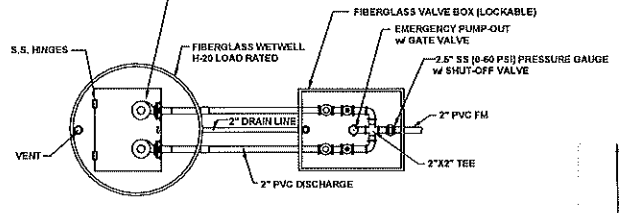
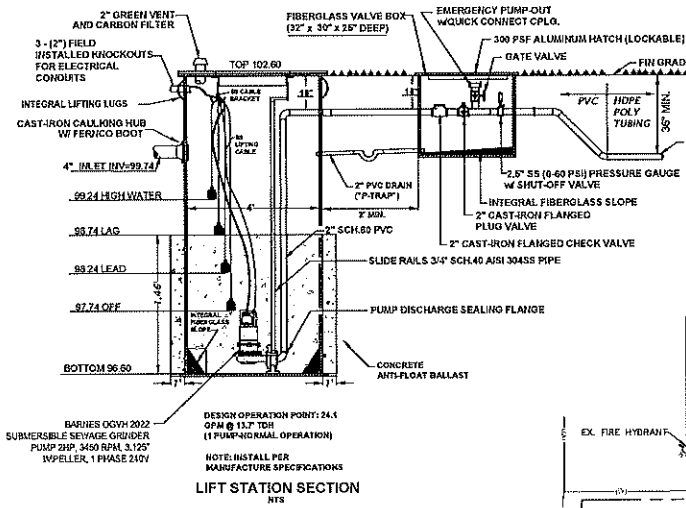
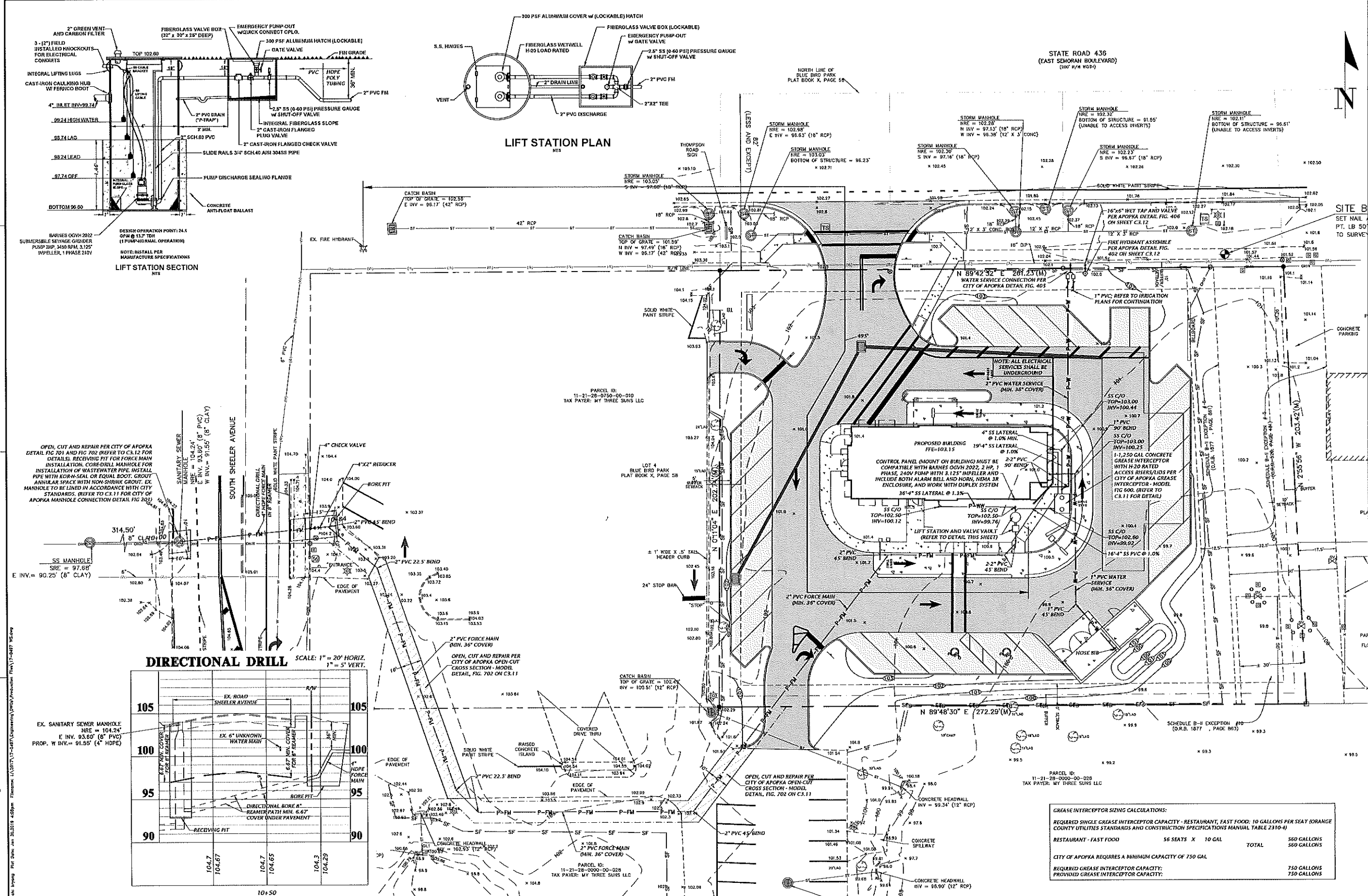
1801 Research Park
 Alhambra, CA 91801
 (323) 331-1976
 www.ch2m-hill.com

est. 1968
 FLORIDA
 CA-5075

SCALE: 1"=20'
 VERIFY SOILS ON ORIGINAL DRAWING
 0"=100' SEE THIS SHEET FOR THE SHEET ADJUST TO SCALE ACCORDINGLY.

CONTRACT NO. 17-0497

PROJECT: FLETCHER DEVELOPMENT, LLC
 SHEET NO.: C2.22



GREASE INTERCEPTOR SIZING CALCULATIONS:

REQUIRED SINGLE GREASE INTERCEPTOR CAPACITY - RESTAURANT, FAST FOOD: 10 GALLONS PER SEAT (ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL TABLE 2310-4)

RESTAURANT - FAST FOOD	SEATS	X	10 GAL	TOTAL
	56	X	10	560 GALLONS
				560 GALLONS

CITY OF APOPKA REQUIRES A MINIMUM CAPACITY OF 750 GAL

REQUIRED GREASE INTERCEPTOR CAPACITY: 750 GALLONS

PROVIDED GREASE INTERCEPTOR CAPACITY: 750 GALLONS

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Aurora, Florida 32815
(352) 331-8976
www.ch2m-hill.com

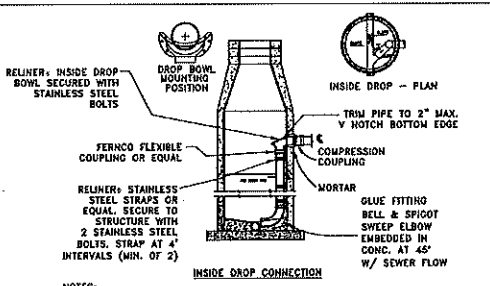
CH2M HILL
Professional Consultants

17-0497

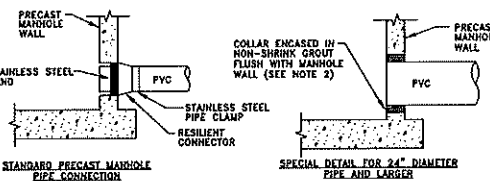
FL PE No. 84293

SHEET NO. **C3.10**

DATE: 02/01/19
PROJECT: ZABRY'S APOPKA
CLIENT: ZABRY'S APOPKA
DESIGNER: T.E. COVART
CHECKER: T.J. HASTAY, P.E.
APPROVER: M. HEATHCOCK, P.E.



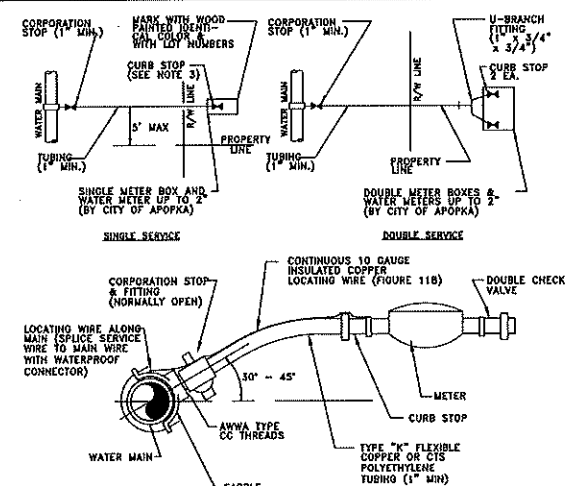
- NOTES:
1. ALL INSIDE DROP CONNECTIONS FOR SERVICES AND COLLECTOR SEWERS SHALL USE THE DROP BOWL AS PRODUCED BY: RELINER-DURAN, INC. 55 MT. ARCHER RD. LYME, CT 06371 (860)434-0277 FAX: (860)434-3195 OR EQUAL.
 2. SECURE DROP PIPE TO MAINHOLE WALL WITH RELINER-DURAN, INC. STAINLESS STEEL ADJUSTABLE CLAMPING BRACKETS.
 3. FORCE MAIN RECEIVING MAINHOLES MAY BE REQUIRED TO BE LINED IN ACCORDANCE WITH THE CITY OF APOPKA LIST OF APPROVED MATERIALS AND PRODUCTS AS DIRECTED BY THE CITY.



- NOTES:
1. DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 2. THE CITY MAY APPROVE ALTERNATE WATER-TIGHT CONNECTION DETAILS FOR CONNECTION OF 24\"/>
 - 3. AN INSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 24\"/>
 - 4. CONCRETE TO BE MINIMUM OF 3000 PSI.

MANHOLE CONNECTION DETAILS

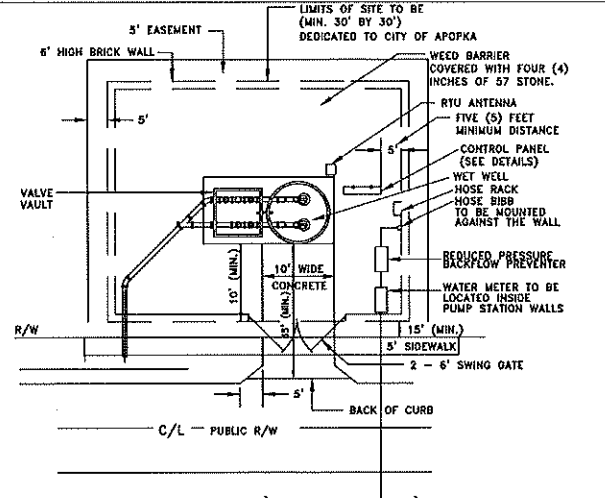
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 201



- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
 2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 3. EACH SERVICE SHALL TERMINATE AT A CURB STOP(S) WHICH SHALL BE BURIED APPROXIMATELY 3\"/>
 - 4. RECLAIMED WATER SERVICES SHALL USE PURPLE COLORED CTS POLYETHYLENE TUBING.
 - 5. POTABLE WATER SERVICES SHALL USE BLUE COLORED CTS POLYETHYLENE TUBING.
 - 6. ALL SERVICE UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE INSTALLED IN A MINIMUM 2\"/>

WATER SERVICE CONNECTION DETAIL

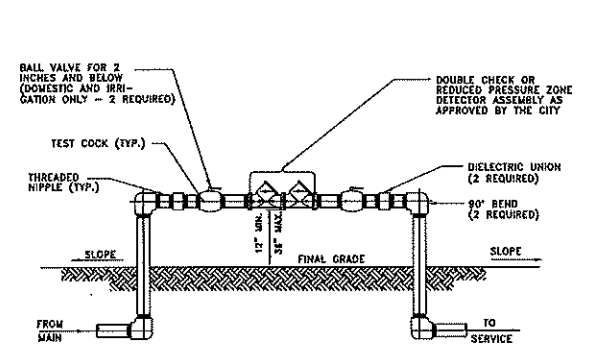
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 405



- NOTES:
1. DRIVEWAY AND APRON SHALL BE SIX (6) INCH THICK, 3000 P.S.I. CONCRETE WITH NO.6X6 WIRE MESH OR FIBER MESH.
 2. POWER TO THE PUMP STATION SHALL BE THROUGH UNDERGROUND CONDUIT FROM SUPPLY SOURCE IN RIGHT-OF-WAY.
 3. GATE TO BE DECORATIVE BLACK POWDER COATED ALUMINUM W/PICKET SPACING = OR < 4\"/>
 - 4. WALLS ARE TO BE BRICK OR DECORATIVE STONE.
 - 5. WET WELL LID MUST OPEN TOWARD CONTROL PANEL (HINGE SIDE TOWARD PANEL).
 - 6. LIFT STATION WALL TO BE PLACED AT LEAST 15FT. BEHIND THE R/W LINE.

PUMP STATION TYPICAL SITE PLAN

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 300

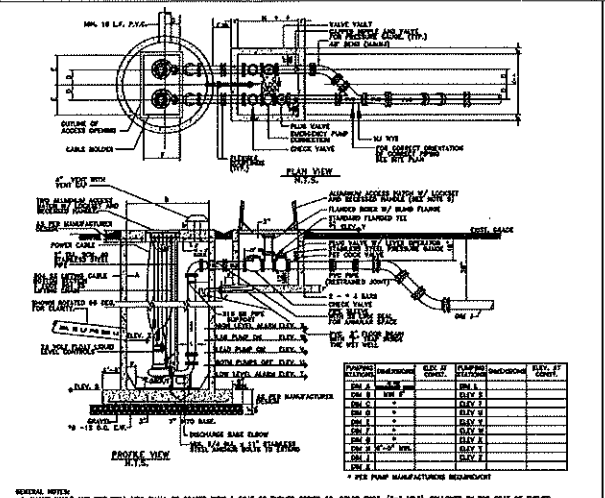


- NOTES:
1. ALL PIPE FITTINGS, MATERIALS, LABOR, AND APPURTENANCES SHALL BE SUPPLIED BY THE CONTRACTOR.
 2. ALL PIPE AND FITTINGS TWO (2) INCHES AND SMALLER SHALL BE THREADED SCHEDULE 40 GALVANIZED STEEL.

DOUBLE CHECK OR REDUCED PRESSURE ZONE DETECTOR ASSEMBLY

2 INCH AND BELOW ASSEMBLY

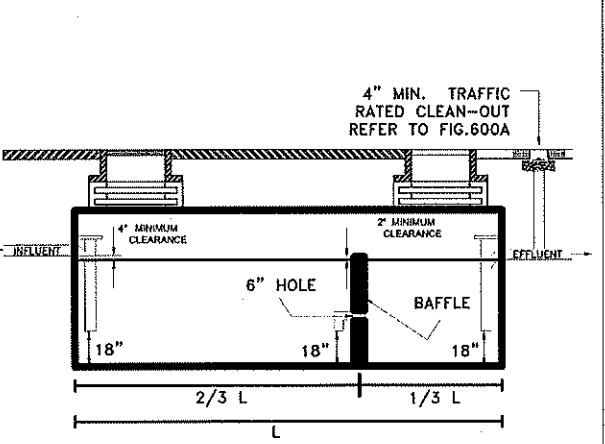
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 500 A



- GENERAL NOTES:
1. VALVE WELLS AND WET WELL LIDS SHALL BE CASTED WITH 1 COAT OF THREE COATS OF POLYURETHANE EPOXY RESIN, (1-3 MILS), FOLLOWED BY TOP COAT OF EPOXY RESIN TO COVER FINISH (2-3 MILS) ON SPOTS.
 2. A. THE WET WELL SHALL BE CONSTRUCTED BY FIBERGLASS REINFORCED POLYESTER (FRP) AND MANUFACTURED FROM COMMERCIAL GRADE POLYESTER FIBER OR 30\"/>
 - 3. THE WET WELL SHALL BE CONSTRUCTED OF PRECAST CONCRETE BLOCKS AND MASONRY SHALL TOLERANCE OF 3/8\"/>
 - 4. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 5. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 6. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 7. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 8. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 9. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 10. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 11. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 12. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 13. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 14. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 15. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
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 - 17. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 18. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 19. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.
 - 20. ALL PARTS OF THE WET WELL SHALL BE SMOOTH FINISHED AND UNDEGRADED BY ACID BASE SOAP OR BLEACH.

PUMP STATION DETAIL

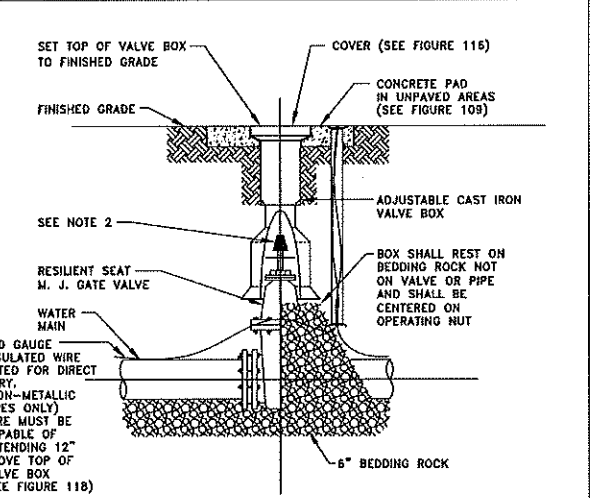
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 301



- NOTES:
1. INTERCEPTOR TO BE CONSTRUCTED OF 4000 PSI CONCRETE.
 2. INTERCEPTOR TOTAL VOLUME SHALL BE AT LEAST 750 GAL. BUT NOT EXCEED 1250 GAL.
 3. ALL ACCESS RINGS AND COVERS NEED TO BE TRAFFIC RATED H-20.

GREASE INTERCEPTOR DETAIL

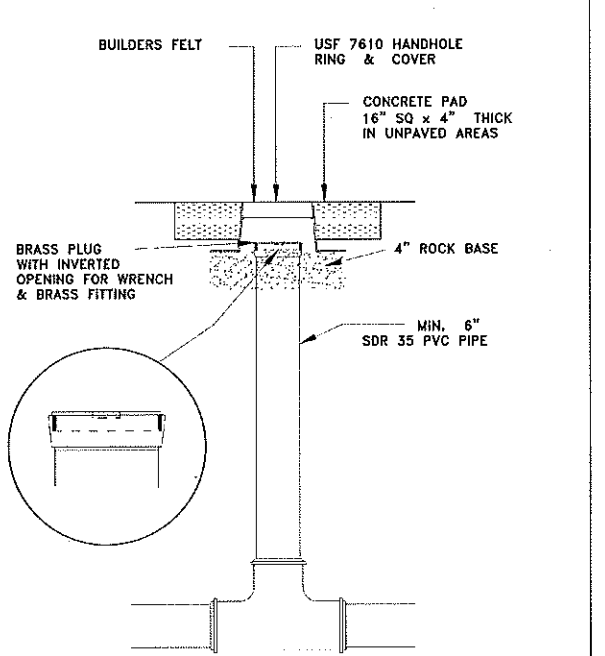
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 600



- NOTES:
1. PVC EXTENSIONS MAY BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO WITHIN A 3 FEET BELOW FINISHED GRADE.

GATE VALVE AND BOX DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 400



GREASE INTERCEPTOR TRAFFIC RATED CLEAN-OUT DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 600 A

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 Altamonte Springs, FL 32714
 www.ch2m-hill.com
 CH2M HILL
 Professional Consultants
 17-0497
 FL PE No. 84295
 SHEET NO.

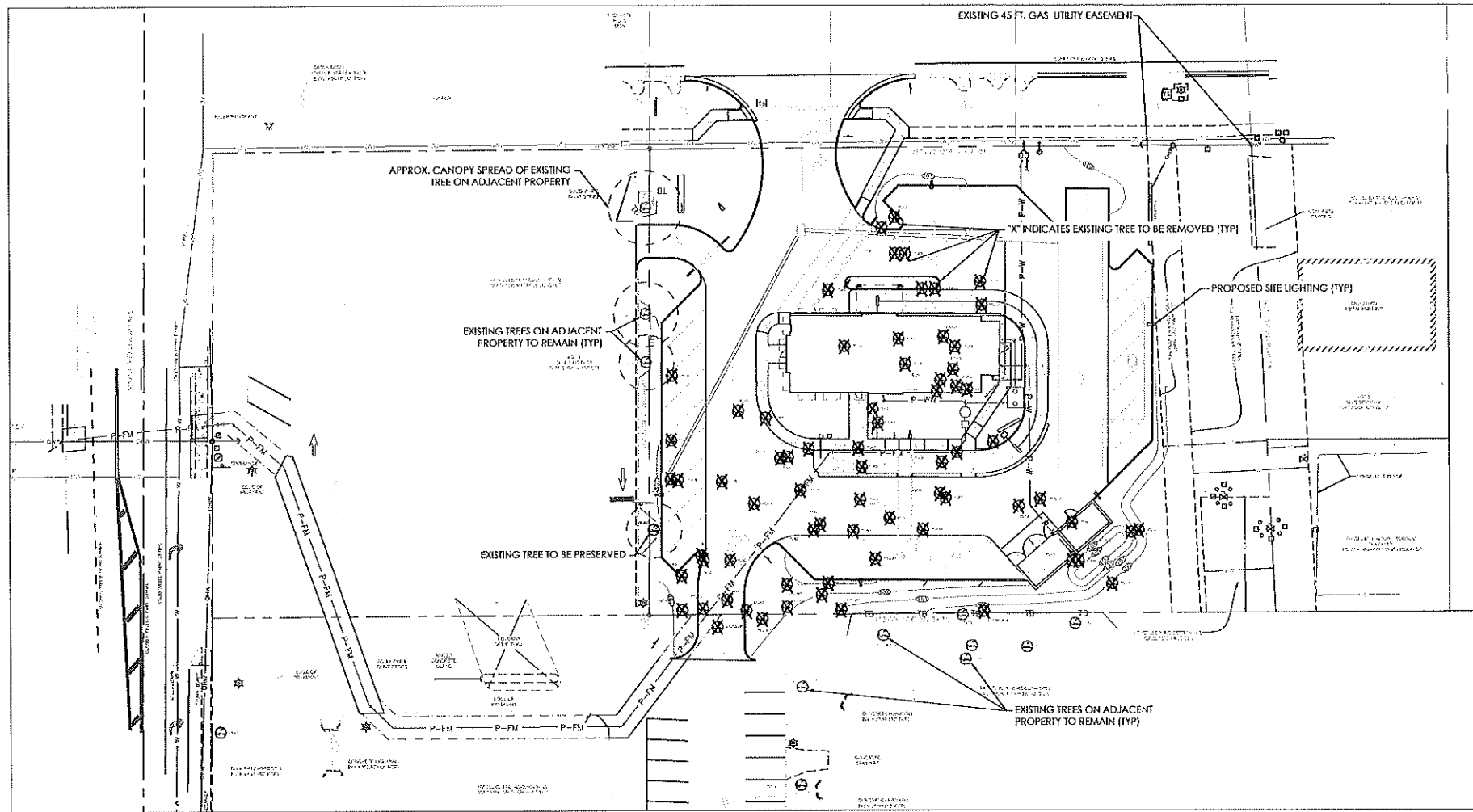
C3.11

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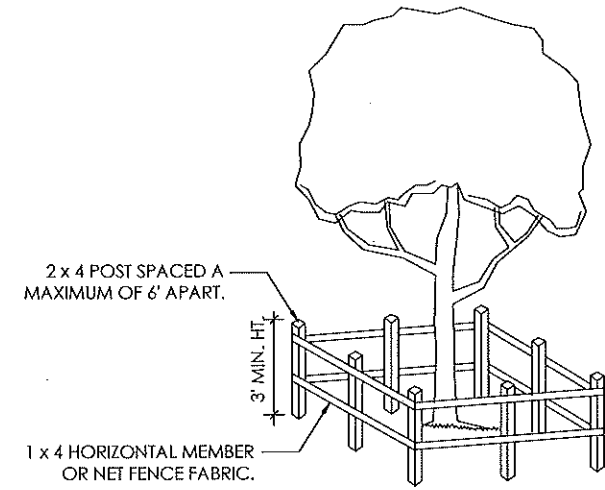


SCHWEIER
BOJACK
LANDSCAPE
ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN
PO BOX 94888 • MAITLAND, FLORIDA 32714 • PH (407) 374-423
LICENSE NO. LC2620067 • DESIGNER: SCHWEIERBOJACK.COM



TREE PROTECTION DETAIL



PROTECTIVE BARRIERS SHALL BE PLACED AT POINTS NOT CLOSER THAN SIX (6) FEET FROM THE BASE OF THE TREE. EACH SECTION OF THE BARRIER SHALL BE CLEARLY VISIBLE (FLAGGED WITH BRIGHTLY COLORED PLASTIC TAPES OR OTHER MARKERS). NO ATTACHMENTS OR WIRES OTHER THAN THOSE OF A PROTECTIVE OR NON-DAMAGING NATURE SHALL BE ATTACHED TO ANY TREE.

TREE REMOVAL

- (3) 7" LAUREL OAK
- (2) 8" LAUREL OAK
- (1) 8" LIVE OAK
- (1) 8" WATER OAK
- (1) 8" CHERRY
- (7) 9" LAUREL OAK
- (5) 10" LAUREL OAK
- (4) 11" LAUREL OAK
- (1) 11" LIVE OAK
- (3) 12" LAUREL OAK
- (1) 12" WATER OAK
- (1) 12" CHERRY
- (6) 13" LAUREL OAK
- (5) 14" LAUREL OAK
- (1) 15" LAUREL OAK
- (3) 16" LAUREL OAK
- (1) 18" LAUREL OAK
- (1) 18" LIVE OAK
- (1) 19" LAUREL OAK
- (2) 20" LAUREL OAK
- (4) 21" LAUREL OAK
- (2) 22" LAUREL OAK
- (3) 24" LAUREL OAK
- (1) 24" HICKORY
- (2) 27" LAUREL OAK
- (1) 30" LAUREL OAK
- (1) 36" LAUREL OAK

PROTECTED TREES (<24" DBH) REMOVED: 56 TREES (723")
SPECIMEN TREES (>24" DBH) REMOVED: 8 TREES (216")

(NOTE: CAMPHOR TREES & TREES UNDER 6" DBH NOT INCLUDED)

TREE PRESERVATION

- (1) 18" LAUREL OAK
- PROTECTED TREES (<24" DBH) PRESERVED: 1 TREES (18")
SPECIMEN TREES (>24" DBH) PRESERVED: 0 TREES (0")

ARBOR TREE CALCULATION: (MAX. REPLACEMENT)

SPECIMEN TREE MAX. REPLACEMENT:
TOTAL SITE AREA: 54,144 SQ. FT.
LESS 6,000 SQ. FT.: 48,144 SQ. FT.
DIVIDED BY 1,000: 48.1 TREES
TIMES 5" DBH: 240.5 INCHES
PLUS 30 INCHES: 270.5 INCHES SPECIMEN MAX. REPLACEMENT

NON-SPECIMEN TREE MAX. REPLACEMENT:
TOTAL SITE AREA: 54,144 SQ. FT.
LESS 6,000 SQ. FT.: 48,144 SQ. FT.
DIVIDED BY 1,000: 48.1 TREES
TIMES 3.5" DBH: 168.4 INCHES
PLUS 21 INCHES: 190 INCHES NON-SPECIMEN MAX. REPLACEMENT

SPECIMEN REPLACEMENT REQUIRED: 216" (ACTUAL REMOVED)
NON-SPECIMEN REPLACEMENT REQUIRED: 190" (MAX. REPLACEMENT)

TOTAL REPLACEMENT INCHES REQUIRED: 406"

TREE REPLACEMENT (PROPOSED TREES)

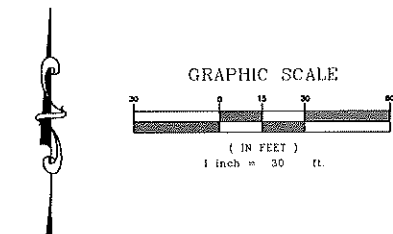
11 LIVE OAKS @ 3" DBH = 33"
TOTAL PROPOSED INCHES TO BE PLANTED: 33"

TREE MITIGATION CALCULATIONS

TOTAL REPLACEMENT INCHES REQUIRED: 406"
LESS PROPOSED INCHES TO BE PLANTED: - 33"
REMAINING INCHES TO BE MITIGATED: 373"
PROPOSED TREE BANK PAYMENT (\$10/INCH): \$3,730.00

TREE REQUIREMENT (MAX. TREE STOCK)

TOTAL SITE AREA: 54,144 SQ. FT.
TREES REQUIRED: 7 TREES (1 TREE/8,000 SQ. FT.)
TREES PROVIDED: 12 TREES (1 EXISTING TREE + 11 PROPOSED TREES)



TREE MITIGATION PLAN

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE

REG. NO.

DATE

ZAXBY'S APOPKA
STATE ROAD 436/EAST SEMORAN BLVD. CITY OF APOPKA, FL

1/30/19

1/23/19

1/17/19

11/30/18

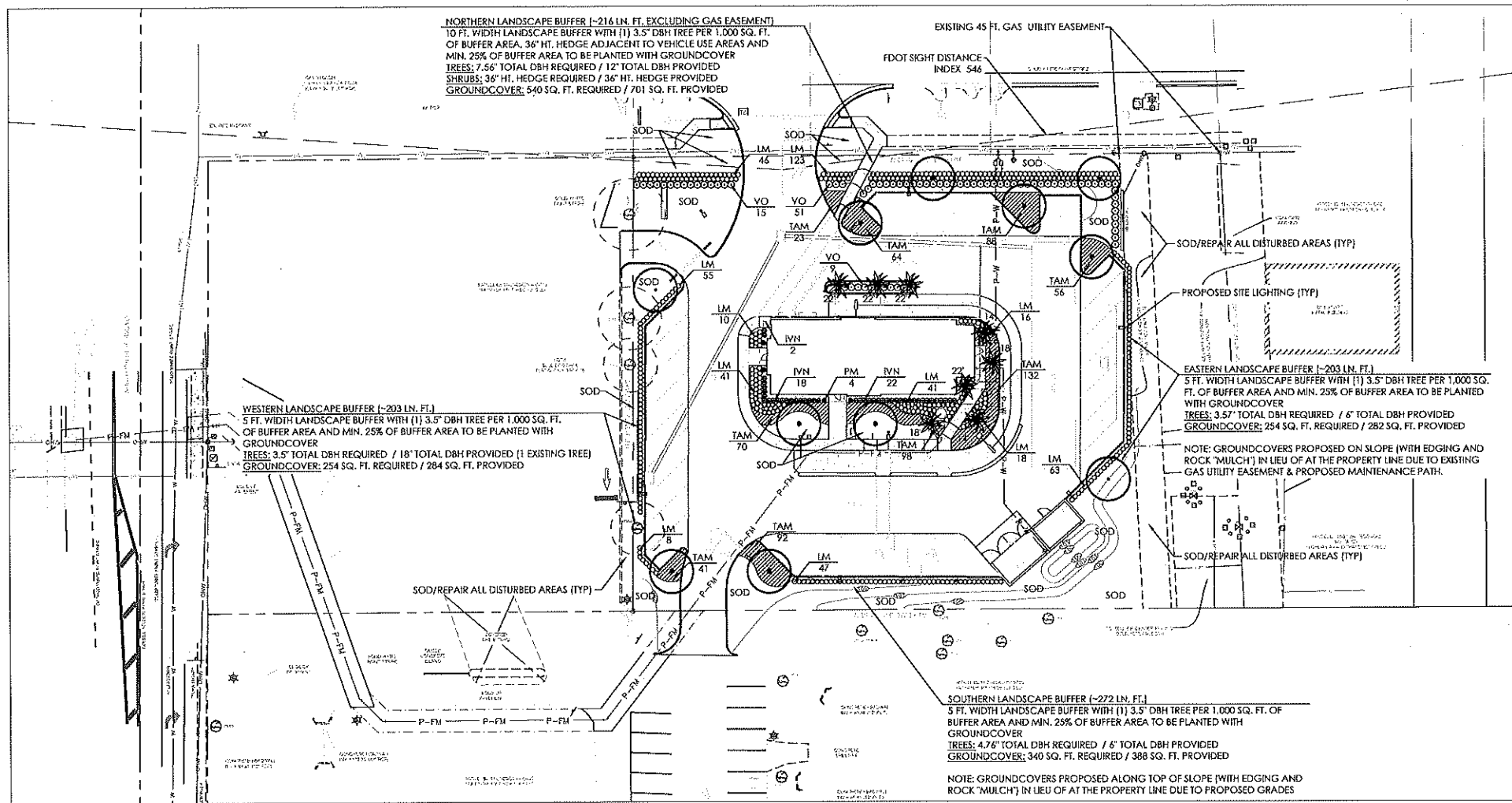
8/01/18

DRAWN BY: KB

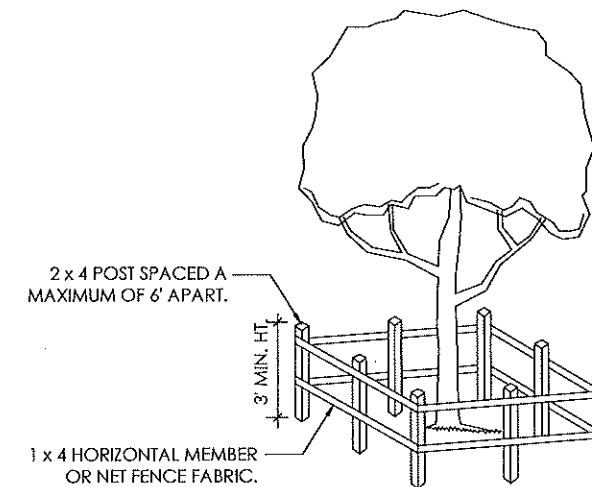
SHEET NUMBER

L-1

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TREE PROTECTION DETAIL



PROTECTIVE BARRIERS SHALL BE PLACED AT POINTS NOT CLOSER THAN SIX (6) FEET FROM THE BASE OF THE TREE. EACH SECTION OF THE BARRIER SHALL BE CLEARLY VISIBLE (FLAGGED WITH BRIGHTLY COLORED PLASTIC TAPES OR OTHER MARKERS). NO ATTACHMENTS OR WIRES OTHER THAN THOSE OF A PROTECTIVE OR NON-DAMAGING NATURE SHALL BE ATTACHED TO ANY TREE.

LANDSCAPE INSTALLATION NOTES

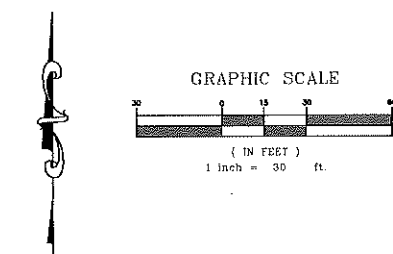
1. ALL PROPOSED/INSTALLED PLANT MATERIALS TO BE "FLORIDA FRIENDLY"
2. ALL PROPOSED LANDSCAPING ADJACENT TO BUILDING FOUNDATIONS TO BE INSTALLED A MINIMUM OF 2.5 FT. AWAY FROM FOUNDATION.
3. ALL PROPOSED TREES TO BE INSTALLED A MINIMUM OF 5 FEET AWAY FROM PROPOSED WALLS (MASONRY AND/OR RETAINING) AND UNDERGROUND UTILITIES.
4. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY TO BE REPAIRED WITH SOD.

LANDSCAPE GENERAL NOTES

1. The Landscape Contractor shall insure that this work does not interrupt established or projected drainage patterns. The Landscape Contractor shall insure adequate vertical drainage in all plant beds and planters. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage.
2. The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans and in the landscape specifications. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at the time of bidding.
3. All plant materials shall be graded Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted.
4. All plant beds and tree rings shall be top dressed with a 3" minimum depth of pine bark nuggets.
5. The Landscape Contractor shall be wholly responsible for stability and plumb condition of all trees and shrubs. Staking of trees or shrubs, if desired or requested by the Landscape Architect or owner, shall be done utilizing a method agreed upon by the Landscape Architect.
6. No fill material or use of heavy equipment around existing trees is allowed. Existing trees are to be protected by a wood barricade erected in compliance with local codes.
7. The Landscape Contractor is responsible for testing project soils. The Landscape Contractor is to provide a certified soils report to the Owner and Landscape Architect. The Landscape Contractor shall verify that the soils on site are acceptable for proper growth of the proposed plant material. Should the Landscape Contractor find poor soil conditions, the Owner and Landscape Architect must be consulted prior to planting.
8. All grades, dimensions and existing conditions shall be verified by the Contractor on site before construction begins. Any discrepancies shall be brought to the attention of the Landscape Architect.
9. The Landscape Contractor shall review architectural/engineering plans to become thoroughly familiar with surface and subsurface utilities.
10. Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of his negligence in the execution of work.

PLANT MATERIALS LEGEND

SYMBOL	KEY	QNTY.	COMMON/BOTANICAL NAME	SPECIFICATIONS/DESCRIPTION
○	QV	11	Live Oak <i>Quercus virginiana</i>	3" DBH, 10' Min. Ht., 100 Gal. or B&B
✱	SP	8	Sabal Palms <i>Sabal palmetto</i>	14', 18' & 22' Hts., As Indicated On Plans
●	PM	4	Podocarpus <i>Podocarpus macrophyllus</i>	7 Gal., 36" Ht., 24" O.C.
○○○○	VO	75	Sweet Viburnum <i>Viburnum odoratissimum</i>	7 Gal., 36" Min. Ht., 36" O.C.
●●●●	IVN	42	Dwarf Yaupon Holly <i>Ilex vomitoria 'Nana'</i>	3 Gal., Full, 24" O.C.
○○○○○	LM	452	Green Liriope <i>Liriope muscara 'Evergreen Giant'</i>	1 Gal., Full, 24" O.C.
▨	TAM	664	Dwarf Asiatic Jasmine <i>Trachelospermum asiatica 'Minima'</i>	1 Gal., Full, 18" O.C.
■	SOD	TBD	Bahia Sod <i>Paspalum notatum</i>	Solid Sod, As Indicated On Plans & Disturbed Areas
▨	MULCH	TBD	Pine Bark Mulch	3" Minimum Depth, All Planting Areas



LANDSCAPE PLAN

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE

REG. NO.

DATE

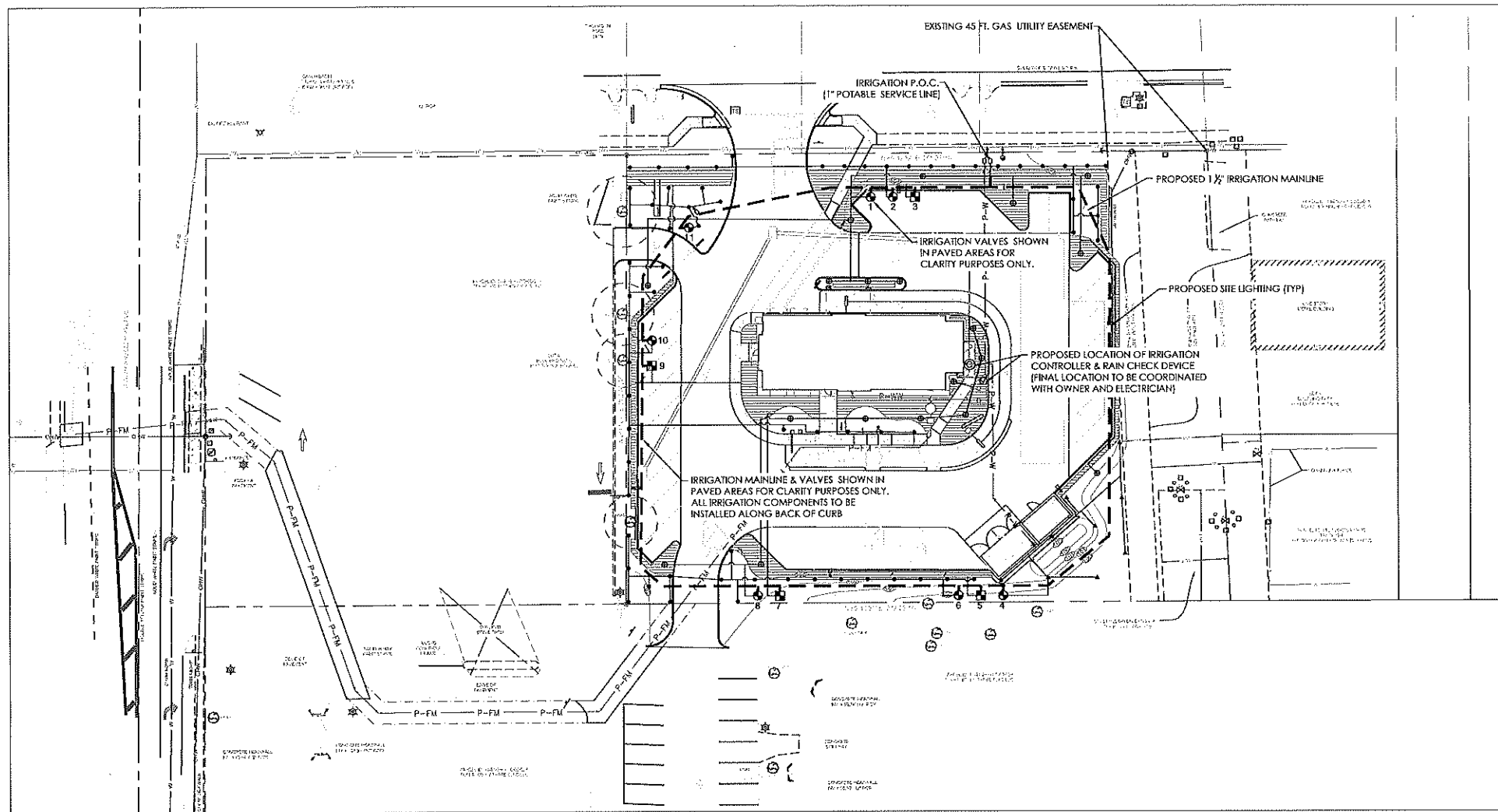


SCHWEIZER
BOJACK
LANDSCAPE
ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN
 PO BOX 4883 • APOPKA, FLORIDA 32714 • PH: (407) 316-1123
 LICENSE NO. LC2000047 • DESIGN@SCHWEIZERBOJACK.COM

ZAXBY'S APOPKA
 STATE ROAD 436/EAST SEMORAN BLVD. • CITY OF APOPKA, FL
 1/30/19
 1/23/19
 1/17/19
 11/30/18
 8/01/18
 DRAWN BY: KB
 SHEET NUMBER
L-2

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIER BOJACK LANDSCAPE ARCHITECTURE LLC and were created, evolved, and developed for the use and connection with this specific project.



IRRIGATION EQUIPMENT LEGEND

SYMBOL	SPECIFICATIONS/DESCRIPTION
P.O.C.	1" POTABLE SERVICE LINE WITH BACKFLOW PREVENTER
⊗	HUNTER REMOTE RAIN CHECK DEVICES
⊙	RAINBIRD OUTDOOR ESP-LX IRRIGATION CONTROLLER UPON COMPLETION OF INSTALLATION, ADHERE A STICKER TO THE CONTROLLER WITH A ZONE LEGEND, DATE INSTALLED, INSTALLER'S NAME/COMPANY & PERMIT NUMBER.
⊕	RAINBIRD 1" PGA SERIES ELECTRIC VALVE INSTALLED IN A 12" AMETEK VALVE BOX
⊠	RAINBIRD 1" LOW FLOW CONTROL ZONE KIT (RAINBIRD XCZ-100-PRF) INSTALLED IN A 12" AMETEK VALVE BOX
⊖	IRRITROL BUBBLERS INSTALLED USING 1/2" FLEX PIPE WITH A MINIMUM OF 12" LENGTH
▲	HUNTER PGP ROTORS
•	RAINBIRD 6" POP-UP SPRAY HEADS WITH MPR NOZZLE
▨	RAINBIRD XF SERIES ON SURFACE DRIPLINE WITH 12" INLINE EMITTERS, DRIP LINES TO BE SPACED 12" APART. ALL DRIP ZONES TO INCLUDE RAINBIRD FLUSH VALVES AT APPROPRIATE INTERVALS.
---	1 1/2" IRRIGATION MAINLINE, CLASS 200 PVC
---	IRRIGATION LATERAL LINES TO BE SIZED & INSTALLED BY THE IRRIGATION CONTRACTOR. VELOCITY IN THE LATERAL PIPES NOT TO EXCEED 5 FEET PER SECOND IN EACH ZONE.

NOTE: ALL IRRIGATION LINES UNDER PAVED AREAS TO BE SLEEVED WITH SCH. 40 SLEEVING SIZED AT LEAST (2) TIMES THE DIAMETER OF THE IRRIGATION LINE SIZE.

IRRIGATION ZONE LEGEND

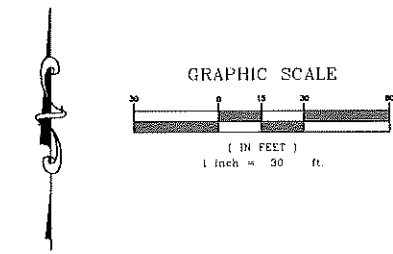
ZONE	DESCRIPTION	USAGE
1	BUBBLER ZONE (TREES)	15 GPM
2	POP-UP SPRAYS (SOD)	21 GPM
3	DRIP ZONE (SHRUBS)	22.5 GPM
4	ROTORS (SOD)	21 GPM
5	DRIP ZONE (SHRUBS)	13.1 GPM
6	POP-UP SPRAYS (SOD)	23.5 GPM
7	DRIP ZONE (SHRUBS)	15.1 GPM
8	BUBBLER ZONE (TREES)	13.5 GPM
9	DRIP ZONE (SHRUBS)	16.4 GPM
10	POP-UP SPRAYS (SOD)	21.1 GPM
11	POP-UP SPRAYS (SOD)	17.6 GPM

NOTE: POP-UP SPRAY & ROTOR ZONES TO BE OPERATED FOR THE ESTABLISHMENT PERIOD OF THE PROPOSED BAHIA SOD.

ADDITIONAL IRRIGATION CLARIFICATIONS:

1. VELOCITY IN THE LATERAL PIPES NOT TO EXCEED 5 FEET PER SECOND IN EACH ZONE.
2. ALL IRRIGATION LINES UNDER PAVED AREAS TO BE SLEEVED WITH SCH. 40 SLEEVING SIZED AT LEAST (2) TIMES THE DIAMETER OF THE IRRIGATION LINE SIZE.
3. AVOID CONFLICT WITH EXISTING AND PROPOSED UNDERGROUND UTILITIES & EXISTING TREES DURING INSTALLATION OF PROPOSED IRRIGATION SYSTEM. FIELD ADJUST LAYOUT AS NECESSARY.
4. TREE BUBBLERS, SOD SPRAYS, ROTORS & DRIPLINE DESIGNED TO BE ON SEPARATE ZONES.
5. ALL IRRIGATION DISTRIBUTION EQUIPMENT MUST BE 24" FROM VERTICAL STRUCTURES.

IRRIGATION RISERS ARE NOT ALLOWED



IRRIGATION PLAN
SEE SHEET L-4 FOR NOTES & DETAILS

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE

REG. NO.

DATE



SCHWEIER
BOJACK
LANDSCAPE
ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN
PO BOX 94835 • MAHLING FLORIDA 32794 • PH: (407) 374-1423
LICENSE NO. LC2620467 • DESIGN@SCHWEIERBOJACK.COM

ZAXBY'S APOPKA
STATE ROAD 436/EAST SEMORAN BLVD. - CITY OF APOPKA, FL

1/30/19
 1/23/19
 1/17/19
 11/30/18
 8/01/18
 DRAWN BY: KB
 SHEET NUMBER
L-3

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IRRIGATION GENERAL NOTES

1. THE IRRIGATION CONTRACTOR SHALL REFER TO THE LANDSCAPE PLAN WHEN TRENCHING TO LAY PIPE TO AVOID NEW AND EXISTING TREES AND LARGE SHRUBS.
2. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAINBIRD SNAP-TITE CONNECTORS AND SEALANT.
3. UNLESS OTHERWISE INDICATED, PIPE TO A SINGLE SPRAY HEAD SHALL BE 1/2" PVC CL-315 PIPING.
4. ALL MAINLINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 18 INCHES, ALL LATERAL PIPING DOWNSTREAM OF THE MAINLINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12 INCHES.
5. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE OWNER OR ARCHITECT ON THE EXACT LOCATION OF THE IRRIGATION CONTROLLER.
6. THE IRRIGATION CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK UNDER THIS CONTRACT.
7. ALL IRRIGATION INSTALLATION SHALL CONFORM TO LOCAL CODES AND REGULATIONS.
8. ALL PIPING ON THE PLANS IS DIAGRAMMATICALLY ROUTED FOR CLARITY AND SHALL BE ROUTED TO AVOID NEW AND EXISTING PLANTS. DESIGN MODIFICATIONS SHALL ONLY BE MADE AS NECESSARY TO MEET FIELD CONDITIONS AND ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
9. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ADJUSTMENT OF THE SPRINKLERS ARC AND RADIUS TO ASSURE 100 PERCENT COVERAGE.
10. 115 VOLT, SINGLE PHASE ELECTRICAL POWER IS REQUIRED TO OPERATE THE IRRIGATION CONTROLLER. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF THE POWER WITH THE OWNER OR OWNER'S REPRESENTATIVE. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO SEE THAT THE CONTROLLER IS WIRED IN ACCORDANCE WITH ALL ELECTRICAL CODES BY A LICENSED ELECTRICIAN. ALL MATERIALS NECESSARY TO WIRE THE CONTROLLER SHALL BE FURNISHED BY THE IRRIGATION CONTRACTOR.
11. THE IRRIGATION CONTRACTOR SHALL CHOOSE THE APPROPRIATE NOZZLES TO PROVIDE MAXIMUM COVERAGE.
12. ALL LANDSCAPE IRRIGATION SYSTEMS SHALL BE LOW-VOLUME IRRIGATION SYSTEMS. A LOW-VOLUME IRRIGATION SYSTEM IS DESIGNED TO PROVIDE NO MORE THAN THE MINIMUM AMOUNT OF WATER REQUIRED BY ANY SPECIFIC LANDSCAPE MATERIAL TO ENSURE SURVIVAL OF THAT MATERIAL. SUCH A SYSTEM UTILIZES A COMBINATION OF SPRINKLER MECHANISMS AND ZONES TO ACCOMMODATE THE INDIVIDUAL IRRIGATION REQUIREMENTS OF EACH TYPE OF LANDSCAPE MATERIAL, INCLUDING TREES, SHRUBS, ORNAMENTALS AND TURF AREAS.
13. ALL UNDERGROUND IRRIGATION SYSTEMS SHALL BE REGULATED BY AN AUTOMATIC TIMER OR CONTROLLER.
14. THE DESIGN OF THE IRRIGATION SYSTEM SHALL INCLUDE SPRINKLER HEADS AND DEVICES APPROPRIATE FOR THE LANDSCAPE MATERIALS TO BE IRRIGATED.
15. LOW TRAJECTORY HEADS OR LOW-VOLUME WATER DISTRIBUTING DEVICES SHALL BE USED TO IRRIGATE CONFINED AREAS IN ORDER TO PREVENT OVERSPRAY ONTO IMPERVIOUS AREAS.
16. IRRIGATION SYSTEMS SHALL BE DESIGNED TO PLACE HIGH WATER DEMAND AREAS, SUCH AS LAWNS, ON SEPARATE ZONES FROM THOSE AREAS WITH REDUCED WATER REQUIREMENTS.
17. AUTOMATICALLY CONTROLLED IRRIGATION SYSTEMS SHALL BE OPERATED BY AN IRRIGATION CONTROLLER THAT IS CAPABLE OF IRRIGATING HIGH REQUIREMENT AREAS.

IRRIGATION SYSTEM MAINTENACE CHECKLIST

1. Make sure the controller (timer) is set to the correct water restrictions.
2. Check each zone once per month to ensure there are no broken irrigation heads and that you have 100% coverage.
3. Adjust each zone twice per year to ensure the correct spray pattern and to ensure impervious surfaces are not being watered.
4. Set irrigation frequency to once per week during the months of December, January and February and twice per week the rest of the months. Make sure the day and time corresponds to the local water restrictions.
5. Add mulch to landscape as needed to maintain 3-inches on all beds.
6. Check rain sensor quarterly to make sure it is functioning.
7. Calibrate irrigation zones once per year using flat-bottomed cans so that no more than 1/2-inch per application is applied in the high volume zone, no more than 1/4-inch per application is applied in the medium volume zone, and no more than 1/8-inch per application is applied in the low volume zone. The above mentioned settings presume two watering days per week.
Note: Controller must be adjusted to keep the irrigation within the water restrictions time frame.
8. If your system is equipped with a filter, check and/or clean the filter quarterly.

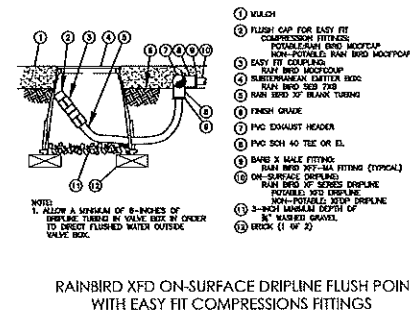
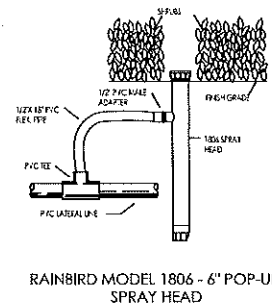
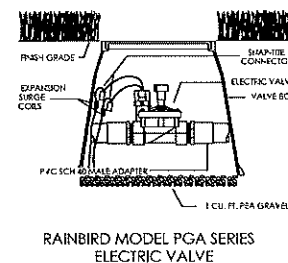
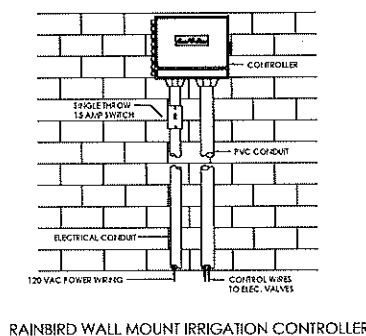
If someone other than the owner does the above checks, it is recommended they be a Licensed Irrigation Contractor and a member of the Florida Irrigation Society.

ADDITIONAL IRRIGATION CLARIFICATIONS:

1. VELOCITY IN THE LATERAL PIPES NOT TO EXCEED 5 FEET PER SECOND IN EACH ZONE.
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IRRIGATION RISERS ARE NOT ALLOWED

IRRIGATION DETAILS



IRRIGATION NOTES & DETAILS

LANDSCAPE & IRRIGATION DESIGN

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SIGNATURE

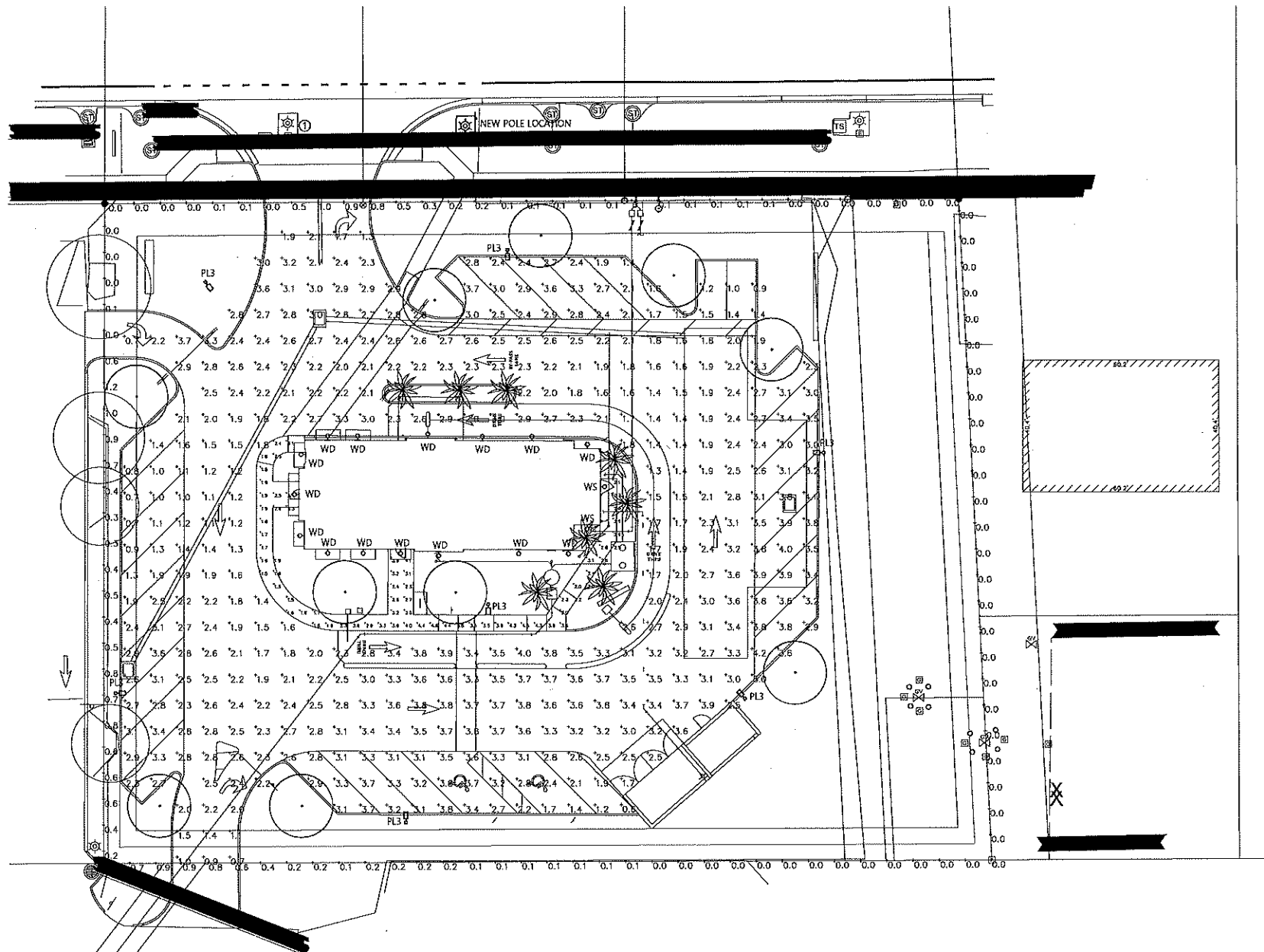
REG. NO.

DATE

L-4

PLAN NOTES

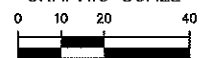
- ① EXISTING ROADWAY LIGHT (400W HPS MOUNTED AT 45FT AFG) SERVING FDOT RIGHT-OF-WAY TO BE RELOCATED. PROVIDE TRAFFIC-RATED ELECTRIC HANDHOLE PER FDOT SPECIFICATIONS AT EXISTING LOCATION AND EXTEND CIRCUIT (TWO 4 AWG THWN CU & ONE 6 AWG CU GND IN 1-1/2" C) TO NEW POLE LOCATION. PROVIDE NEW CONCRETE POLE BASE PER DETAIL AND HANDHOLE AT BASE OF POLE. COORDINATE WITH EXISTING CONDITIONS. SEE FDOT LIGHTING CONSTRUCTION DETAILS, SHEET E-2.



SITE LIGHTING PLAN

SCALE 1" = 20'-0"

GRAPHIC SCALE



Photometric Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BUILDING WALKWAY	+	2.7 fc	4.6 fc	1.5 fc	3.1:1	1.8:1
PARKING	+	2.5 fc	4.2 fc	0.6 fc	7.0:1	4.2:1
PROPERTY LINE	+	0.2 fc	1.2 fc	0.0 fc	N/A	N/A

Fixture Schedule for Photometrics

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Mounting Height
□	PL3	7	EATON McGRAW-EDISON	GLEON-AF-03-LED-E1-T3	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 4000K, 1050mA LIGHT SQUARES WITH 16 LEDS EACH AND TYPE III OPTICS.	LED	1	18,178	0.81	25'
⊕	WD	15	HI-LITE MFG. CO., INC.	H-19116-96HL-U-13'-96/25	WALL MOUNTED EXTERIOR WALL FIXTURE WITH 20" EXTENDING ARM.	LED	1	ABSOLUTE	0.81	10'
⊕	WS	2	COOPER LIGHTING LUMARK	XTOR2A	LUMARK CROSS TOUR 20W LED WALL PACK WITH CARBON BRONZE HOUSING	5000K LED	1	1634	0.81	10'

GENERAL NOTES

- 1. HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
- 2. FIXTURES WILL BE CONTROLLED WITH PHOTOCELL AND OPERATE DUSK-TO-DAWN.
- 3. POLES SHALL BE LOCATED MINIMUM 24" BEHIND CURB AND SHALL BE PROVIDED WITH CONCRETE POLE BASE.

HUNTER DESIGN AND CONSULTING, INC.
735 ARLINGTON AVE N, STE 308
ST. PETERSBURG, FL 33701
352-238-6366
FLORIDA CA #31946, PE #76961

ZAXBY'S APOPKA
SITE LIGHTING PLAN
APOPKA, FLORIDA

PROJECT INFORMATION	
PROJECT NUMBER:	18034
DRAFTED:	K. HUNTER
DESIGNED:	K. HUNTER
REVIEWED:	K. HUNTER
ISSUE DATE:	1/30/19

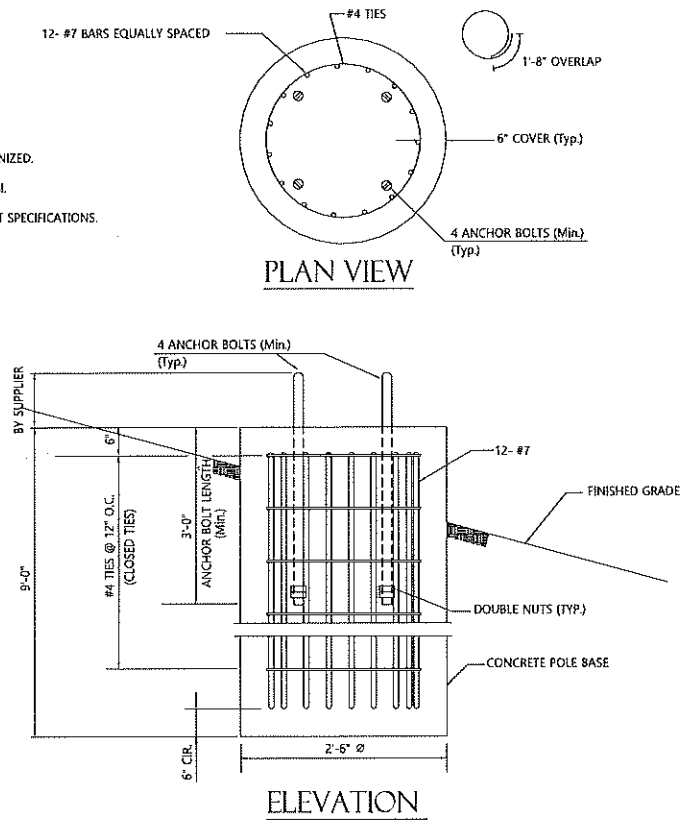
REVISIONS

SHEET NUMBER

E-1

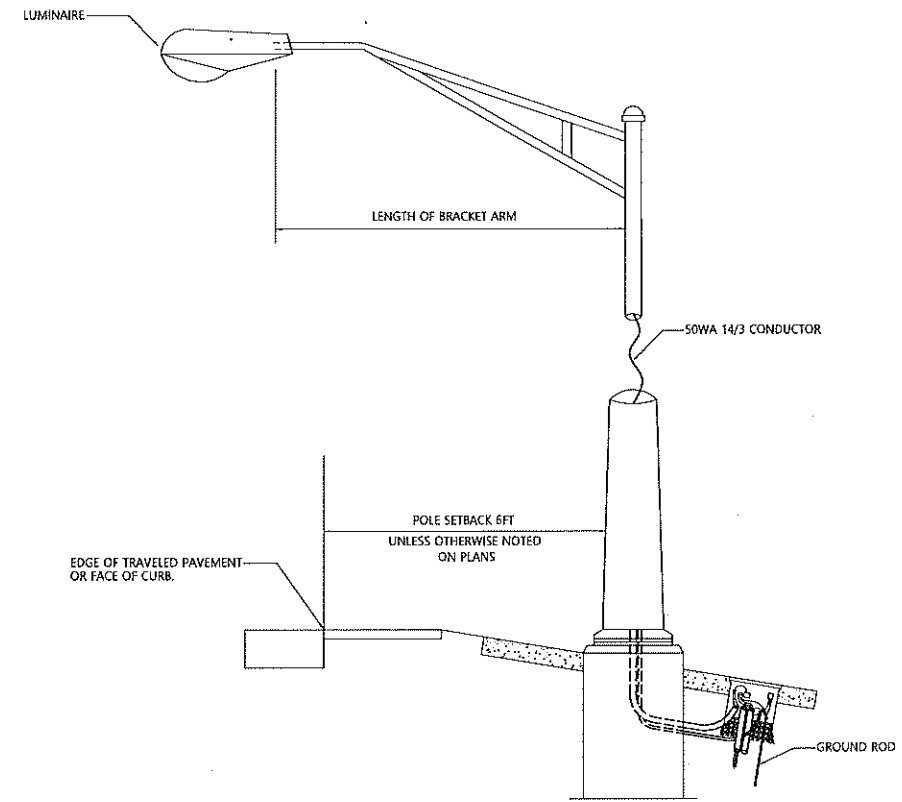
DETAIL NOTES

1. NUTS, BOLTS, WASHERS SHALL BE GALVANIZED.
2. CONCRETE POLE BASE SHALL BE 4000 PSI.
3. CONSTRUCT IN ACCORDANCE WITH FDOT SPECIFICATIONS.



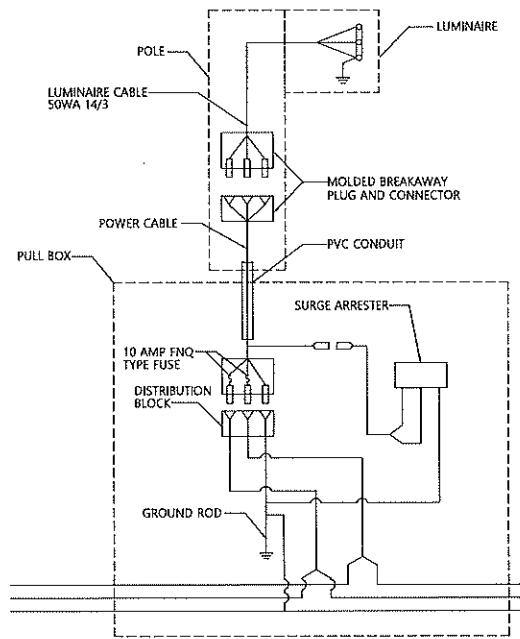
CONCRETE POLE BASE DETAIL

NOT TO SCALE
* LENGTH, LOCATION AND DIAMETER TO BE DETERMINED BY LIGHT POLE SUPPLIER.



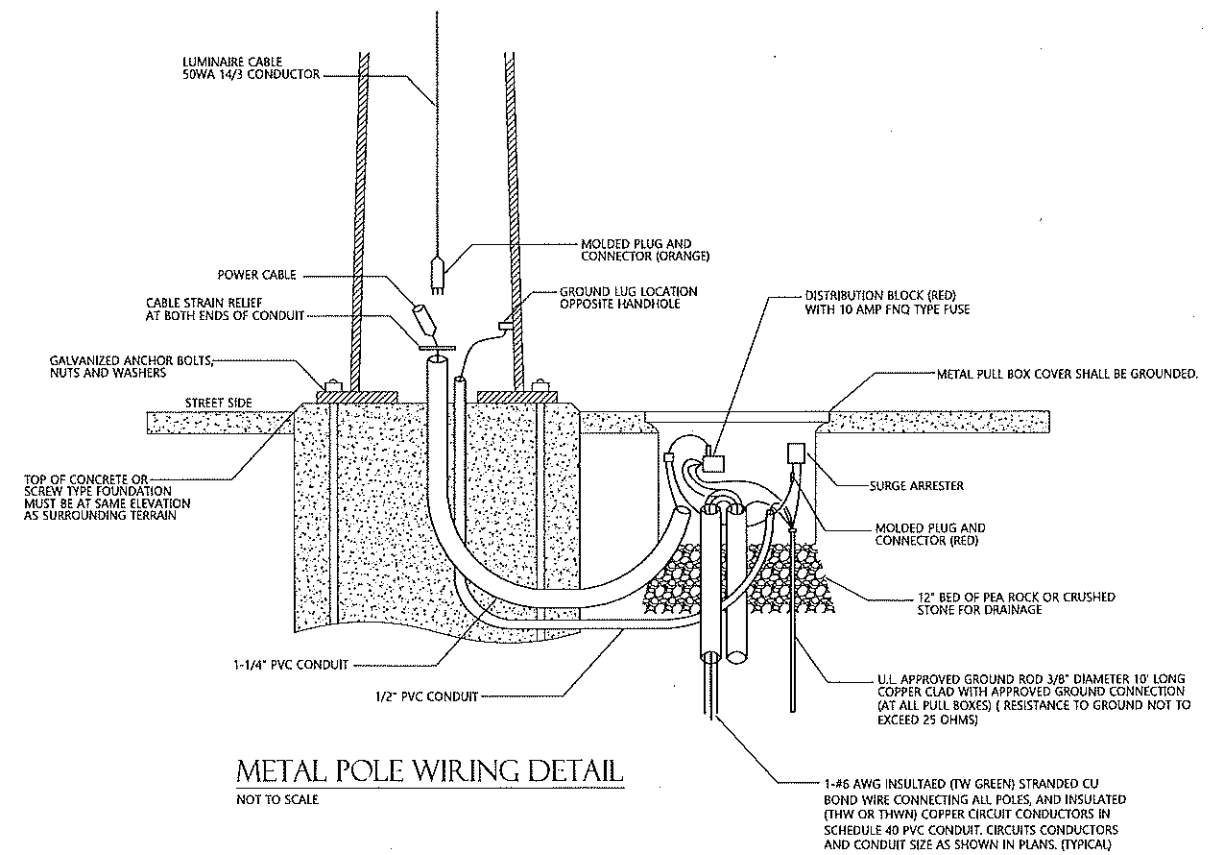
METAL POLE DETAIL

NOT TO SCALE



WIRING DIAGRAM

NOT TO SCALE



METAL POLE WIRING DETAIL

NOT TO SCALE

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ST. PETERSBURG, FL 33701
352-238-6366
FLORIDA CA #31946, PE #76961

ZAXBY'S APOPKA
FDOT LIGHTING CONSTRUCTION DETAILS
APOPKA, FLORIDA

PROJECT INFORMATION	
PROJECT NUMBER:	18034
DRAFTED:	K. HUNTER
DESIGNED:	K. HUNTER
REVIEWED:	K. HUNTER
ISSUE DATE:	1/18/19

REVISIONS

SHEET NUMBER

E-2

EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2 1/4" x 7 5/8" RUNNING BOND

- 1 COLOR: BRICK - COMMONWEALTH (GENERAL SHALE)
APPROVED ALTERNATE - M/S CHEROKEE NATCHEZ (CHEROKEE BRICK)
APPROVED ALTERNATE - OLDE COLUMBIA (BORAL BRICK)
MORTAR - ANTIQUE BUFF (COOSA)

3/8" THICK MORTAR JOINTS. ASTM C-270. TYPE N.

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL, AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

HOHMANN & BARNARD, INC. HORZ REIN. ON CMU FENCE
HOHMANN & BARNARD, INC., DW-10 HS TRIANGULAR MTL. WALL TIES (OR EQUAL) @ 16" O.C. VERT. & AT HORZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- 2F = FIELD COLOR: PAINT SHERWIN WILLIAMS "ROYCROFT COPPER RED"/SW 2839 (SATIN FINISH)
HARDIE PLANK- EMBOSSED GRAIN FINISH LAP SIDING WITH 6" EXPOSURE, PAINT FIELD COLOR
HARDIE PANEL VERTICAL SIDING, BOARD & BATTEN @ 12" O.C., PAINT PANEL & BATTENS PAINT FIELD COLOR
- 2A = ACCENT COLOR: HARDIE CORNERS, FRIEZE & TRIM - SHERWIN WILLIAMS "BALANCED BEIGE" /SW 7037 (SATIN FINISH)
HARDIE TRIM BOARDS, CORNICE, FRIEZE & TRIM (SMOOTH FINISH)- PAINT SHERWIN WILLIAMS "BALANCED BEIGE" /SW 7037 (SATIN FINISH)
- 3 FASCIA, RAFTERS, PURLINS AND BRACKETS- PAINT SHERWIN WILLIAMS "BALANCED BEIGE" /SW 7037 (SATIN FINISH)
- 4 PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING
COLOR: COPINGS: FULL 24 GA. GALVANIZED/GALVALUME METAL COPING ONLY
DOWNSPOUTS SHOULD BE GALVANIZED/GALVALUME
ROOFING @ REAR AWNING: GALVANIZED / GALVALUME
MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR 0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING. ACCEPTABLE MANUFACTURERS ARE AS FOLLOWS:
A. BERRIDGE MANUF. CO., HOUSTON, TX.
B. PAC-CLAD
C. MICI
D. MACLEROY METAL CO., PEACHTREE CITY, GA.
E. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

- 5 STOREFRONT: WINDOWS & ENTRANCE DOORS (BRIT WHITE - ORSFB1275)

ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS
ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

GLAZING - 1" INSULATED LOW-E COATED ON #2 AND #4 SURFACES						
TYPE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VIT	VIR
LOW-E COATING	EXTERIOR SIDE	1/4" TEMPERED	.24	.49	63	16
LOW-E COATING	INTERIOR SIDE	1/4" TEMPERED				

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

- 6 SELF-CLOSING & TEMPERED GLASS DRIVE-THRU WINDOW: ROUGH OPENING = 6'-0" WIDE x 5'-8" HIGH
QUICKSERV MODEL SC-4040 SELF CLOSING HORIZ. SLIDER WINDOW
FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING.

QUICKSERV - DIVISION OF MCE SYSTEMS CORP.
P.O. BOX 40466, HOUSTON, TX 77240-0466
P. 800-388-8307 F. 713-462-1936
STOREFRONT & SLIDER ALSO BY:
QUALITY GLASS P. 706-548-4481

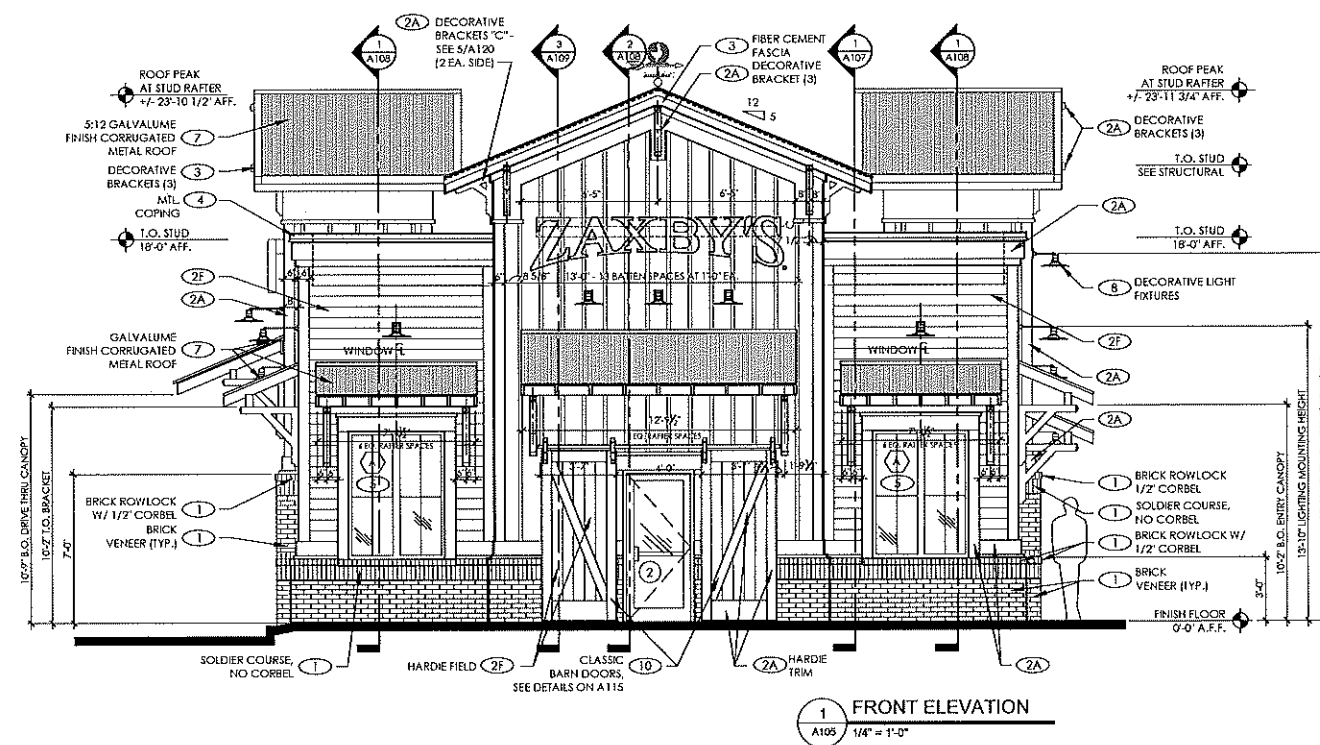
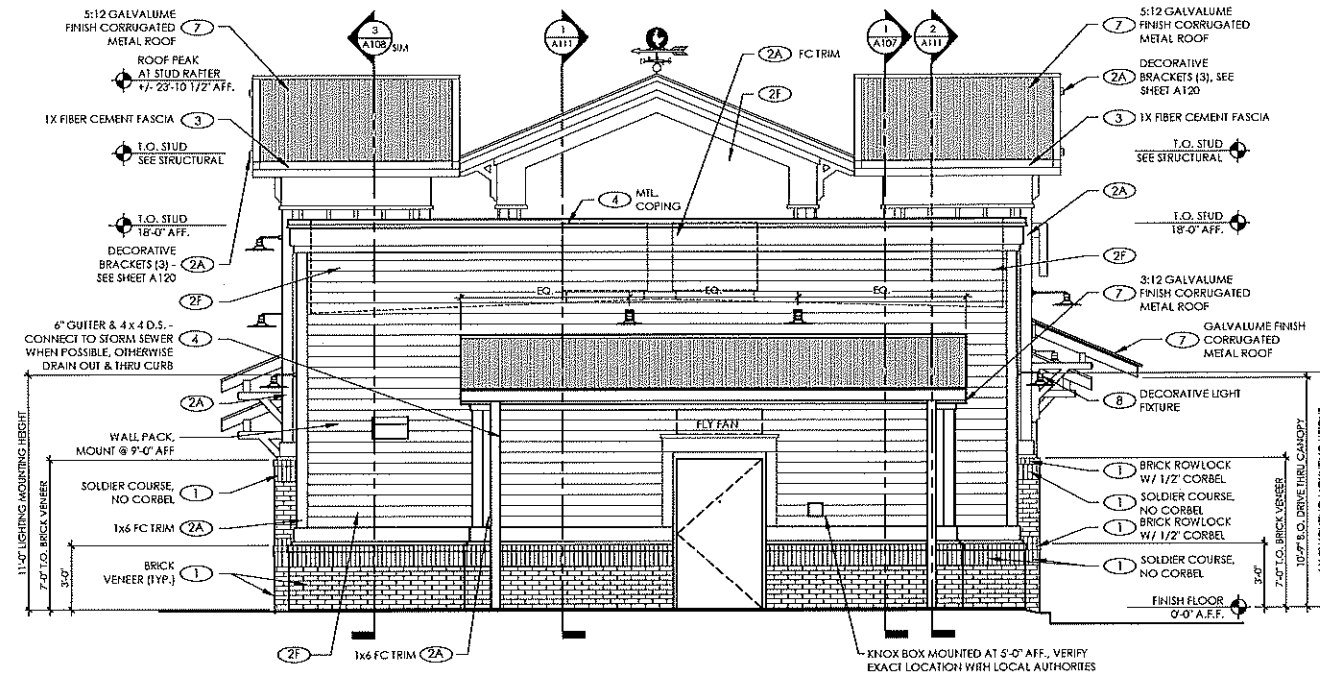
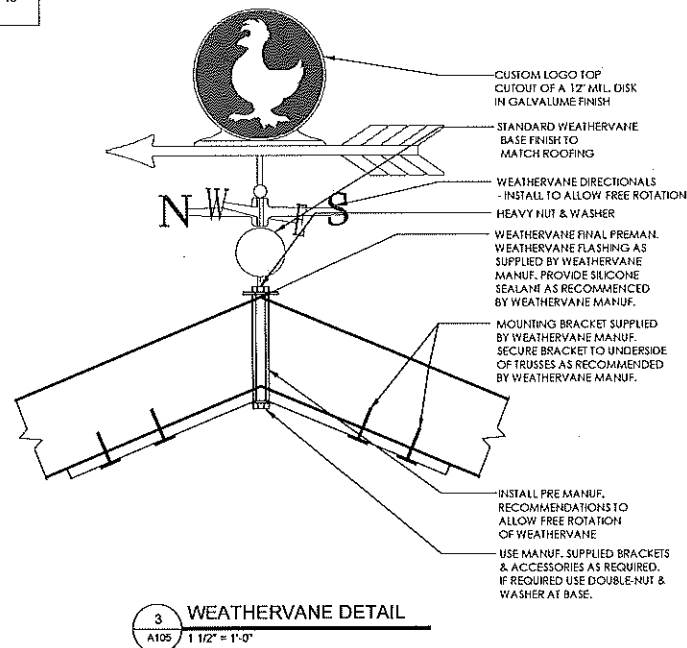
G.C. AND STOREFRONT PROVIDER SHALL BE RESPONSIBLE FOR COORDINATION WITH THE OWNER REGARDING THE DIRECTION OF THE SLIDING WINDOW PRIOR TO ORDERING OR INSTALLING ANY MATERIALS.

- 7 GALVALUME 22 GA. CORRUGATED FINISH METAL ROOF (MBCI PBC OR EQUIV.)
- 8 GALVANIZED METAL FINISH GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.
ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.

- 9 INTERIOR LADDER, PAINT BLACK
- 10 CUSTOM FIXED CLASSIC BARN DOORS CONSTRUCTED OUT OF HARDIPLANK TO MIMIC SIMPSON DOOR, MODEL #49B12, 3'-6" WIDE BY 8'-0" TALL, TRIM TO BE (2A) FIELD TO BE (2F); TRACK TO BE POWDER COATED BLACK, COORDINATE WITH ZFL FOR HARDWARE SPECIFICATIONS.

GLAZING, REFER TO SHEET A117

DOORS, REFER TO SHEET A115



ARCHITECT OF RECORD:

THOMAS E. MORGAN, JR.
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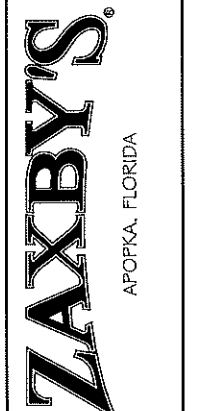


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DATE	DESCRIPTION
27.10.14	FOR RAZEK

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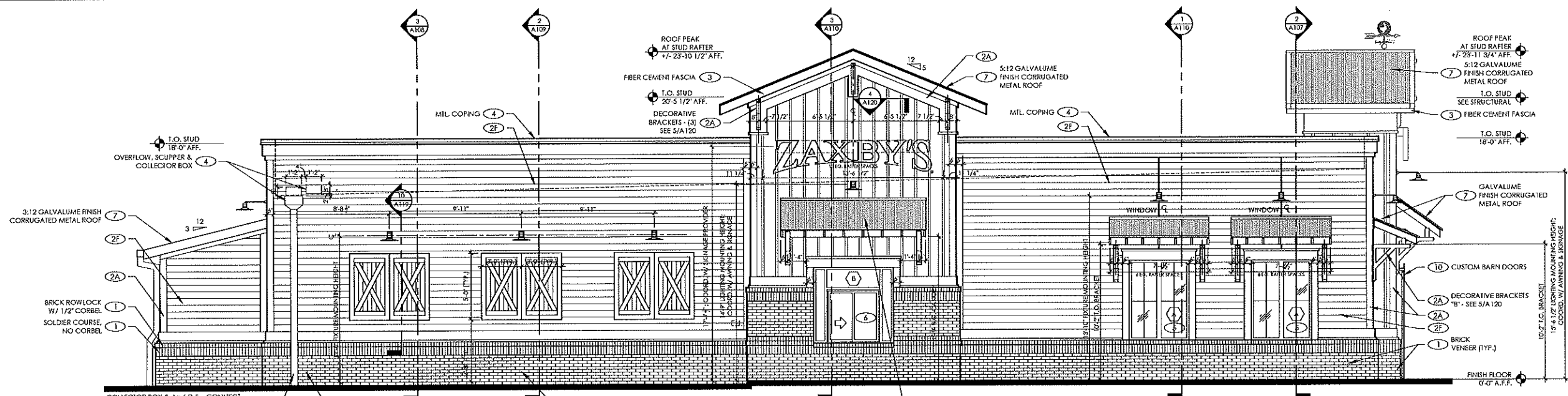
SHEET TITLE

FRONT & REAR
EXTERIOR ELEVATIONS

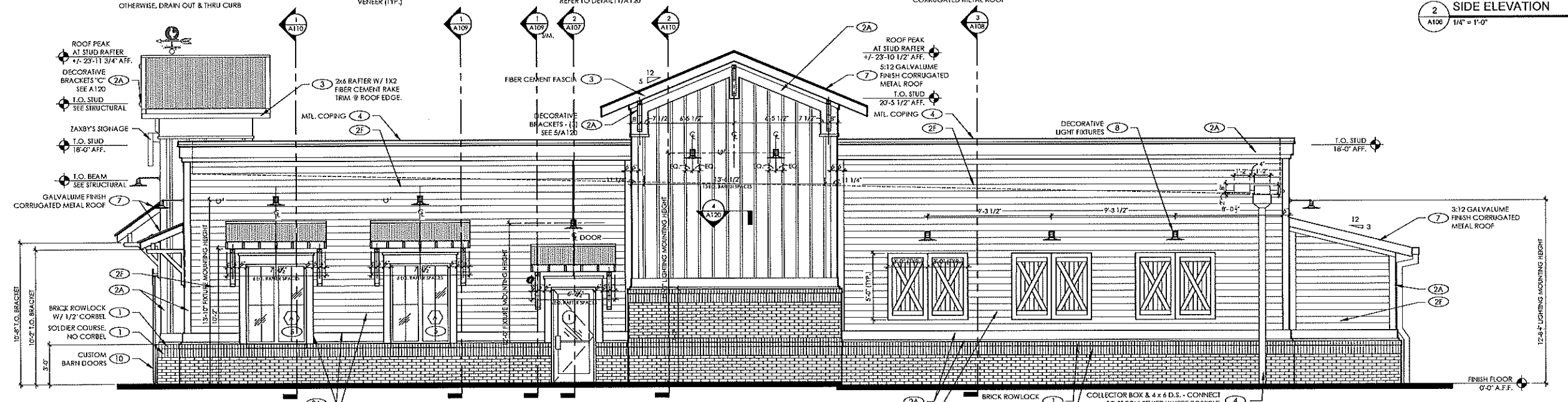
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A105

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2 SIDE ELEVATION
A106 1/4" = 1'-0"



1 SIDE ELEVATION
A106 1/4" = 1'-0"

NOTE:
SEE SHEET A105 FOR FINISHES LEGEND AND NOTES

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EXTERIOR ELEVATIONS

PROJECT NO: 18026

A106

